



AGENDA  
CITY OF GRAPEVINE  
SITE PLAN REVIEW COMMITTEE MEETING  
WEDNESDAY, DECEMBER 3, 2025 AT 2:00 P.M.  
PLANNING AND ZONING CONFERENCE ROOM  
2ND FLOOR  
200 SOUTH MAIN STREET  
GRAPEVINE, TEXAS

- I. CALL TO ORDER
- II. CITIZEN COMMENTS

Any person who is not scheduled on the agenda may address the Committee under Citizen Comments or on any other agenda item by completing a Citizen Appearance Request form with the staff. A member of the public may address the Committee regarding an item on the agenda either before or during the Committee's consideration of the item, upon being recognized by the Chairman or upon the consent of the Committee. In accordance with the Texas Open Meetings Act, the Committee is restricted in discussing or taking action during Citizen Comments.

- III. NEW BUSINESS

- A. Site Plan Review Committee to consider a public hearing relative to conditional use permit **CU25-20; McDonald's**, addressed as 101 East State Highway 114, and consideration of the same.
- B. Site Plan Review Committee to consider a public hearing relative to conditional use permit **CU25-44; Sunbelt Rentals**, addressed as 1035 Texan Trail, and consideration of the same.
- C. Site Plan Review Committee to consider a public hearing relative to conditional use permit **CU25-46; Dynaten**, addressed as 3642 Eules Grapevine Road, and consideration of the same.

- IV. MINUTES

- A. Site Plan Review Committee to consider the minutes of September 3, 2025, regular meeting.

V. ADJOURNMENT

IF YOU PLAN TO ATTEND THIS PUBLIC HEARING AND YOU HAVE A DISABILITY THAT REQUIRES SPECIAL ARRANGEMENTS AT THE MEETING, PLEASE CONTACT THE OFFICE OF PLANNING SERVICES AT (817) 410-3155 AT LEAST 24 HOURS IN ADVANCE. REASONABLE ACCOMMODATIONS WILL BE MADE TO ASSIST YOUR NEEDS.

IN ACCORDANCE WITH TEXAS GOVERNMENT CODE, CHAPTER 551.001 et seq. ACTS OF THE 1993 TEXAS LEGISLATURE, THE SITE PLAN REVIEW COMMITTEE MEETING AGENDA WAS PREPARED AND POSTED ON THIS 21<sup>ST</sup> DAY OF NOVEMBER 2025 AT 5:00 P.M.

Handwritten signature of Erica Marohnic in cursive script.

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ERICA MAROHNIC, AICP  
PLANNING SERVICES DIRECTOR

TO: SITE PLAN REVIEW COMMITTEE MEMBERS  
FROM: ALBERT L. TRIPLETT JR., PLANNER II  
DATE: DECEMBER 3, 2025  
SUBJECT: CONDITIONAL USE REQUEST CU25-20; MCDONALD'S, E. 101 STATE HIGHWAY 114

### RECOMMENDATION

Staff recommends the Site Plan Review Committee (SPRC) consider amendments to conditional use permit CU96-16 (Ord. 96-49) to allow a combination restaurant and convenience store with gasoline sales, car wash, and the possession, storage, retail sale and off premise consumption of alcoholic beverages (beer and wine only). This request is specifically to convert the existing single-lane drive-through to a dual-lane drive-through and modify traffic flow east of the existing building for the McDonald's restaurant. The property is zoned "CC", Community Commercial District and is platted as Block A, Lot 1, Trinity Industries Addition.

### REQUEST

The proposed changes at existing McDonald's restaurant are to convert the existing single drive-through into a dual drive-through and adjust the traffic flow east of the current building to improve circulation and reduce on-site congestion. These modifications are coordinated with the combination convenience store building and to ensure safe and efficient access for all customers on the lot.

### BACKGROUND INFORMATION

The subject property was zoned both "C-2", Community Business District and "S-P", Site Plan District prior to the 1984 City-wide Rezoning at which time the subject site was rezoned to both "PO", Professional Office District and "CC", Community Commercial District.

- On July 16, 1996, Council approved Conditional Use Request CU96- 16 (Ord. 96-46) on the subject site to allow the possession, storage, retail sale and off premise consumption of alcoholic beverages (beer and wine only) gasoline sales and a drive through car wash in conjunction with a convenience store with a drive through restaurant.
- On September 17, 1996, Council approved Conditional Use Request CU96-27 (Ord. 96- 80) an amendment to the subject site to allow for a 40-foot pole sign containing 288 square feet.

- On March 18, 1997, Council approved Conditional Use Request CU97- 09 (Ord. 97- 26) for revisions to the site plan, floor plan, exterior building elevations and landscape plan.
- On May 2, 2012, the Site Plan Review Committee (SPRC) approved Conditional Use Request CU12-12 to allow for expanding the drive-lane for the McDonald's restaurant from a single to a dual-lane drive-through. The proposal was never constructed.
- On July 12, 2017, the SPRC approved Conditional Use Request CU17-17 to allow exterior elevation changes, a minor floor plan change and a drive-lane modification to the McDonald's restaurant.

/em

**CONDITIONAL USE PERMIT APPLICATION AND SITE PLAN SET CHECKLISTS**

Current or if unplatted, proposed subdivision name(s), block(s), & lot(s)

Trinity Industries Addition Lot 1, Block 1

Gross area of parcel (to nearest tenth of acre)

2.8 acres

Street frontage & distance to nearest cross street

S Main Street and Capitol Street Intersection

Describe the Proposed Use

Gas station with McDonald's Drive Thru

Proposed Zoning

n/a not rezoning

Existing Zoning

C-C

Future Land Use Designation

n/a

Subject Property Address

101 TX-114, Grapevine, TX

**All Conditional Use Permit Requests are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of staff. Based on the size of the agenda, your application may be scheduled to a later date.**

**All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.**

**Any changes to a site plan approved with a conditional use permit request can only be approved by City Council through the public hearing process.**

**Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four-month period.**

**I have read and understand all of the requirements as set forth by the application for a conditional use permit request and acknowledge that all requirements of this application have been met at the time of submittal.**

Property Owner Name 7-Eleven / Nathanael Gardner / Kimberly Parenzan

Property Owner Phone Number 972-828-7915

Company 7-Eleven

Address 3200 Hackberry Rd

City Irving State TX Zip Code 75063

Email [REDACTED]

RECEIVED  
SEP 29 2025  
CURTS-20

### CONDITIONAL USE PERMIT APPLICATION AND SITE PLAN SET CHECKLISTS

**Project Representation (check one):**

- I will represent the application myself; OR
- I hereby designate Olsson (Madeline Knecht) (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this request. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this request.

I hereby certify that I am the property owner of the property and further certify that the information provided on this development application is true and correct. I have selected the above submittal type and representation of my own volition and not at the request of the City of Grapevine.

Property Owner's Signature [Signature] Date 10/9/2025

STATE OF: Texas  
COUNTY OF: Dallas

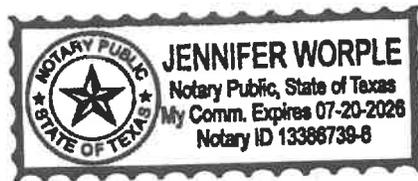
**Nathanael Gardner**  
**Attorney-in-Fact**

BEFORE ME, a Notary Public, on this day personally appeared Nathanael Gardner (printed property owner's name) the above signed, who, under oath, stated the following: "I hereby certify that I am the property owner for the purposes of this application; that all information submitted herein is true and correct."

SUBSCRIBED AND SWORN TO before me, this the 9<sup>th</sup> day of October, 2025

[Signature: Jennifer Worple]

NOTARY PUBLIC in and for the State of Texas



*CUAS-20*

RECEIVED

SEP 29 2025

CONDITIONAL USE PERMIT APPLICATION AND SITE PLAN SET CHECKLISTS

Project Representative Information (complete if designated by owner)

☑ Engineer ☐ Purchaser ☐ Tenant ☐ Preparer ☐ Other (specify) \_\_\_\_\_

Name Madeline Knecht Company Olsson

Address 5700 Tennyson Pkwy, Suite 100

City Plano State TX Zip Code 75024

Phone 214.473.2698 Email [REDACTED]

Applicant's Signature Madeline Knecht Date 10/14/2025

STATE OF: Texas  
COUNTY OF: Collin

BEFORE ME, a Notary Public, on this day personally appeared Madeline Knecht (printed project representative name) the above signed, who, under oath, stated the following: "I hereby certify that I am the applicant for the purposes of this application; that all information submitted herein is true and correct."

SUBSCRIBED AND SWORN TO before me, this the 14 day of October, 2025

Sally Chaney  
NOTARY PUBLIC in and for the State of Texas



If the legal owner of the property is a corporation, company, partnership, or Limited Liability Company, provide a copy of a legal document attached with this application showing that the individual signing this document is a duly authorized partner, officer, or owner of said corporation, partnership, or Limited Liability Company.

For any individual or organization who consents to act as an agent for the entity for purposes of receiving any process, notice or demand:

Entity Name or File Number: TAX ID: 000-390-189-000

Provide a most recent public information report that includes:

1. All general partners
2. File Number
3. Registered agent name
4. Mailing address

**CU25-20**  
**RECEIVED**  
**SEP 29 2025**

(You may order a copy of a Public Information Report from [open.records@cpa.texas.gov](https://open.records@cpa.texas.gov) or Comptroller of Public Accounts, Open Records Section, PO Box 13528, Austin, Texas 78711 or go to <https://mycpa.cpa.state.tx.us/coa/search.do>)

**CONDITIONAL USE PERMIT APPLICATION AND SITE PLAN SET CHECKLISTS**

**Project Representation (check one):**

- I will represent the application myself; OR
- I hereby designate Olsson (Madeline Knecht) (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this request. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this request.

I hereby certify that I am the property owner of the property and further certify that the information provided on this development application is true and correct. I have selected the above submittal type and representation of my own volition and not at the request of the City of Grapevine.

Property Owner's Signature [Signature] Date 10/9/2025

STATE OF: Texas  
COUNTY OF: Dallas

**Nathanael Gardner**  
**Attorney-in-Fact**

BEFORE ME, a Notary Public, on this day personally appeared Nathanael Gardner (printed property owner's name) the above signed, who, under oath, stated the following: "I hereby certify that I am the property owner for the purposes of this application; that all information submitted herein is true and correct."

SUBSCRIBED AND SWORN TO before me, this the 9<sup>th</sup> day of October, 20 25

[Signature: Jennifer Worple]

NOTARY PUBLIC in and for the State of Texas



CONDITIONAL USE PERMIT APPLICATION AND SITE PLAN SET CHECKLISTS



City of Grapevine Signage Requirements

Signage Requirements

The following is a list of requirements for signage associated with zoning applications. A completed checklist must be submitted with each application. Applicants shall indicate willingness to comply with standards by checking the box adjacent to the standard.

Sign Posting Standards

Zoning signage shall comply with the following standards:

- Three checklist items regarding zoning sign posting: 1. Applicant responsible for posting at least one zoning sign on each corner of the subject property 10-14 days prior to the Joint City Council and Planning & Zoning Commission (P&Z) scheduled public hearing. 2. Applicant shall furnish an affidavit, as well as date-stamped photographs of each side of the posted sign(s), to the City of Grapevine Planning Services Department certifying that the required signs were posted on the subject property 10-14 days prior to the said public hearing. 3. Failure to post signage 10-14 days prior to the public hearing shall result in the postponement of the case being presented to City Council and P&Z.

Table with 2 columns: Public Hearing Date, Dates to post Signage. Rows include dates from September 16, 2025 to December 16, 2025.

Sign Maintenance Standards

Maintenance of zoning notification signage shall comply with the following standards:

- Two checklist items regarding sign maintenance: 1. Applicant responsible for ensuring that the zoning sign(s) remain visible and present on the property from the time of posting to final action of the City of Grapevine. 2. Applicant responsible for removing zoning notification signage within one week of final action by the City of Grapevine.

Handwritten red text: CU25-20 RECEIVED

SEP 29 2025

### CONDITIONAL USE PERMIT APPLICATION AND SITE PLAN SET CHECKLISTS

#### Sign Design Criteria

Signs must be:

- 24 inches long by 48 inches wide, per State law.
- Signs must be designed and printed according to the template provided below.

NOTICE OF PUBLIC HEARING

A ZONING AND/OR DEVELOPMENT APPLICATION(S)  
HAS BEEN FILED FOR THIS PROPERTY

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For information contact:  
**City of Grapevine**  
 (817) - 410-3155  
[planning@grapevintexas.gov](mailto:planning@grapevintexas.gov)

#### Project Representative Information (complete if designated by owner)

Engineer  Purchaser  Tenant  Preparer  Other (specify) \_\_\_\_\_

Name Madeline Knecht Company Olsson

Address 5700 Tennyson Pkwy Suite 100

City Piano State TX Zip Code 75204

Phone 214-473-2690 Email [REDACTED]

Applicant's Signature Madeline Knecht Date 10/15/25

CU25-20

RECEIVED

SEP 29 2025



September 29<sup>th</sup>, 2025

**City of Grapevine**  
**Planning Services**  
200 S Main Street  
Grapevine, TX 76051

**Dear City of Grapevine:**

The attached Special Use Permit Application is submitted for proposed site improvements to the 7 Eleven Gas Station with McDonald's restaurant, located at 101 E TX-114, Grapevine, TX 76051. The existing site was approved as a special use permit. The previously approved site plan is attached to the application.

Proposed site improvements include converting the existing single lane McDonald's drive thru to a double lane drive thru. The drive aisle on the east side of the drive thru will convert from two-way traffic to one-way traffic. Additionally, existing parking stalls will be restriped as McDonald's Mobile Order, McDelivery, and Pull Forward stalls.

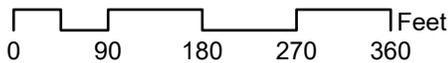
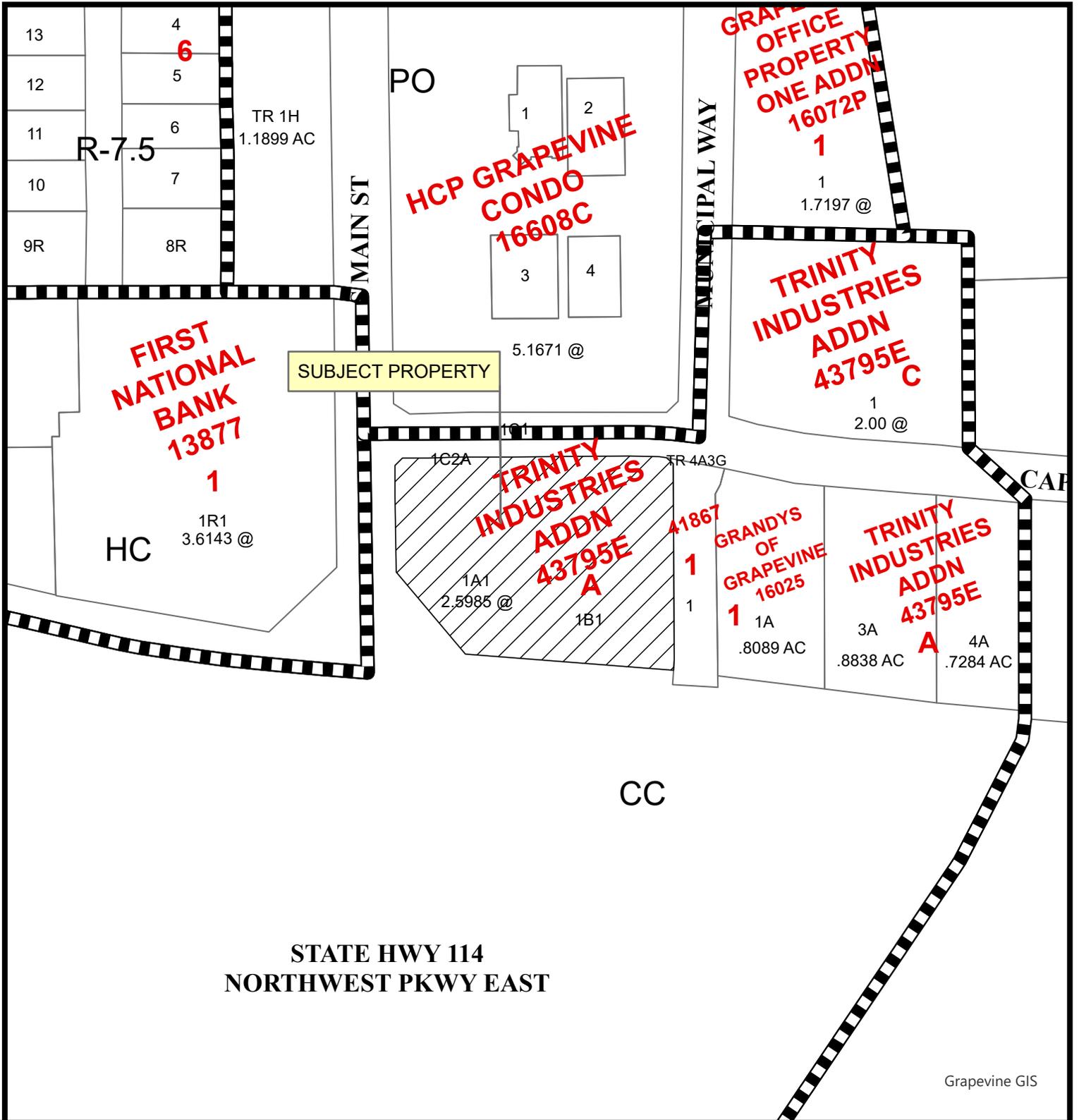
The site will maintain the minimum required number of parking stalls. Landscape and lighting will not be impacted. The building will not be impacted or remodeled. Existing drainage patterns will remain within the site.

I am looking forward to working with the city on this project. Please reach out to me if you have any questions or concerns at 214.473.2698 or [mknecht@olsson.com](mailto:mknecht@olsson.com).

Sincerely,

**Maddie Knecht, PE**  
*Olsson Project Manager*

A handwritten signature in black ink that reads "Maddie Knecht". The signature is written in a cursive, flowing style.

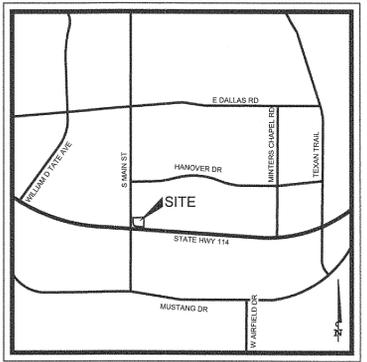
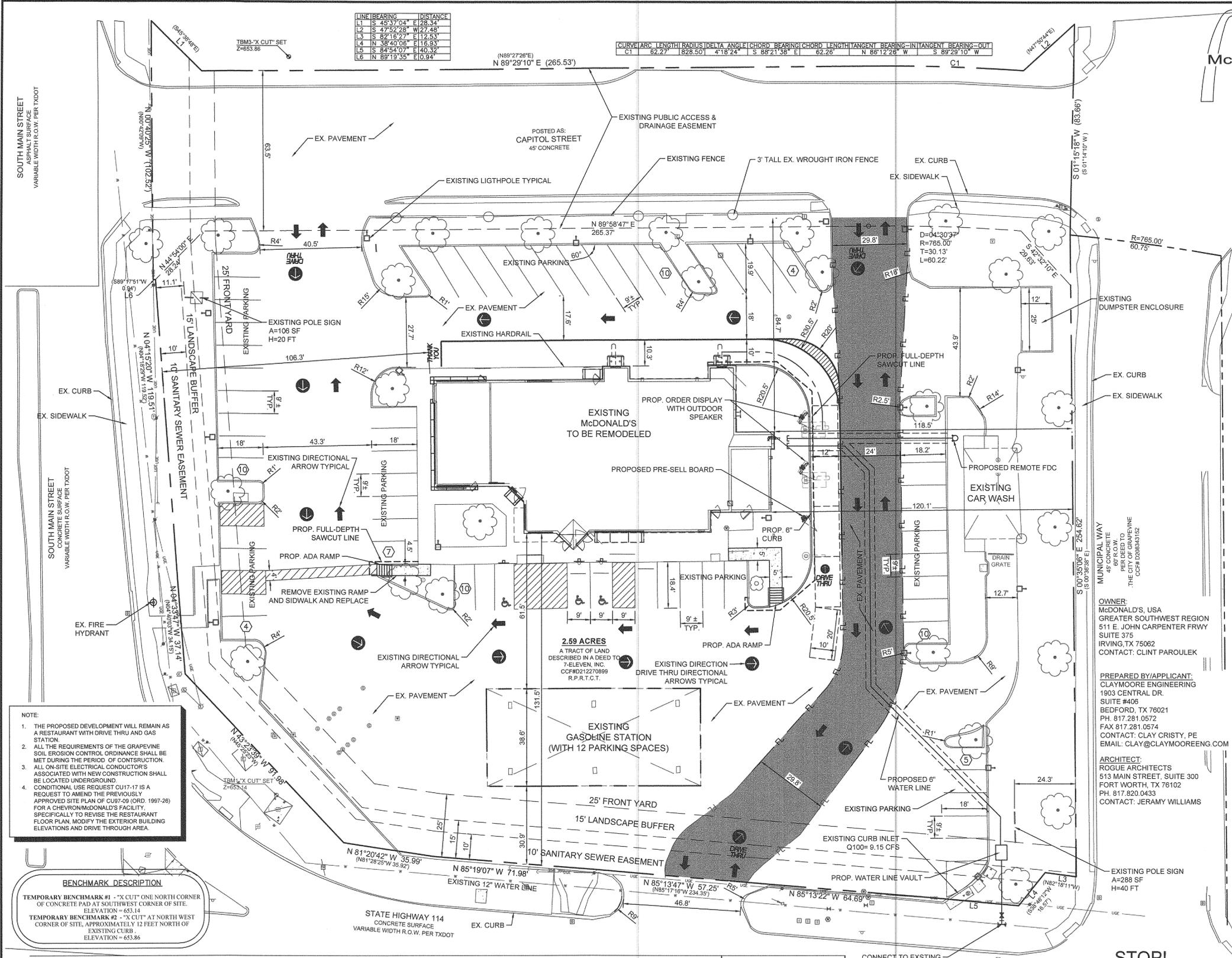


**CU25-20; McDonald's  
101 East State Highway 114**

Date Prepared: 11/12/2025

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

**PREVIOUSLY APPROVED  
SITE PLAN**



**LEGEND**

	EXISTING FIRE LANE
	PROPOSED CONCRETE SIDEWALK
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE STRIPING PER CITY STANDARDS
	FULL-DEPTH SAWCUT
	PARKING COUNT

CASE NAME: MCDONALD'S GRAPEVINE 114  
 CASE NUMBER: CU17-17  
 LOCATION: 101 E STATE HIGHWAY 114

*Approved by SPEC 3-0*

MAYOR: *Ord 97-26* SECRETARY: \_\_\_\_\_  
 DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION  
 CHAIRMAN: *Shotte 7/12/17*

DATE: \_\_\_\_\_  
 SHEET 1 OF 7

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

DEPARTMENT OF DEVELOPMENT SERVICES

CITY PROJECT NUMBER: CU17-17  
 SUBMITTAL DATE: 7/5/2017

**CONDITIONAL USE PERMIT / SITE PLAN**

PREPARED BY: EAGLE SURVEYING, LLC  
 LEGAL DESCRIPTION: BEING ALL OF THE 4 TRACT OF LAND DESCRIBED IN THE DEED TO 7-ELEVEN, INC. RECORDED UNDER COUNTY CLERK'S FILE NUMBER D212270899 OF THE REAL PROPERTY RECORDS OF TARRANT COUNTY, TEXAS

ADDRESS: 101 E SH 114  
 CITY: GRAPEVINE STATE: TX

COUNTY: TARRANT SURVEY: ABSTRACT NO.

UC NUMBER: 042-0225 SHEET NAME: DIMENSIONAL CONTROL SITE PLAN

**SITE DATA SUMMARY**

ZONING	EXISTING USE	LOT SIZE (ACRES)	LOT SIZE (SQ. FT.)	BLDG. AREA (SQ. FT.)	BLDG. HGT. (FT)	PARKING		HANDICAP SP.		TOTAL IMPERVIOUS (SQ. FT.)	PERVIOUS (SQ. FT.)			
						REQ. RATIO	PROV.	REQ.	PROV.					
CC COMMUNITY COMMERCIAL DISTRICT	GAS STATION (1,938 SF) / RESTAURANT (5,156 SF)	2.77	120,977	7,094	21-4 1/4" (1-STORY)	5.9%	1:17	RESTAURANT (1 PER 3 OCCUPANTS) (116 OCCUPANTS) / CONVENIENCE STORE (1 PER 200 SF) (1,938 SF)	49	72	2	3	93,919 (77.63%)	18,909 (22.37%)

**STOP!**  
**CALL BEFORE YOU DIG**  
 DIG TESS  
 1-800-DIG-TESS  
 (@ least 72 hours prior to digging)

ISSUE: \_\_\_\_\_ BY: \_\_\_\_\_

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ DESCRIPTION: \_\_\_\_\_

1903 CENTRAL DR.  
 BEDFORD, TX 76021  
 PHONE: 817.281.0572  
 WWW.CLAYMOOREENG.COM

**CLAYMOORE ENGINEERING**

STATE OF TEXAS  
 CLAY CRISTY  
 109800  
 LICENSED PROFESSIONAL ENGINEER  
 7/05/2017

GREATHER SOUTHWEST REGION  
 OFFICE ADDRESS: 511 E JOHN CARPENTER FRWY SUITE 375 IRVING, TX 75062

**MCDONALD'S**  
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN CONSENT.  
 MCDONALD'S LLC: 042-0225  
 CLAYMOORE ENG. NO. 2017-028  
 101 E STATE HIGHWAY 114  
 GRAPEVINE, TEXAS

PLAN APPROVALS

SIGNATURE (2 REQUIRED)	DATE

REGIONAL MGR. \_\_\_\_\_  
 CONST. MGR. \_\_\_\_\_  
 OPERATIONS DEPT. \_\_\_\_\_  
 REAL ESTATE DEPT. \_\_\_\_\_

CO-SIGNATURE \_\_\_\_\_  
 CONTRACTOR \_\_\_\_\_  
 OWNER \_\_\_\_\_

STATUS: \_\_\_\_\_ DATE: \_\_\_\_\_ BY: \_\_\_\_\_  
 DATE DRAWN: 7/5/2017 MKT  
 PLAN CHECKED: 7/5/2017 CLC  
 ASBUILT: \_\_\_\_\_

SHEET NO. SP-1  
 1 OF 7

PLOTTED BY: mbarres PLOT DATE: Jul 05, 2017 - 4:17pm  
 LOCATION: Z:\Projects\Projects\03017-028 McDonald's Grapevine 114\CADD\SHEET\SCUP SITE PLANS\SP-1 DIMENSIONAL CONTROL SITE PLAN.dwg  
 LAST SAVED: 7/5/2017 3:38 PM



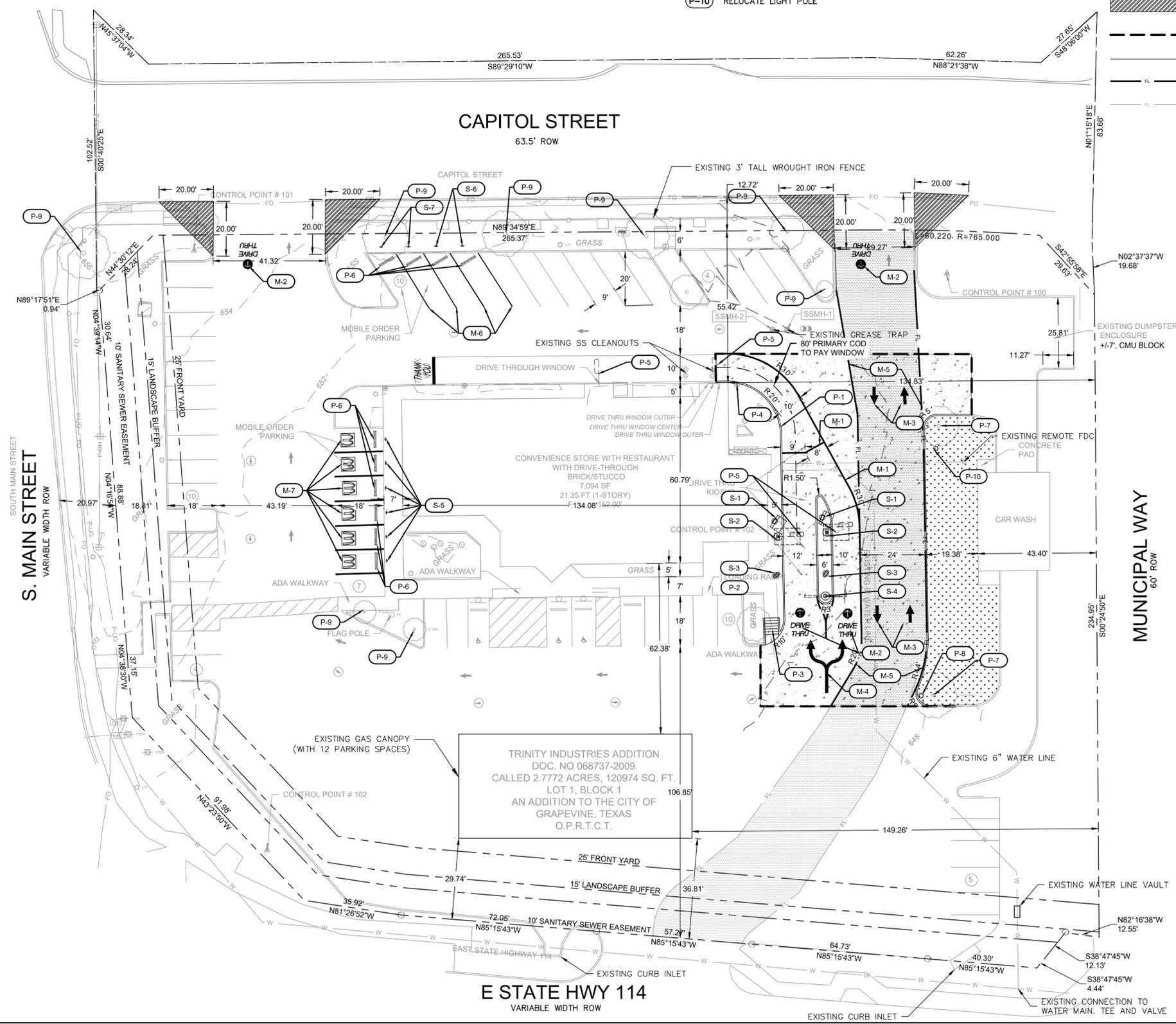
- MARKING LEGEND**
- M-1 6" GOLD STRIPE, DRIVE THRU BOUNDARY AND MERGE POINT
  - M-2 DRIVE-THRU W/DIRECTIONAL ARROW
  - M-3 DIRECTIONAL ARROW ONLY
  - M-4 PARKING LOT ARROWS, TYP
  - M-5 FIRE LANE STRIPING, PER CITY REQUIREMENTS
  - M-6 4" GOLD PARKING STALL STRIPING, TYP
  - M-7 McDONALD'S CURBSIDE PICK-UP PARKING SYMBOL

- SIGN LEGEND**
- S-1 PROPOSED DIGITAL MENU BOARD
  - S-2 PROPOSED ORDER HERE DRIVE-THRU CANOPY
  - S-3 PROPOSED DIGITAL PRE-BROWSE BOARD
  - S-4 PROPOSED McDONALD'S DOUBLE ARM GATEWAY WITH ANY LANE ANY TIME SIGN
  - S-5 PROPOSED McDONALD'S CURBSIDE PICK-UP SIGN
  - S-6 PROPOSED McDONALD'S McDELIVERY SIGN
  - S-7 PROPOSED McDONALD'S PULL FORWARD SIGN ON MOBILE BASE

- SITE LEGEND**
- P-1 CONCRETE CURB & GUTTER
  - P-2 CONCRETE SIDEWALK
  - P-3 CURB RAMP
  - P-4 EXISTING BOLLARD
  - P-5 LOOP DETECTOR, RE DETAIL & MEP
  - P-6 WHEEL STOP
  - P-7 PROTECT AND PRESERVE OAK TREE
  - P-8 PROTECT AND PRESERVE LIGHT POLE
  - P-9 EXISTING TREE
  - P-10 RELOCATE LIGHT POLE

- LEGEND**
- PROPOSED FIRE LANE
  - EXISTING FIRE LANE
  - PROPOSED CONCRETE PAVEMENT
  - PROPOSED TURF GRASS LANDSCAPE AREA
  - EXISTING DRIVEWAY SITE TRIANGLES
  - FULL-DEPTH SAWCUT
  - PROPOSED CONCRETE CURB
  - PROPOSED FIRE LANE STRIPING PER CITY STANDARDS
  - EXISTING FIRE LANE

SITE DATA		
PROPOSED USE	COMMERCIAL	
ZONING	CC - COMMUNITY COMMERCIAL	
SITE AREA	±2.77 ACRES ±120,974 SF	
EXISTING BLDG AREA	7,094 SF	
EXISTING BUILDING HEIGHT	21.35 FT (1-STORY)	
MINIMUM PARKING ALLOWED	PER PREVIOUSLY APPROVED CUP 49 STALLS	
EXISTING PARKING	TOTAL 72 STALLS	
PROPOSED PARKING	TOTAL 62 STALLS	
ACCESSIBLE PARKING	TOTAL 3 STALLS	
EXISTING BUILDING COVERAGE	5.9%	
EXISTING FLOOR AREA RATIO	1:17	
PAVEMENT/PARKING/SIDEWALK AREA	95,010 SF : 78.50%	
TOTAL IMPERVIOUS AREA	89,763 SF : 79.37%	
TOTAL PERVIOUS AREA	23,326 SF : 20.63%	
LANDSCAPE DATA		
LANDSCAPE AREA	EXISTING	18,909 SQ. FT.
	PROPOSED	18,870 SQ. FT.
TREES	EXISTING	13
	PROPOSED	13

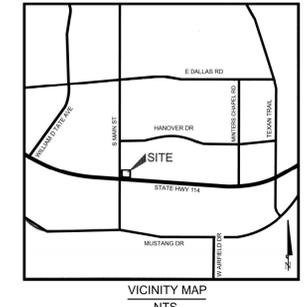


**SITE PLAN NOTES**

- REFUSE DISPOSAL AREAS SHALL BE LANDSCAPED AND SCREENED FROM VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
- MECHANICAL AND ELECTRICAL EQUIPMENT INCLUDING AIR CONDITIONING UNITS, SHALL BE DESIGNED, INSTALLED, AND OPERATED TO MINIMIZE NOISE IMPACT ON SURROUNDING PROPERTY. ALL SUCH EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
- OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- THE MASONRY REQUIREMENTS OF SECTION 54 OF THE ZONING ORDINANCE SHALL BE MET.
- ILLUMINATED SIGNAGE WAS INCLUDED IN THE DETERMINATION OF THE SITE ILLUMINATION LEVELS.
- OUTDOOR LIGHTING SHALL COMPLY WITH ILLUMINATION STANDARDS WITHIN SECTION 55 OF THE ZONING ORDINANCE UNLESS SPECIFICALLY EXCEPTED.
- PROPOSED GROUND SIGNAGE SHALL MEET THE MINIMUM REQUIREMENTS OF SECTION 60 OF THE ZONING ORDINANCE AND IS CONTINGENT UPON APPROVAL OF A SEPARATE BUILDING PERMIT WITH BUILDING SERVICES.
- ALL ONSITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.
- USES SHALL CONFORM IN OPERATION, LOCATION, AND CONSTRUCTION TO THE FOLLOWING PERFORMANCE STANDARDS IN SECTION 55 OF THE ZONING ORDINANCE: NOISE, SMOKE AND PARTICULATE MATTER, ODOROUS MATTER, FIRE OR EXPLOSIVE HAZARDOUS MATERIAL, TOXIC AND NOXIOUS MATTER, VIBRATION, AND/OR OTHER PERFORMANCE STANDARDS.
- ALL REQUIREMENTS OF THE CITY OF GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.

**LANDSCAPE PLAN NOTES**

- SHRUBS SHALL BE A MINIMUM OF TWO (2) FEET IN HEIGHT WHEN MEASURED IMMEDIATELY AFTER PLANTING. HEDGES, WHEN INSTALLED, SHALL BE PLANTED AND MAINTAINED TO FORM A CONTINUOUS, UNBROKEN, SOLID, VISUAL SCREEN WHICH WILL BE THREE (3) FEET HIGH WITHIN ONE (1) YEAR AFTER TIME OF PLANTING.
- ALL REQUIREMENTS OF THE CITY OF GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.
- LIGHT FIXTURES EXCLUDING ACCENT LIGHTING OF ARCHITECTURAL BUILDING FEATURES AND LIGHTING OF PUBLIC ART OR PUBLIC MONUMENTS SHALL BE MOUNTED NO HIGHER THAN THE HIGHEST POINT OF THE PRIMARY STRUCTURE ON THE PROPERTY. IN NO CASE SHALL LIGHT POLES BE GREATER THAN 30 FEET IN HEIGHT.



THE PURPOSE OF THIS CONDITIONAL USE PERMIT IS TO CONVERT THE EXISTING SINGLE-LANE DRIVE-THROUGH TO A DOUBLE-LANE DRIVE-THROUGH AND MODIFY TRAFFIC FLOW EAST OF THE EXISTING BUILDING FOR THE EXISTING McDONALD'S RESTAURANT.

CASE NAME: McDONALD'S  
CASE NUMBER: CU25-20  
LOCATION: 101 E STATE HIGHWAY 114

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: \_\_\_\_\_ OF \_\_\_\_\_

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

PLANNING SERVICES DEPARTMENT

**DIMENSIONAL CONTROL SITE PLAN AND LANDSCAPE PLAN**

for  
**McDonald's**  
Ab. No. 131  
City of Grapevine, Tarrant County, Texas  
7.78 acres or 120,974 sq. ft.  
Zone: "CC-C" Community Commercial  
Date of Preparation: October 20, 2025

LEGAL DESCRIPTION:  
BEING ALL OF THE 4 TRACT OF LAND DESCRIBED IN THE DEED TO 7-ELEVEN, INC. RECORDED UNDER COUNTY CLERK'S FILE NUMBER D212270899 OF THE REAL PROPERTY RECORDS OF TARRANT COUNTY, TEXAS

TRINITY INDUSTRIES ADDITION; LOT 1, BLOCK 1  
GRAPEVINE, TARRANT COUNTY, TEXAS

TOPOGRAPHICAL SURVEY PREPARED BY:  
OLSSON

DWG: F:\2024\04001-04350\024-04350\40-design\AutoCAD\final plans\Sheets\SDN\C\_SIT01\_02404350.dwg USER: sgarcia  
DATE: Oct 29, 2025 11:00am XREFS: C\_PBLK\_02404350 C\_PBASE\_02404350 C\_PPATT\_02404350



**Olsson**  
5700 TENNYSON PARKWAY  
PLANO, TX 75094  
TELEPHONE: 214.447.3273  
FAX: 214.447.3273  
WWW.OLSSON.COM

PREPARED FOR: **McDonald's USA, LLC**  
These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the contract documents for reuse on another project is not authorized.

DRAWN BY: TWC  
STD ISSUE DATE: 10/20/2025  
REVIEWED BY: MMK  
DATE ISSUED: 10/20/2025

OWNER CONTACT: JORGE MARTINEZ  
PHONE: (832) 654-0059  
110 N CARPENTER ST., CHICAGO, IL 60607

SITE ADDRESS: GRAPEVINE, TX 76051  
AGREEMENT = 2.77

**TITLE: DIMENSIONAL CONTROL SITE PLAN AND LANDSCAPE PLAN**

**SHEET NO. SP-1**

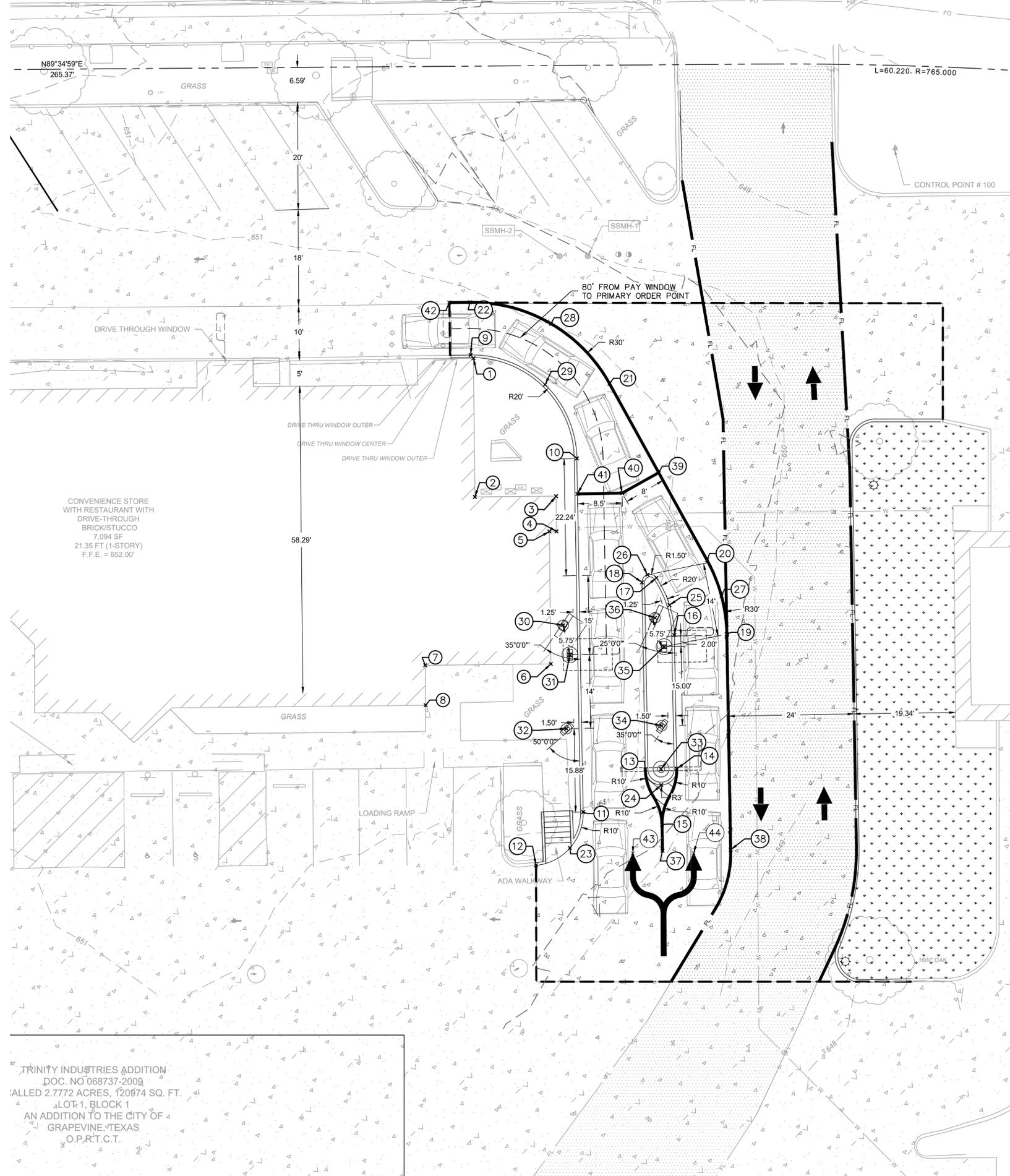
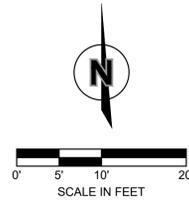
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POINT TABLE			
POINT #	NORTHING	EASTING	FULL DESCRIPTION
1	7022287.7149	2404958.2493	COB
2	7022261.3563	2404958.5158	COB
3	7022261.5130	2404974.0150	COB
4	7022254.8333	2404974.0825	COB
5	7022254.8197	2404972.7426	COB
6	7022229.6710	2404972.9968	COB
7	7022229.4290	2404949.0581	COB
8	7022221.8294	2404949.1349	COB
9	7022288.3162	2404957.7124	EOR
10	7022268.6738	2404977.9699	EOR
11	7022201.5849	2404979.1644	EOR
12	7022191.4390	2404970.1856	EOR
13	7022209.6529	2404991.0223	EOR/EOS
14	7022209.7596	2404997.0214	EOR/EOS
15	7022199.1723	2404994.2094	EOR
16	7022235.1561	2404996.5993	EOR
17	7022246.0150	2404993.1323	EOR
18	7022245.1472	2404990.3906	EOR
19	7022235.3341	2405006.5678	EOR
20	7022249.3666	2405002.8044	EOR
21	7022282.8743	2404984.2049	EOR
22	7022298.3153	2404957.5821	EOR
23	7022194.7523	2404976.6481	COR
24	7022206.7067	2404994.0752	COR
25	7022240.8354	2404995.6402	COR
26	7022246.6040	2404991.4377	COR
27	7022242.5764	2405005.5472	COR
28	7022294.2689	2404973.0245	COR
29	7022282.6764	2404971.8955	COR
30	7022237.0052	2404975.3495	COF
31	7022231.4003	2404976.6330	COF
32	7022217.3865	2404975.9828	COF
33	7022209.7062	2404994.0219	COF
34	7022217.9345	2404994.1304	COF
35	7022232.9454	2404994.6084	COF
36	7022238.4257	2404992.8681	COF
37	7022194.1731	2404994.2983	EOS
38	7022194.4045	2405007.2963	EOS
39	7022265.9732	2404993.5836	EOS
40	7022262.0915	2404986.5884	EOS
41	7022261.9403	2404978.0898	EOS
42	7022298.2642	2404953.6542	EOS
43	7022193.7471	2404988.6389	EOS
44	7022193.7987	2405000.2513	EOS

**NOTES**  
 ALL PAVEMENT DIMENSIONS ARE TO FACE OF CURB, OR EDGE OF PAVEMENT WHERE NO CURB IS PRESENT, UNLESS OTHERWISE NOTED. DIMENSIONED TIES BETWEEN PROPERTY LINES AND BUILDING FACES OR PAVEMENT ARE AS INDICATED. THE CONTRACTOR IS RESPONSIBLE FOR MAKING ANY ADJUSTMENTS NECESSARY FOR FOUNDATIONS, BEDDING EXTENSIONS, SURCHARGING, ETC.

**LAYOUT NOTE**  
 NORTHING-EASTING LOCATION GIVEN AT BACK OF CURB.  
 DIMENSIONS ARE GIVEN AT FACE OF CURB.

COB - CORNER OF BUILDING FOUNDATION  
 EOR - END OF RADIUS  
 COR - CENTER OF RADIUS  
 COF - CENTER OF FOUNDATION  
 EOS - END OF STRIPING



TRINITY INDUSTRIES ADDITION  
 DOC. NO 068737-2009  
 CALLED 2.7772 ACRES, 120974 SQ. FT.  
 LOT 1, BLOCK 1  
 AN ADDITION TO THE CITY OF  
 GRAPEVINE, TEXAS  
 O.P.R.T.C.T.

THE PURPOSE OF THIS CONDITIONAL USE PERMIT IS TO CONVERT THE EXISTING SINGLE-LANE DRIVE-THROUGH TO A DOUBLE-LANE DRIVE-THROUGH AND MODIFY TRAFFIC FLOW EAST OF THE EXISTING BUILDING FOR THE EXISTING MCDONALD'S RESTAURANT.

CASE NAME: MCDONALD'S  
 CASE NUMBER: CU25-20  
 LOCATION: 101 E STATE HIGHWAY 114

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_  
 SHEET: \_\_\_\_\_ OF \_\_\_\_\_

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

PLANNING SERVICES DEPARTMENT

**FOCUSED SITE PLAN**  
 for  
**McDonald's**  
 Lot 1, Block 1, Trinity Industries Addition  
 Ab. No. 131  
 City of Grapevine, Tarrant County, Texas  
 7.78 acres or 120,974 sq. ft.  
 Zone: "C-C" Community Commercial  
 Date of Preparation: October 20, 2025

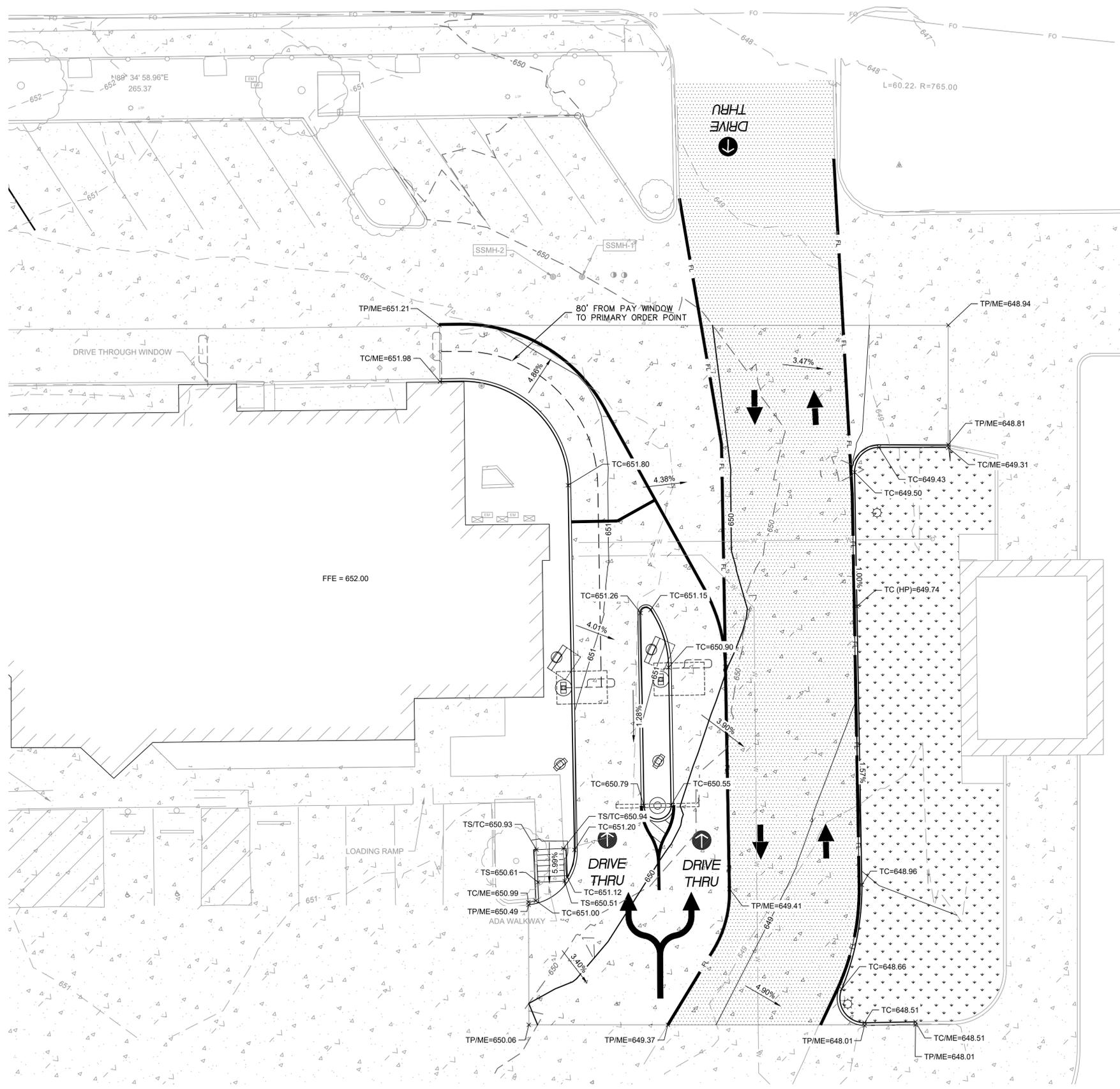
STATE OF TEXAS  
 MADELINE M. KNECHT  
 143217  
 PROFESSIONAL ENGINEER  
 10/29/2025

**Olsson**  
 5700 TENNIS PARKWAY  
 PLANO, TX 75094  
 TEXAS REGISTERED  
 ENGINEERING FIRM F-4293  
 TEL 214.473.2713  
 WWW.OLSSON.COM

PREPARED FOR: McDonald's USA, LLC  
 DRAWN BY: TWC  
 STD ISSUE DATE: 10/20/2025  
 REVIEWED BY: MMK  
 DATE ISSUED: 10/20/2025

TITLE: FOCUSED SITE PLAN  
 SHEET NO.: SP-2  
 AGREE = 2.77

DWG: F:\2024\04001-04500\024-04350\40-design\AutoCAD\final plans\Sheets\SDN\C\_GROD1\_02404350.dwg USER: sgarcia  
 DATE: Oct 29, 2025 11:03am XREFS: C\_PBLK\_02404350 C\_PBASE\_02404350 C\_XBASE\_02404350 C\_PPATT\_02404350



**CONSTRUCTION:**

- THE CONTRACTOR SHALL INSTALL TRAFFIC CONTROL WHILE WORKING IN THE PUBLIC RIGHT-OF-WAY AS SHOWN IN THESE PLANS. IF PLANS ARE NOT PROVIDED, CONTRACTOR SHALL COORDINATE AND PROVIDE CONTROLS TO THE SATISFACTION OF THE RIGHT-OF-WAY OWNER
- THE CONTRACTOR SHALL PROTECT ALL TREES OVER 3" CALIPER FROM DAMAGE. NO TREE SHALL BE REMOVED WITHOUT PERMISSION OF THE OWNER. UNLESS SHOWN OTHERWISE ON THESE PLANS.
- AS A MINIMUM THE CONTRACTOR SHALL PERFORM THE GRADING AS FOLLOWS:
  - THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. STRIPPING EXISTING TOPSOIL AND ORGANIC MATTER SHALL BE TO A MINIMUM DEPTH OF 6 INCHES. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE IN AREAS DESIGNATED BY THE OWNER. CONTRACTOR SHALL REMOVE EXCESS STRIPPINGS AND EXCESS EXCAVATION WITHIN 30 DAYS OF COMPLETION OF GRADING OPERATIONS.
  - AREAS TO RECEIVE FILL AND AREAS CUT TO SUBGRADE LEVEL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. THE SUBGRADE SHALL BE PROOF ROLLED WITH A MODERATELY HEAVY LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE AN FILL MATERIAL CAN BE APPLIED. FILL SHALL BE PLACED IN MAXIMUM OF 8 INCH LIFTS.
  - TOPSOIL SHALL BE PLACED TO A MINIMUM DEPTH OF 6 INCHES OVER ALL AREAS DISTURBED BY THE WORK. LARGE STONES, STICKS AND LUMPS SHALL BE REMOVED OR BROKEN UP, AND THE TOPSOIL SHALL BE LEVELED AND RAKED. ALL DISTURBED AREAS SHALL BE LANDSCAPED PER LANDSCAPE PLANS OR SHALL BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED.
  - CONTRACTOR SHALL PROVIDE COMPACTION TEST RESULTS AS REQUIRED.
- THE CONTRACTOR SHALL DISPOSE ALL WASTE MATERIAL RESULTING FROM THE PROJECT OFF-SITE AND IN STRICT CONFORMANCE WITH ALL LOCAL CODES AND ORDINANCES.
- ALL MANHOLES, CATCH BASINS, UTILITY VALVES AND METER PITS ARE TO BE ADJUSTED OR REBUILT TO GRADE AS REQUIRED, NOT ALL ADJUSTMENTS ARE INDICATED IN THE PLANS.
- THE CONTRACTOR SHALL STREET SWEEP OR OTHERWISE CLEAN ALL ACCESS ROUTES TO THE SITE AT CONCLUSION OF THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL.
- THE EXISTING AND PROPOSED FINISHED GROUND SURFACES ARE AVAILABLE ELECTRONICALLY FOR CONTRACTOR VERIFICATION VIA E-MAIL (IN AUTOCAD FORMAT). THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE EXISTING GROUND SURFACE ELEVATIONS.

**GRADING PLAN NOTES:**

- THE CONTOUR LINES, SPOT ELEVATIONS AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE, SURFACE OF PAVEMENT, TOP OF CURBS, ETC. REFER TO TYPICAL SECTIONS FOR PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT PAVEMENT DEPTH FROM ELEVATIONS SHOWN.
- THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL.
- THE CONTRACTOR SHALL GRADE LANDSCAPED AREAS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND SIDEWALKS WHEN FINISH LANDSCAPE MATERIALS ARE IN PLACE.
- SPOT ELEVATIONS ARE TO EDGE OF PAVEMENT, BACK OF CURB, OR FINISHED GRADE UNLESS OTHERWISE INDICATED. (SEE LEGEND)
- ACCESSIBLE PARKING STALL SHALL NOT EXCEED 2.00 PERCENT IN ANY DIRECTION. ACCESSIBLE SIDEWALKS HAVE A MAXIMUM CROSS SLOPE OF 2 PERCENT AND A MAXIMUM LONGITUDINAL SLOPE OF 5 PERCENT.

**SPOT ELEVATION LEGEND**

- TC TOP OF CURB
- TP TOP OF PAVEMENT
- TS TOP OF SIDEWALK
- ME MATCH EXISTING

**LEGEND**

- 850 ——— PROPOSED MAJOR CONTOUR
- 849 ——— PROPOSED MINOR CONTOUR
- - - 850 - - - EXISTING MAJOR CONTOUR
- - - 849 - - - EXISTING MINOR CONTOUR

THE PURPOSE OF THIS CONDITIONAL USE PERMIT IS TO CONVERT THE EXISTING SINGLE-LANE DRIVE-THROUGH TO A DOUBLE-LANE DRIVE-THROUGH AND MODIFY TRAFFIC FLOW EAST OF THE EXISTING BUILDING FOR THE EXISTING McDONALD'S RESTAURANT.

CASE NAME: McDONALD'S  
 CASE NUMBER: CU25-20  
 LOCATION: 101 E STATE HIGHWAY 114

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: \_\_\_\_\_ OF \_\_\_\_\_

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

PLANNING SERVICES DEPARTMENT

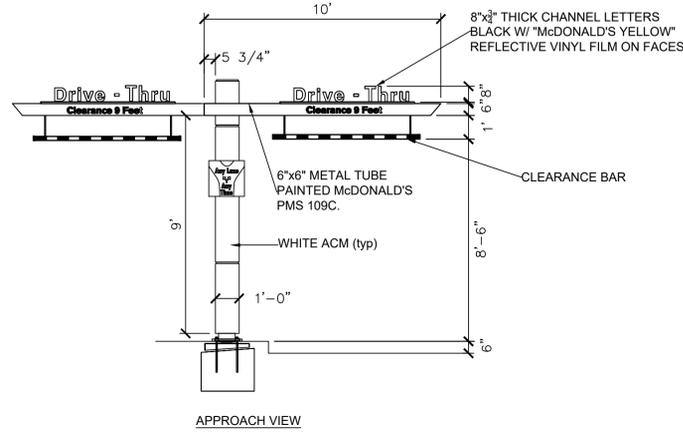
**GRADING PLAN**  
 for  
**McDonald's**  
 Lot 1, Block 1, Trinity Industries Addition  
 Ab. No. 131  
 City of Grapevine, Tarrant County, Texas  
 7.78 acres or 120,974 sq. ft.  
 Zone: "C-C" Community Commercial  
 Date of Preparation: October 20, 2025

DRAWN BY TWC	DATE 10/20/2025	REVIEWED BY MMK	DATE ISSUED 10/20/2025
	DATE 10/20/2025		DATE 10/20/2025
TITLE <b>GRADING PLAN</b>		DESCRIPTION McDonald's RESTAURANT DRIVE THRU REBUILD 101 E TX-114 GRAPEVINE, TX 76051	
SHEET NO. <b>SP-3</b>		SITE ID 42-0225	
PREPARED FOR: <b>McDonald's USA, LLC</b>		OWNER CONTACT: JORGE MARTINEZ PHONE: (832) 654-0059 110 N CARPENTER ST. CHICAGO, IL 60607	
© 2022 McDonald's USA, LLC		AGREE = 2.77	



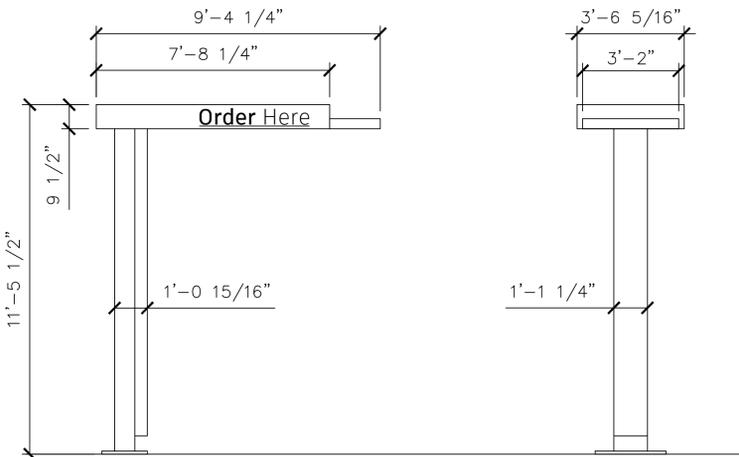
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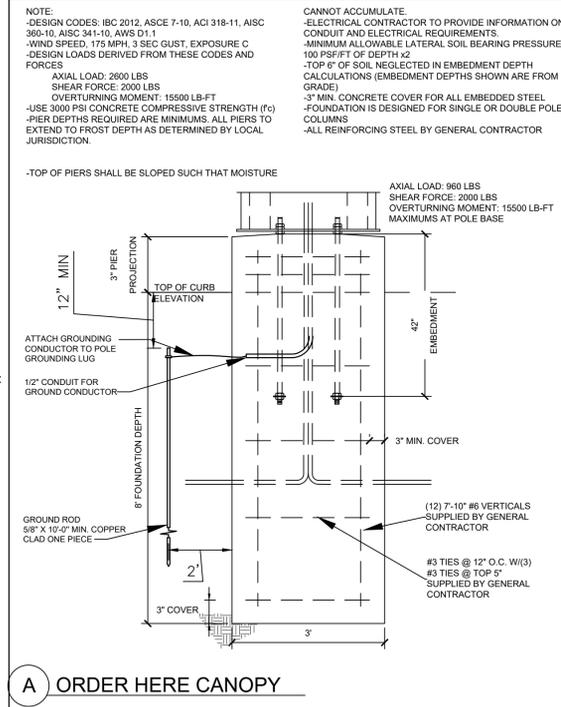
**ILLUMINATION:** N/A  
**SHIP WEIGHT:** 840 LBS.  
**OTHER:** NON-ILLUMINATED CLEARANCE SIGN WITH SPRING LOADED BREAK AWAY CLEARANCE ARM  
 ADJUSTABLE HANGING BAR

**1 DRIVE-THRU GATEWAY (DOUBLE)**  
 SCALE: NOT TO SCALE

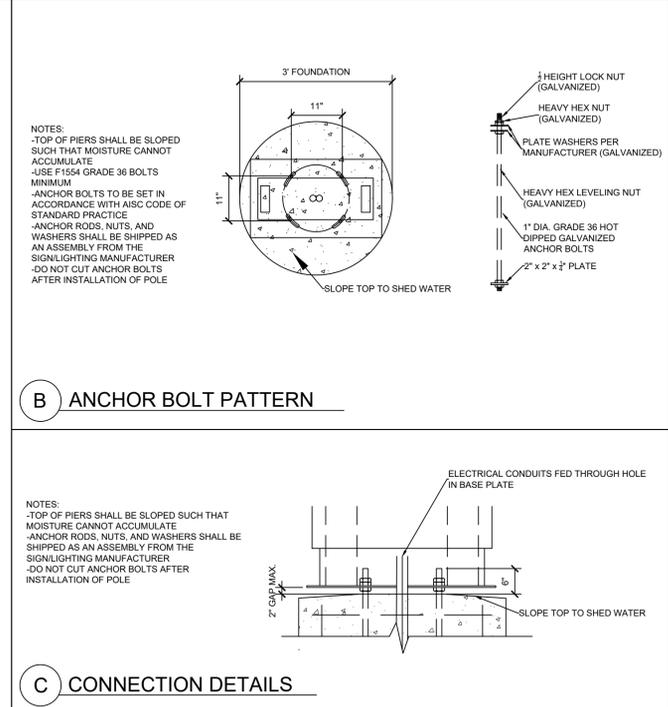


**ILLUMINATION:** LED LIGHT FIXTURE  
**ELECTRICAL:** CANOPY: 0.64 AMP  
 CIRCUIT: (1) 120 VOLTS, 20 AMP

**2 ORDER HERE CANOPY**  
 SCALE: NOT TO SCALE

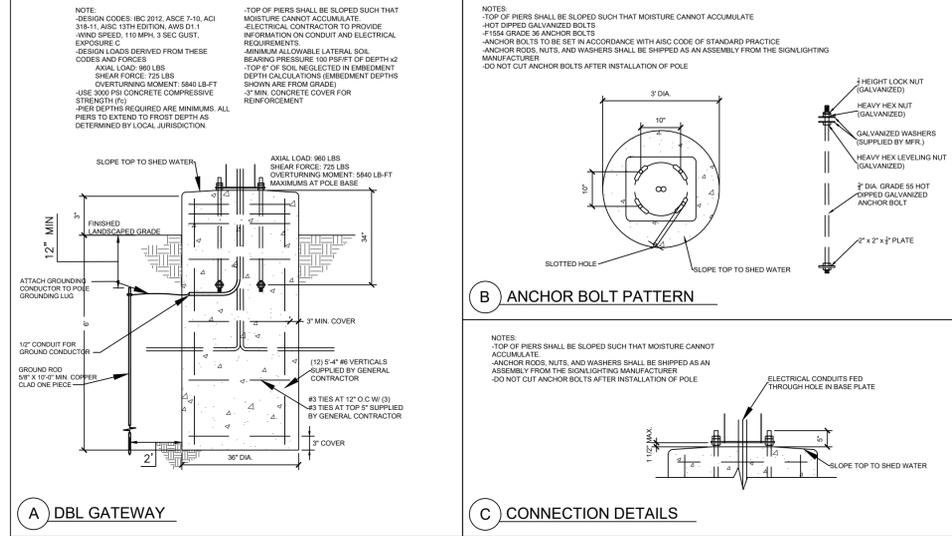


**A ORDER HERE CANOPY**



**C CONNECTION DETAILS**

**2 ORDER HERE DRIVE-THRU CANOPY FOUNDATION**  
 SCALE: NOT TO SCALE



**A DBL GATEWAY**

**C CONNECTION DETAILS**

THE PURPOSE OF THIS CONDITIONAL USE PERMIT IS TO CONVERT THE EXISTING SINGLE-LANE DRIVE-THROUGH TO A DOUBLE-LANE DRIVE-THROUGH AND MODIFY TRAFFIC FLOW EAST OF THE EXISTING BUILDING FOR THE EXISTING MCDONALD'S RESTAURANT.

CASE NAME: MCDONALD'S  
 CASE NUMBER: CU25-20  
 LOCATION: 101 E STATE HIGHWAY 114

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 SHEET: \_\_\_\_\_ OF \_\_\_\_\_

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

PLANNING SERVICES DEPARTMENT

**DETAIL 2**  
 For  
**McDonald's**  
 Lot 1, Block 1, Trinity Industries Addition  
 Ab. No. 131  
 City of Grapevine, Tarrant County, Texas  
 7.78 acres or 120,974 sq. ft.  
 Zone: "C-C" Community Commercial  
 Date of Preparation: October 20, 2025

STATE OF TEXAS  
 143217  
 PROFESSIONAL ENGINEER  
 Madeline M. Knecht  
 10/29/2025

**Olsson**  
 5700 TENNYSON PARKWAY  
 PLANO, TX 75094  
 TEXAS REGISTERED ENGINEERING FIRM F-4293  
 TEL 214.474.32713  
 WWW.OLSSON.COM

PREPARED FOR: McDonald's USA, LLC  
 DRAWN BY: TWC  
 STD ISSUE DATE: 10/20/2025  
 REVIEWED BY: MMK  
 DATE ISSUED: 10/20/2025

TITLE: DETAIL 2  
 SHEET NO.: SP-5  
 DESCRIPTION: MCDONALD'S RESTAURANT DRIVE THRU REBUILD 101 E TX-114 GRAPEVINE, TX 76051  
 SITE ID: 42-0225  
 AGREE = 2.77

TO: SITE PLAN REVIEW COMMITTEE MEMBERS  
FROM: ALBERT L. TRIPLETT, JR. PLANNER II  
DATE: DECEMBER 3, 2025  
SUBJECT: CONDITIONAL USE REQUEST CU25-44; SUNBELT RENTALS, 1035 TEXAN TRAIL

### RECOMMENDATION

Staff recommends the Site Plan Review Committee (SPRC) consider the proposed changes to conditional use permit CU24-48A (Ord. 2024-107) to allow two monument signs to exceed maximum height and effective area requirements along Texan Trail. This request is specifically to allow the addition of a 2,400 sq. ft. prefabricated partially enclosed metal storage building on an existing concrete pad and to add additional paving. The property is zoned "BP", Business Park District and is platted as Block 2, Lot 2A, Airport Crossing JV Wells Addition

### REQUEST

The applicant requests to amend the previously approved site plan of CU24-48A to allow the addition of pavement and riprap around the inlets in the gravel storage yard adjacent to Buildings 3 and 4 for erosion control purposes, and the addition of a 18-foot tall, 40' x 60', 2,400 sq. ft. prefabricated partially enclosed metal storage building on an existing concrete pad near the southeast corner of the site.

### BACKGROUND INFORMATION

The subject property and the surrounding area to the north, south and east were zoned "I-2", Heavy Industrial District prior to the 1984 City-wide rezoning. The property to the west was zoned "C-2", Community Business District prior to the 1984 City-wide rezoning.

- On January 18, 2005, City Council approved zone change Z04-16 (Ord. 2005-004) to rezone 41.235 acres from "PID", Planned Industrial Development District to "CC", Community Commercial District for future development.
- On March 21, 2023, City Council approved zone change Z23-02 (Ord. 2023-017) to rezone 23.320 acres from "CC", Community Commercial District to "BP", Business Park District for the development of an integrated commercial office-warehouse development with outside storage and display areas, a conditional use permit CU23-05 (Ord. 2023-018) to allow sales and rental of heavy equipment and machinery, and a planned development overlay PD23-01 (Ord. 2023-019) to deviate from but not be limited to building encroachment and paving within the required front yard of the "BP", Business Park District

- On January 21, 2025, City Council approved CU24-48A (Ord. 24-107) to amend the previously approved site plan CU23-05 (Ord. 2023-018) to allow sales and rental of heavy equipment and machinery. The request was specifically to allow monument signs proposed along Texan Trail to exceed maximum height and effective area requirements.

/em

CONDITIONAL USE PERMIT APPLICATION AND SITE PLAN SET CHECKLISTS

Current or if unplatted, proposed subdivision name(s), block(s), & lot(s)

Sunbelt Rental Lot 2A, BLK 2

Street frontage & distance to nearest cross street

SE Corner of the intersection of Coppell Rd & Texan Trail

Proposed Zoning

Community Commercial District

Future Land Use Designation

Business Park

Gross area of parcel (to nearest tenth of acre)

22.32 ACRES

Describe the Proposed Use

Business Park

Existing Zoning

Community Commercial District

Subject Property Address

1035 Texan Trail

All Conditional Use Permit Requests are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan approved with a conditional use permit request can only be approved by City Council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four-month period.

I have read and understand all of the requirements as set forth by the application for a conditional use permit request and acknowledge that all requirements of this application have been met at the time of submittal.

Owner Name Jason Tieman Owner Phone Number 803-558-5169

Company Sunbelt Rentals

Address 1799 Innovation Point

City Fort Mill State SC Zip Code 29715

Email [Redacted]

CUAS-41



### CONDITIONAL USE PERMIT APPLICATION AND SITE PLAN SET CHECKLISTS

**Project Representation (check one):**

- I will represent the application myself; OR
- I hereby designate John R McAdams Co/Darren Andrews (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this request. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this request.

I hereby certify that I am the property owner of the property and further certify that the information provided on this development application is true and correct. I have selected the above submittal type and representation of my own volition and not at the request of the City of Grapevine.

Property Owner's Signature [Signature] Date 10/21/2025

STATE OF: Georgia  
COUNTY OF: Cherokee

BEFORE ME, a Notary Public, on this day personally appeared JASON TIEMAN (printed property owner's name) the above signed, who, under oath, stated the following: "I hereby certify that I am the property owner for the purposes of this application; that all information submitted herein is true and correct."

SUBSCRIBED AND SWORN TO before me, this the 21<sup>st</sup> day of October, 2025.

[Signature]

NOTARY PUBLIC in and for the State of ~~Texas~~ <sup>Georgia</sup>



### CONDITIONAL USE PERMIT APPLICATION AND SITE PLAN SET CHECKLISTS

#### Project Representative Information (complete if designated by owner)

Engineer  Purchaser  Tenant  Preparer  Other (specify) \_\_\_\_\_

Name Darren Andrews Company McAdams

Address 4400 SH 121, Suite 800

City Lewisville State Tx Zip Code 75056

Phone 972-436-9712 Email [REDACTED]

Applicant's Signature [Signature] Date 10/22/2025

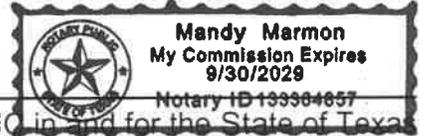
STATE OF: Texas

COUNTY OF: Denton

BEFORE ME, a Notary Public, on this day personally appeared Darren Andrews (printed project representative name) the above signed, who, under oath, stated the following: "I hereby certify that I am the applicant for the purposes of this application; that all information submitted herein is true and correct."

SUBSCRIBED AND SWORN TO before me, this the 27 day of October, 2025

[Signature]  
NOTARY PUBLIC in and for the State of Texas



If the legal owner of the property is a corporation, company, partnership, or Limited Liability Company, provide a copy of a legal document attached with this application showing that the individual signing this document is a duly authorized partner, officer, or owner of said corporation, partnership, or Limited Liability Company.

For any individual or organization who consents to act as an agent for the entity for purposes of receiving any process, notice or demand:

Entity Name or File Number: \_\_\_\_\_

Provide a most recent public information report that includes:

1. All general partners
2. File Number
3. Registered agent name
4. Mailing address



(You may order a copy of a Public Information Report from [open.records@cpa.texas.gov](mailto:open.records@cpa.texas.gov) or Comptroller of Public Accounts, Open Records Section, PO Box 13528, Austin, Texas 78711 or go to <https://mycpa.cpa.state.tx.us/coa/search.do>)

cuas-44

## CONDITIONAL USE PERMIT APPLICATION AND SITE PLAN SET CHECKLISTS

### PLATTING VERIFICATION:

To be filled out by the Public Works & Engineering Department at time of submittal

- It has been determined that the property described below does **require platting or replatting** and the applicant has been instructed on this procedure.
- It has been determined that the property described below is **currently platted or does not require platting or replatting** at this time.

Address of subject property 1035 Texan Trail

Legal description of subject property  
Block 2, Lot 2A, Airport Crossing JV Wells

Cristina B. Purner 10.29.2025  
Public Works Department Date



*CU 25-44*



4400 State Highway 121  
Suite 800  
Lewisville, TX 75056  
972. 436. 9712

SPEC21084

October 27, 2025

**City of Grapevine**

200 S. Main Street

Grapevine, Texas 76051

E: [planning@grapevintexas.gov](mailto:planning@grapevintexas.gov)

P: 817. 410. 3155

**RE: Sunbelt - Conditional Use Permit Narrative**

Dear Planning,

The purpose of this Conditional Use Permit request is for CU-2544

This Conditional Use Permit is for a new prefabricated metal storage building that will be located on an existing concrete pad at the southeast corner of the site. The building will be enclosed on three sides.

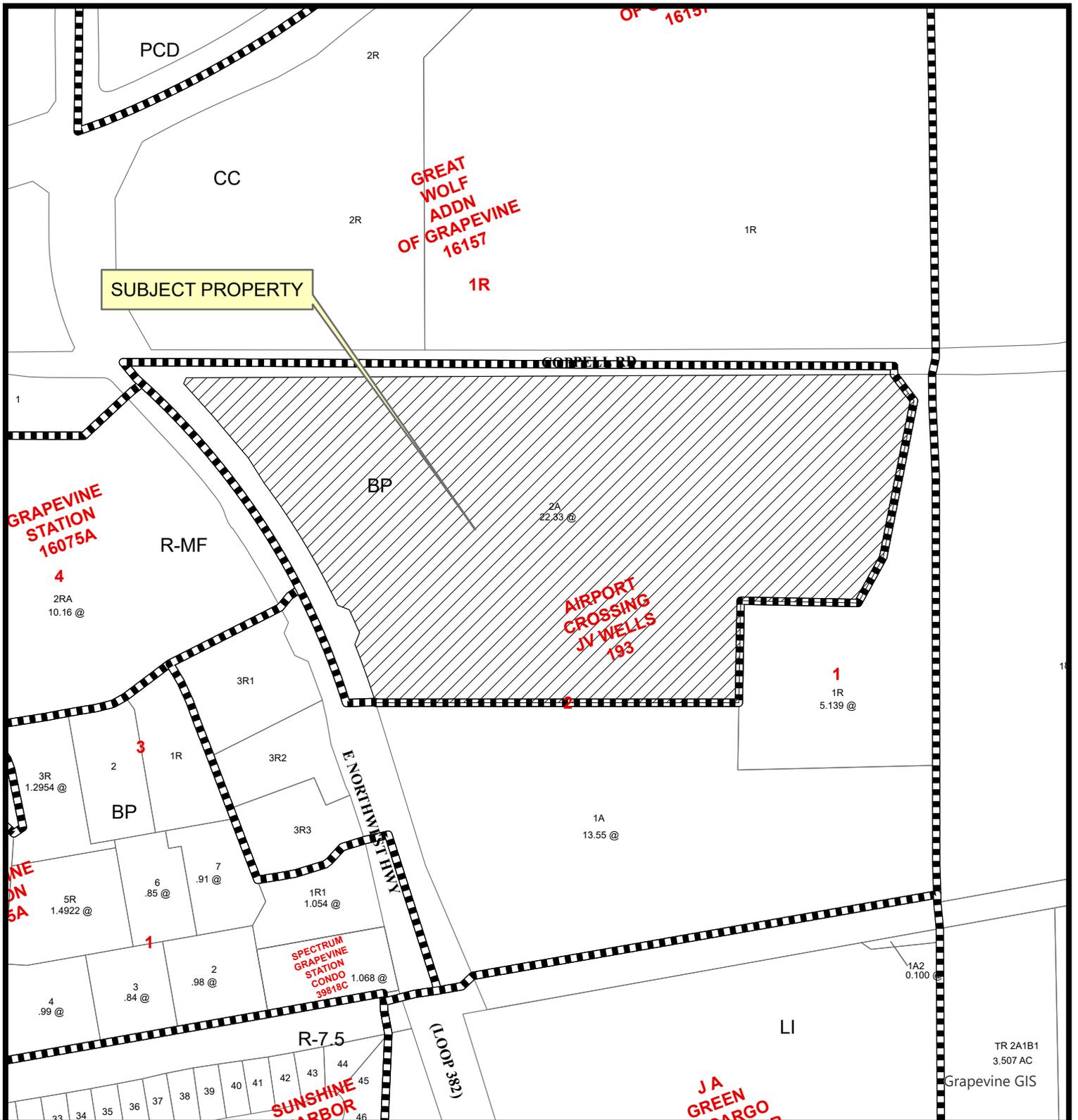
It is also requested to add additional paving where the heavy equipment is accessing the gravel storage area. The band of paving will surround the existing inlets that were installed at the gravel storage yard's perimeter. The purpose of this paving is to help with the maintenance of the inlets and better keep any erosion on site.

Sincerely,

**McAdams**

A handwritten signature in blue ink that reads 'Darren Andrews'.

Darren Andrews, PE | Senior Technical Manager  
[dandrews@mcadamsco.com](mailto:dandrews@mcadamsco.com) | 972.310. 7328



# CU25-44; Sunbelt Rentals 1035 Texan Trail



Date Prepared: 11/11/2025

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.





SCALE: 1" = 100'

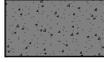
**STANDARD NOTES**

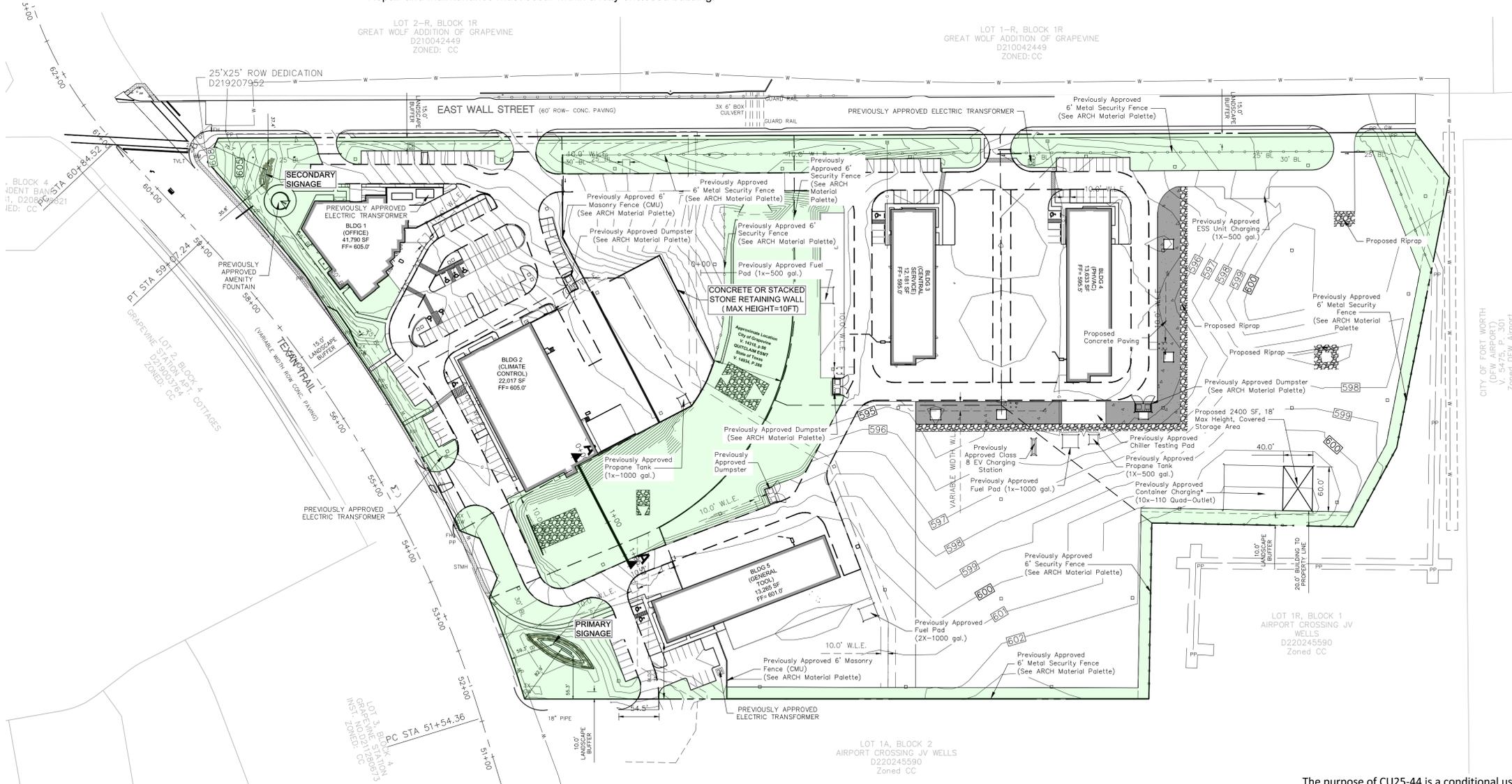
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- Light poles including the base may not exceed 30 feet in height.
- All lighting shall be recessed to avoid glare and not exceed 3.0 foot candles.
- Repair and maintenance must occur within a fully enclosed building.



Vicinity Map 1"=1000'

**PAVING SPECIFICATIONS:**

-  FIRE LANE AND HEAVY EQUIPMENT PAVEMENT:  
8" THICK 4000 PSI CONCRETE W/ #4 BARS @ 18" O.C.E.W.  
6" LIME STABILIZED SUBGRADE TO 95% STD PROCTOR DENSITY
-  OPEN SPACE (242,911.67 SF)



Impervious Area Calculations			
	CUP24-48A	CUP25-44	"BP" Zoning Requirement
Total BLDG SF	74,567	76,967	
BLDG Coverage	7.66%	7.91%	MAX 60%
Total Impervious SF	401,798	429,726	
Open Space	34.05%	24.98%	MIN 20%
Impervious Surface	41.32%	44.19%	MAX 80%

Impervious Pavement Calculations			
	CUP24-48A	CUP25-44	
BLDG Footprint	74,567 SF	76,967 SF	
Pavement	306,229.18 SF	330,081 SF	
Sidewalk	21,002 SF	22,677 SF	

Heavy Machinery Storage	8.69 AC.
Heavy Machinery Storage Percentage	38.93%
Net Acreage	20.72 AC.
Total Acreage	22.32 AC.

NET ACREAGE: Total site acreage minus channel Quitclaim Drainage ESMT.

SUNBELT RENTALS - PARKING SUMMARY CHART																
BLDG	STORIES	HEIGHT	TYPE	TOTAL LOT AREA	(USE) BLDG SF	OVERALL TOTAL BLDG (SF)	TOTAL BLDG AREA (SF)	BLDG COVERAGE PERCENTAGE (%)	FLOOR AREA RATIO (%)	BLDG MASONRY PERCENTAGE (%)	RATIO	PARKING REQUIRED BY USAGE	TOTAL PARKING REQUIRED	PARKING PROVIDED	ADA REQUIRED	ADA PROVIDED
BLDG 01	3	152'-0"	Office	22.32	36,548	41,790	13,111	1.35	4.30	71.70	5 + 1 / 300 SF	127	127	99	5	5
BLDG 02	1	133'-0"	Office		1,650	22,017	22,017	2.26	2.26	86.40	1 Space / 300 SF	6	16	16	1	1
			Warehouse		20,367							1 Space / 2,000 SF	10			
BLDG 03	1	131'-0"	Office		2,063	12,181	12,181	1.25	1.25	80.31	1 Space / 300 SF	7	12	19	1	1
			Warehouse		10,118							1 Space / 2,000 SF	5			
BLDG 04	1	126'-10 1/2"	Office	2,327	13,633	13,633	1.40	1.40	84.15	1 Space / 300 SF	8	14	19	1	1	
			Warehouse	11,306							1 Space / 2,000 SF	6				
BLDG 05	1	127'-0"	Office	2,408	13,625	13,625	1.40	1.40	77.29	1 Space / 300 SF	8	14	27	2	2	
			Warehouse	11,217							1 Space / 2,000 SF	6				
<b>TOTAL:</b>				<b>22.32</b>	<b>TOTAL: 103,246</b>	<b>74,567</b>	<b>7.66</b>	<b>10.61</b>	<b>399.85</b>	<b>TOAL: 183</b>		<b>183</b>	<b>180</b>	<b>10</b>	<b>10</b>	

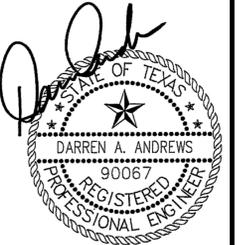
The purpose of CU25-44 is a conditional use permit to allow the addition of pavement and riprap around the inlets in the gravel storage yard for erosion control purposes, as well as the addition of a 18' tall, 40'x60' covered storage area on the container charging area in the southeast corner of the site.

CASE NAME: Sunbelt Rental  
 CASE NUMBER: CU25-44  
 LOCATION: 1035 Texan Trail  
 DATE: \_\_\_\_\_  
 SHEET: \_\_\_\_ OF \_\_\_\_  
 APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
 Planning Services Department

OWNER/DEVELOPER  
**SUNBELT RENTALS**  
 2341 DEERFIELD DRIVE  
 FORT MILL, SOUTH CAROLINA  
 Ph. (803) 678-5922  
 Contact: JASON TIEMAN



The John R. McAdams Company, Inc.  
 4400 State Highway 121, Suite 800  
 Lewisville, Texas 75056  
 phone 972. 436. 9712  
 fax 972. 436. 9715  
 www.mcadamsco.com



**MASTER SITE PLAN**  
 for  
**Sunbelt Rentals**  
 Lot 2A, Block A, AIRPORT CROSSING JV WELLS  
 Esther Moore Survey, Ab. No. 1029  
 City of Grapevine, Tarrant County, Texas  
 22.320 Acres OR 972,259.2 SF  
 ZONE: "BP" Business Park District  
 Date of Preparation: October 27th, 2025

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_  
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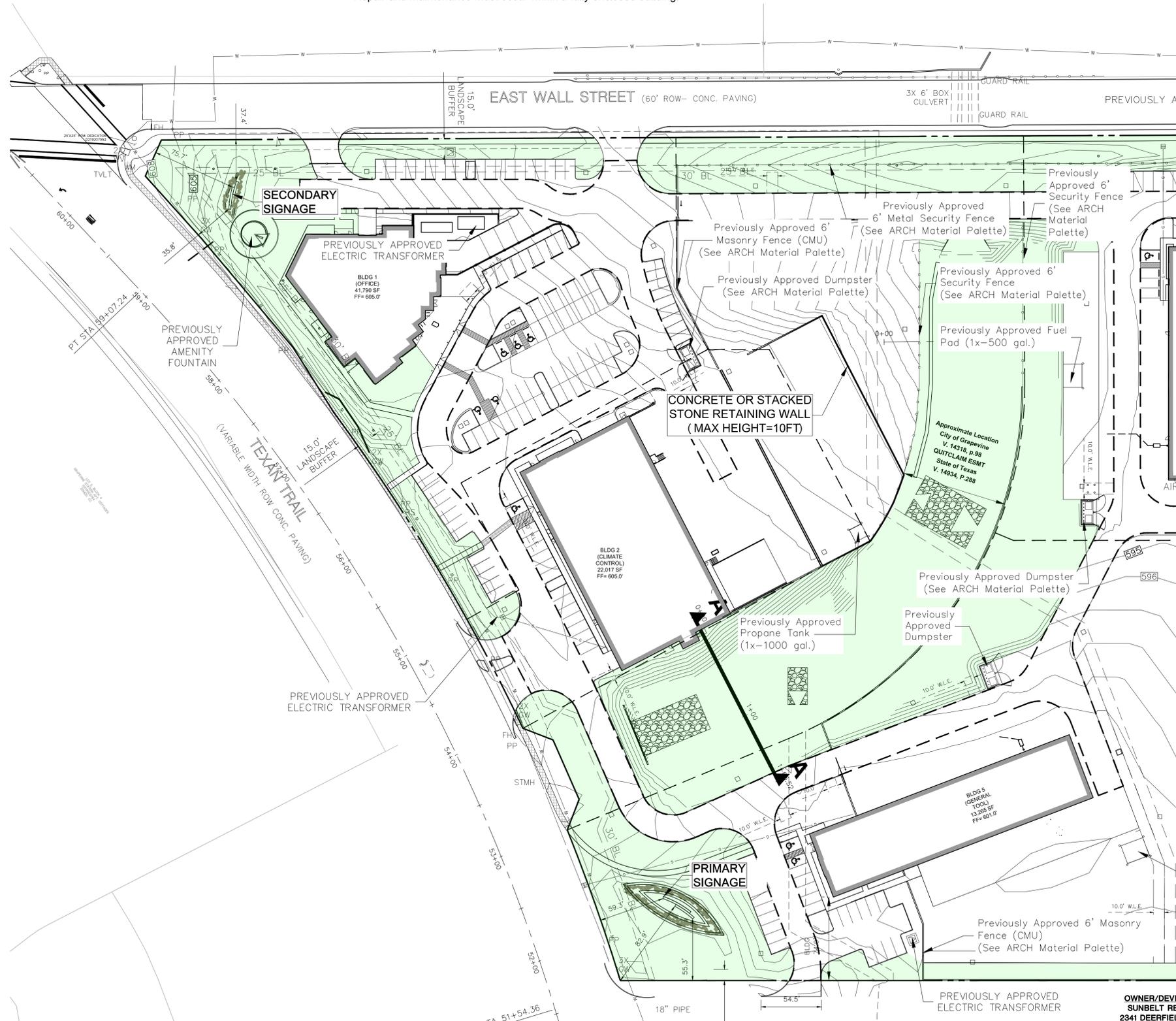
DRAWN BY: AB DATE: 11/14/2025 SCALE: 1"=100' JOB: No. SPEC21084



SCALE: 1" = 50'

**STANDARD NOTES**

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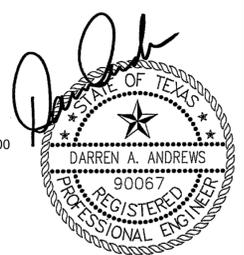


LINES & SYMBOLS:		LEGEND	
<b>Existing:</b>		<b>Proposed:</b>	
---	Property Line	---	Contours
----	Asphalt Pavement	----	Wood Fence
----	Chain Link Fence	----	Wire Fence
----	Masonry Wall	----	Masonry Wall
----	Centerline of Creek, Swale, or Waterway	----	Waterline
----	Sanitary Sewer	----	Storm Sewer
----	Overhead Power	----	Buried Power
----	Gas Line	----	Fire Hydrant
----	Water Valve	----	Water Meter
----	Sanitary Sewer Manhole	----	Guy Wire
----	Light Pole	----	Power Pole
----	Tree	----	

The purpose of CU25-44 is a conditional use permit to allow the addition of pavement and riprap around the inlets in the gravel storage yard for erosion control purposes, as well as the addition of a 18' tall, 40'x60' covered storage area on the container charging area in the southeast corner of the site.



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CASE NAME: Sunbelt Rental  
 CASE NUMBER: CU25-44  
 LOCATION: 1035 Texan Trail

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: \_\_\_\_ OF \_\_\_\_

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

Planning Services Department

**ARCHITECTURAL SITE SHEET A**  
 for  
**Sunbelt Rentals**  
 Lot 2A, Block A, AIRPORT CROSSING JV WELLS  
 Esther Moore Survey, Ab. No. 1029  
 City of Grapevine, Tarrant County, Texas  
 22.320 Acres OR 972,259.2 SF  
 ZONE: "BP" Business Park District  
 Date of Preparation: October 27th, 2025

11/14/2025

DRAWN BY: AB DATE: 11/14/2025 SCALE: 1"=50' JOB. No. SPEC21084

OWNER/DEVELOPER  
**SUNBELT RENTALS**  
 2341 DEERFIELD DRIVE  
 FORT MILL, SOUTH CAROLINA  
 Ph. (803) 678-5922  
 Contact: JASON TIEMAN



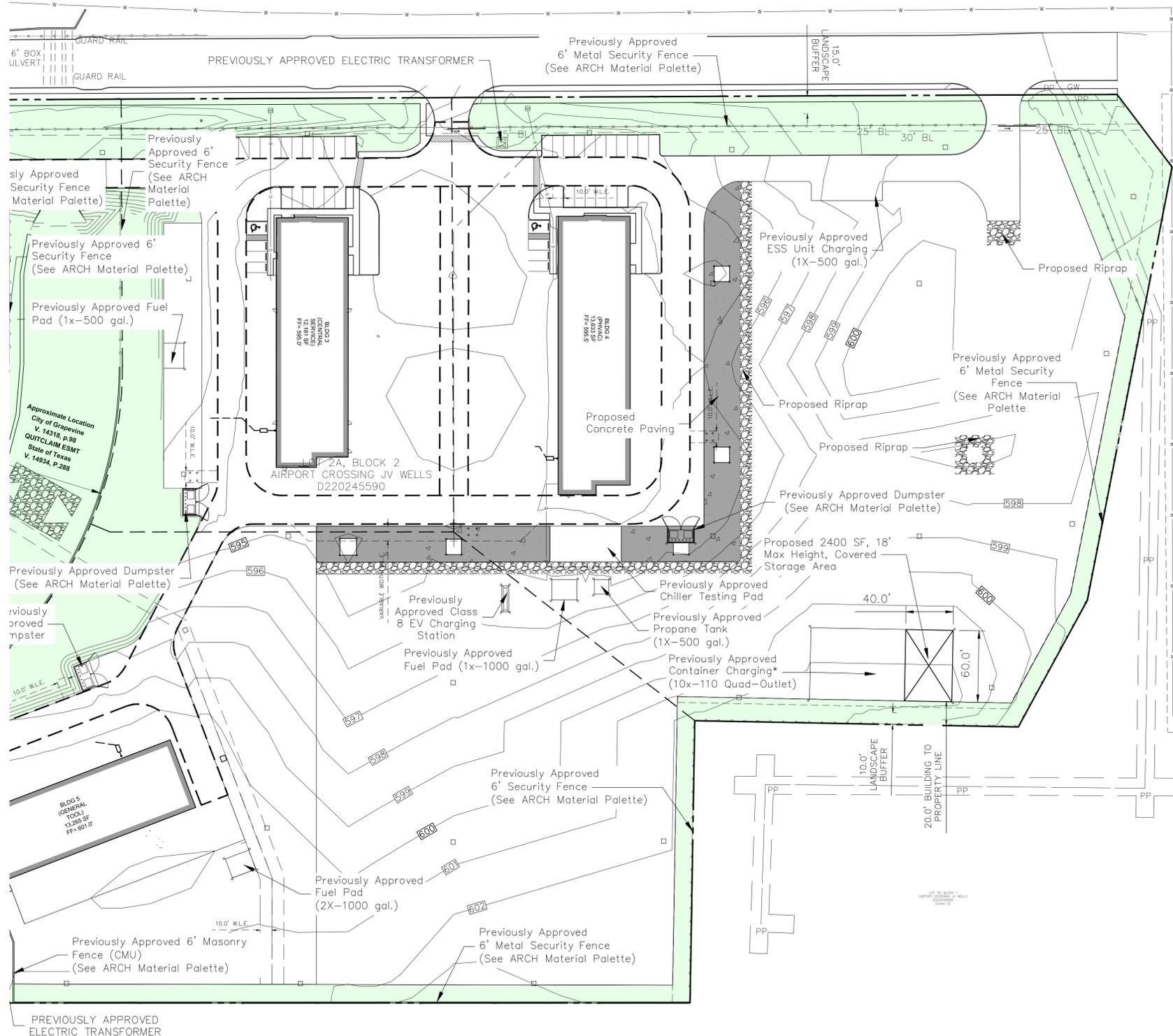
50 0 50 100 150 Feet  
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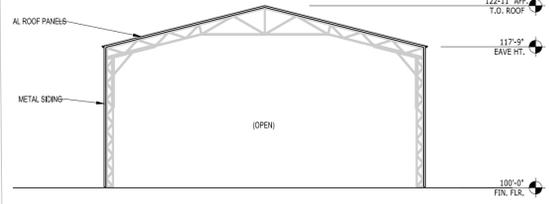


Vicinity Map 1"=1000'

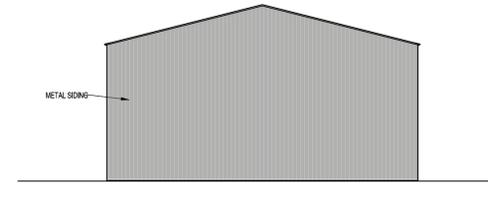


**PAVING SPECIFICATIONS:**

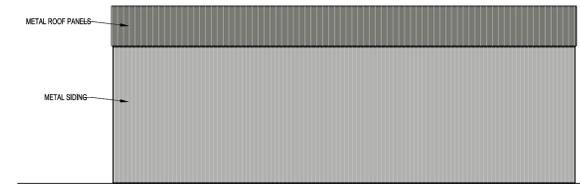
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 8" THICK 4000 PSI CONCRETE W/ #4 BARS @ 18" O.C.E.W.  
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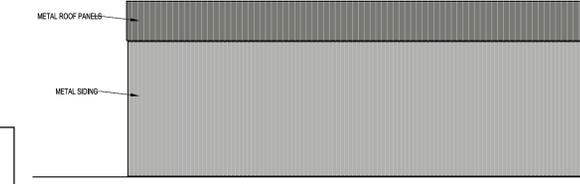
1 NORTH ELEVATION  
SCALE: 3/16" = 1'-0"



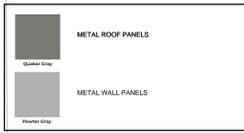
1 SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



1 EAST ELEVATION  
SCALE: 3/16" = 1'-0"



1 WEST ELEVATION  
SCALE: 3/16" = 1'-0"



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 LOCATION: 1035 Texan Trail

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
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 \_\_\_\_\_  
 CHAIRMAN \_\_\_\_\_  
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 TBPE: 19762 TBPLS: 10194440



**ARCHITECTURAL SITE SHEET B**  
 for  
 Sunbelt Rentals  
 Lot 2A, Block A, AIRPORT CROSSING JV WELLS  
 Esther Moore Survey, Ab. No. 1029  
 City of Grapevine, Tarrant County, Texas  
 22.320 Acres OR 972,259.2 SF  
 ZONE: "BP" Business Park District  
 Date of Preparation: October 27th, 2025

DRAWN BY: AB DATE: 11/14/2025 SCALE: 1"=50' JOB. No. SPEC21084

TO: SITE PLAN REVIEW COMMITTEE MEMBERS  
FROM: ALBERT L. TRIPLETT, JR. PLANNER II  
DATE: DECEMBER 3, 2025  
SUBJECT: CONDITIONAL USE REQUEST CU25-46; DYNATEN, 3642 EULESS GRAPEVINE ROAD

### RECOMMENDATION

Staff recommends the Site Plan Review Committee (SPRC) consider the proposed changes to conditional use permit CU23-02 (Ord. 2023-028) to allow outdoor storage in conjunction with the development of an industrial warehouse building. This request is specifically to install an eight (8) foot tall ornamental security fence, increase the amount of parking by 128 spaces, and make modifications to elevations including the addition of three (3) large drive-in doors with ramps, and install additional windows. The property is zoned "PID", Planned Industrial Development District and is platted as Block 1, Lot 4 AG, Curnes Addition.

### REQUEST

The applicant requests to amend the previously approved site plan of Conditional Use Request CU23-02 to allow outdoor storage in conjunction with a 230,340 square foot building. This request is specifically to allow the addition of pavement for the construction on 128 parking spaces to the east of the existing building between the existing parking and Euless Grapevine Road, install an eight (8) foot tall ornamental security fence with gates to the west of the existing building around the existing commercial vehicle storage, maneuvering and dock area, and make modifications to elevations including the addition of three (3) large drive-in doors with ramps, and install additional windows.

### BACKGROUND INFORMATION

The subject site and surrounding property were zoned "R-1", Single-Family Dwelling District prior to the 1984 City-wide Rezoning. Once a portion of the A.C. Stone tract, the property was a part of the City of Grapevine's Extraterritorial Jurisdiction (ETJ). When the property was re-annexed in November of 1993, it received the zoning designation "R-20", Single-Family District, which is the default designation given to all property immediately after annexation.

- On December 16, 2008, City Council approved SU08-05 (Ord. 2008-76) on the subject site to allow for gas well drilling and production in nonresidential district.
- On February 16, 2010, City Council approved a one-year extension of SU08-05 on the subject site to allow gas well drilling and production in a non-residential zoning district to expire on December 16, 2010.

- On May 16, 2023, City Council approved CU23-02 (Ord. 23-028) to amend the previously approved site plan CU23-05 (Ord. 2023-028) to allow outdoor storage in conjunction with the development of an industrial warehouse building.

/em

Received 10/27/2025 as part of initial submittal.

CONDITIONAL USE PERMIT APPLICATION AND SITE PLAN SET CHECKLISTS

Current or if unplatted, proposed subdivision name(s), block(s), & lot(s) CURNES ADDITION BLOCK 1, LOT 4  
Street frontage & distance to nearest cross street EULESS GRAPEVINE RD & 2,000 LF  
Proposed Zoning PID

Gross area of parcel (to nearest tenth of acre) 30.57 ACRES  
Describe the Proposed Use SITE PLAN MODIFICATION  
Existing Zoning PID

Future Land Use Designation INDUSTRIAL/COMMERCIAL

Subject Property Address 3642 EULESS GRAPEVINE RD. GRAPEVINE, TX

**All Conditional Use Permit Requests are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of staff. Based on the size of the agenda, your application may be scheduled to a later date.**

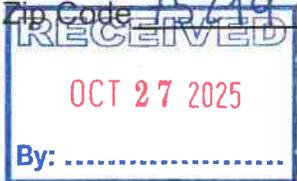
**All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.**

**Any changes to a site plan approved with a conditional use permit request can only be approved by City Council through the public hearing process.**

**Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four-month period.**

**I have read and understand all of the requirements as set forth by the application for a conditional use permit request and acknowledge that all requirements of this application have been met at the time of submittal.**

Property Owner Name BUNKER CURNES  
Property Owner Phone Number 214-600-3057  
Company DFW WEST LOGISTICS ONE, LLC.  
Address 3811 TURTLE CREEK BLVD. SUITE 1825  
City DALLAS State TX Zip Code 75249  
Email [REDACTED]



*was-46*

Received 10/27/2025 as part of initial submittal.

CONDITIONAL USE PERMIT APPLICATION AND SITE PLAN SET CHECKLISTS

Project Representation (check one):

- I will represent the application myself; OR
I hereby designate CHASE KILLINGSWORTH (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this request.

I hereby certify that I am the property owner of the property and further certify that the information provided on this development application is true and correct. I have selected the above submittal type and representation of my own volition and not at the request of the City of Grapevine.

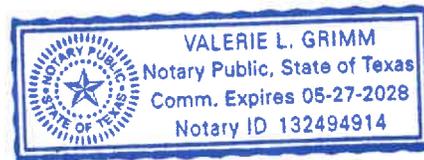
Property Owner's Signature [Signature] Date OCT 20, 2025

STATE OF: TEXAS
COUNTY OF: DALLAS

BEFORE ME, a Notary Public, on this day personally appeared OCTOBER 20, 2025 (printed property owner's name) the above signed, who, under oath, stated the following: "I hereby certify that I am the property owner for the purposes of this application; that all information submitted herein is true and correct."

SUBSCRIBED AND SWORN TO before me, this the 20th day of OCTOBER, 2025 [Signature]

NOTARY PUBLIC in and for the State of Texas



CUAS-46



Received 10/27/2025 as part of initial submittal.

CONDITIONAL USE PERMIT APPLICATION AND SITE PLAN SET CHECKLISTS

Project Representative Information (complete if designated by owner)

Engineer Purchaser Tenant Preparer Other (specify) GENERAL CONTRACTOR

Name CHASE KILLINGSWORTH Company ARCO/MURRAY NATIONAL DALLAS

Address 4925 GREENVILLE AVENUE, SUITE 915

City DALLAS State TX Zip Code 75206

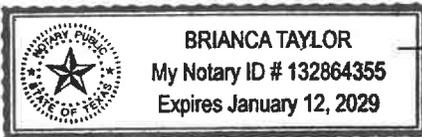
Phone 469-251-9017 Email [REDACTED]

Applicant's Signature [Signature] Date 10/23/25

STATE OF: TEXAS COUNTY OF: DALLAS

BEFORE ME, a Notary Public, on this day personally appeared Chase Killingsworth (printed project representative name) the above signed, who, under oath, stated the following: "I hereby certify that I am the applicant for the purposes of this application; that all information submitted herein is true and correct."

SUBSCRIBED AND SWORN TO before me, this the 23rd day of October, 2025



[Signature] NOTARY PUBLIC in and for the State of Texas

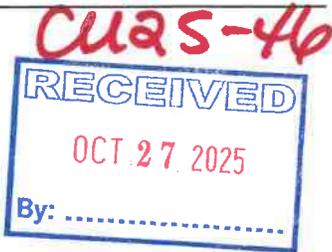
If the legal owner of the property is a corporation, company, partnership, or Limited Liability Company, provide a copy of a legal document attached with this application showing that the individual signing this document is a duly authorized partner, officer, or owner of said corporation, partnership, or Limited Liability Company.

For any individual or organization who consents to act as an agent for the entity for purposes of receiving any process, notice or demand:

Entity Name or File Number:

Provide a most recent public information report that includes:

- 1. All general partners
2. File Number
3. Registered agent name
4. Mailing address



(You may order a copy of a Public Information Report from open.records@cpa.texas.gov or Comptroller of Public Accounts, Open Records Section, PO Box 13528, Austin, Texas 78711 or go to https://mycpa.cpa.state.tx.us/coa/search.do)

Received 10/27/2025 as part of initial submittal.

**CONDITIONAL USE PERMIT APPLICATION AND SITE PLAN SET CHECKLISTS**

**PLATTING VERIFICATION:**

*To be filled out by the Public Works & Engineering Department at time of submittal*

It has been determined that the property described below does **require platting or replatting** and the applicant has been instructed on this procedure.

It has been determined that the property described below is **currently platted or does not require platting or replatting** at this time.

Address of subject property 3642 Euless-Grapevine Rd, Grapevine, TX 76051

Legal description of subject property Curnes Addition, Block 1, Lot 4

*Justin Turner*  
Public Works Department

10.29.2025  
Date



*CU25-46*

# CONDITIONAL USE PERMIT APPLICATION AND SITE PLAN SET CHECKLISTS



## City of Grapevine Signage Requirements

### Signage Requirements

The following is a list of requirements for signage associated with zoning applications. A completed checklist must be submitted with each application. Applicants shall indicate willingness to comply with standards by checking the box adjacent to the standard.

### Sign Posting Standards

Zoning signage shall comply with the following standards:

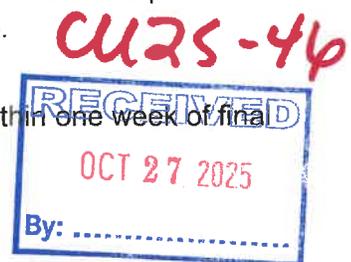
- The applicant shall be responsible for posting at least one zoning sign on each corner of the subject property 10-14 days prior to the Joint City Council and Planning & Zoning Commission (P&Z) scheduled public hearing. If the subject property does not have any pervious frontage, the sign shall be posted in the window or in another clearly visible location as determined by staff.
- The applicant shall furnish an affidavit, as well as date-stamped photographs of each side of the posted sign(s), to the City of Grapevine Planning Services Department certifying that the required signs were posted on the subject property 10-14 days prior to the said public hearing.
- Failure to post signage 10-14 days prior to the public hearing shall result in the postponement of the case being presented to City Council and P&Z.

Public Hearing Date	Dates to post Signage
September 16, 2025	September 1-5
October 21, 2025	October 6-10
November 18, 2025	November 3-7
December 16, 2025	December 1-5

### Sign Maintenance Standards

Maintenance of zoning notification signage shall comply with the following standards:

- The applicant shall be responsible for ensuring that the zoning sign(s) remain visible and present on the property from the time of posting to final action of the City of Grapevine.
- The applicant shall be responsible for removing zoning notification signage within one week of final action by the City of Grapevine.



CONDITIONAL USE PERMIT APPLICATION AND SITE PLAN SET CHECKLISTS

Sign Design Criteria

Signs must be:

- 24 inches long by 48 inches wide, per State law.
Signs must be designed and printed according to the template provided below.

NOTICE OF PUBLIC HEARING

A ZONING AND/OR DEVELOPMENT APPLICATION(S) HAS BEEN FILED FOR THIS PROPERTY



For information contact: City of Grapevine (817) - 410-3155 planning@grapevintexas.gov

Project Representative Information (complete if designated by owner)

Project Representative Information form with handwritten entries: Name CHASE KILLINGSWORTH, Company ARCO/MURRAY NATIONAL DALLAS, Address 4925 GREENVILLE AVENUE, SUITE 915, City DALLAS, State TX, Zip Code 75206, Phone 469-251-9017, Date 10/23/25.

Handwritten signature of Chase Killingsworth



Handwritten number CURS-44



October 27, 2025

City of Grapevine  
200 S Main St.  
Grapevine, TX 76051

RE: 157,410 SF lease (43,310 SF office space, 114,100 SF warehouse and outside storage)  
Curnes Addition | 3642 Euless-Grapevine Rd, Grapevine, TX  
Previous Case #: CU23-02  
Previous Project ID#: CU23-0050

To whom it may concern:

We are requesting modifications to the previously approved conditional use permit (CU23-02) for our project located at 3642 Euless-Grapevine Road. The site is currently zoned PID with a conditional use permit to allow for outdoor storage.

The modifications we are requesting to the previously approved project are as follows: install an 8'-0" tall ornamental security fence with two (2) vehicular auto-gates to enclose the truck court for the portion of the building that the tenant is occupying, increase the amount of parking stalls by 125, add three (3) large drive-in doors with ramps along the dockside of the building, and install additional windows along the east side of the building.

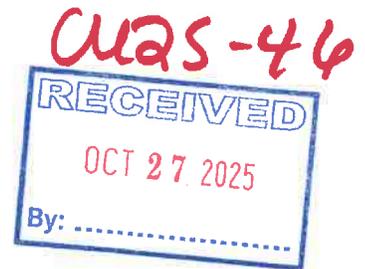
The addition of the fence will provide security for the property in an aesthetically pleasing manner. The additional parking spaces will allow for an extensive number of employees to park on-site which is necessary for the tenant's operation. The added drive-in doors will provide more locations that can be utilized to bring material in/out of the facility to increase efficiency. The added windows will provide more natural light for the office employees and provide a more appealing aesthetic to the façade.

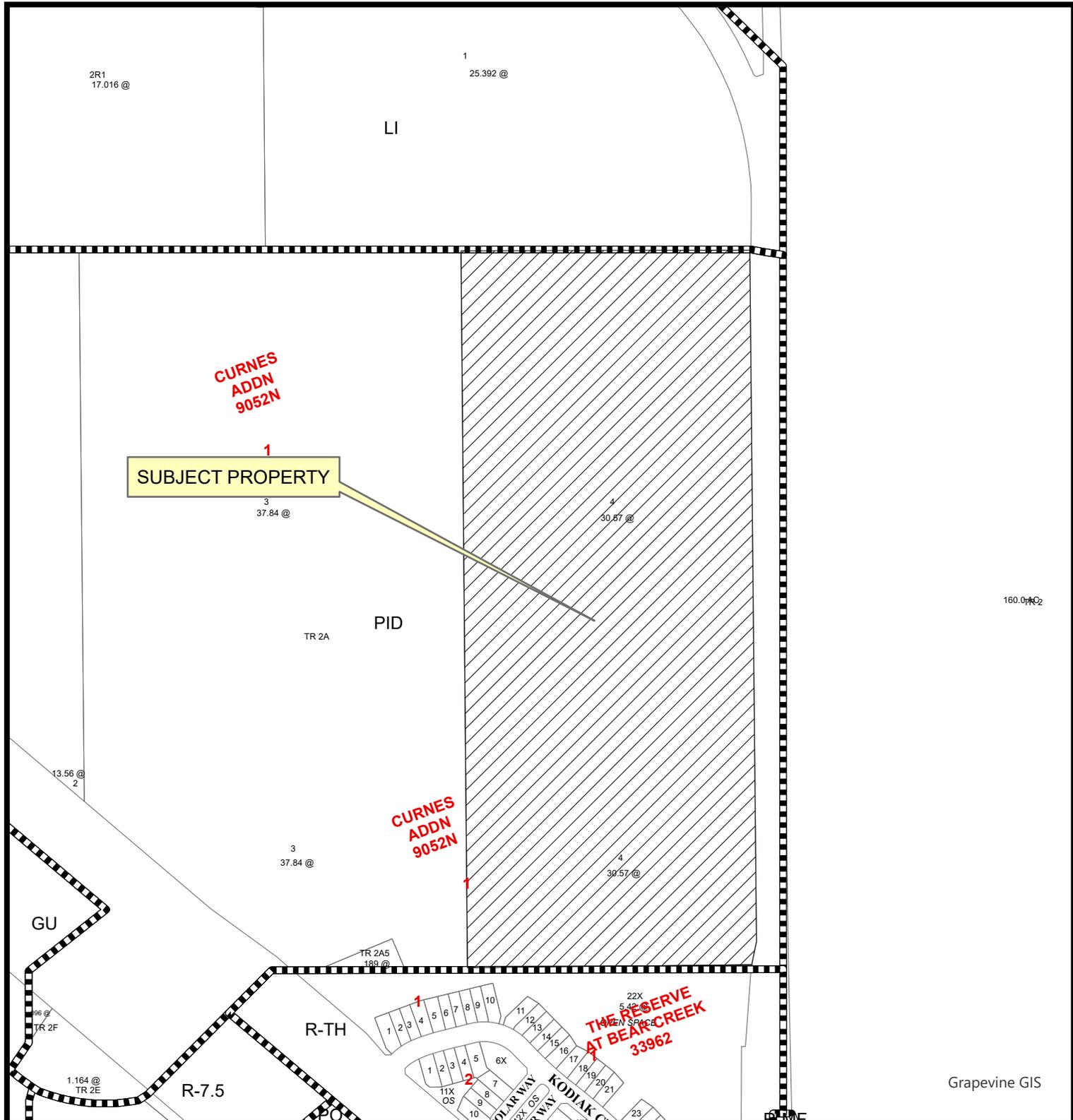
We appreciate your consideration. Please call with any questions or clarifications you may have regarding the request.

Respectfully,

Chase Killingsworth  
ARCO/Murray National Dallas  
Project Manager  
469-251-9017

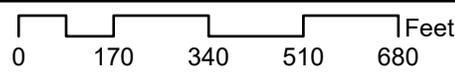
cc: Bunker Curnes, DFW West Logistics One, LLC  
cc: Kyle Hogue, DynaTen Corporation  
cc: Cody Hodge, Halff Engineers





160.07 AC

Grapevine GIS



# CU25-46; Dynaten 3642 Eules Grapevine Road

Date Prepared: 11/11/2025

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

PREVIOUSLY APPROVED  
SITE PLAN

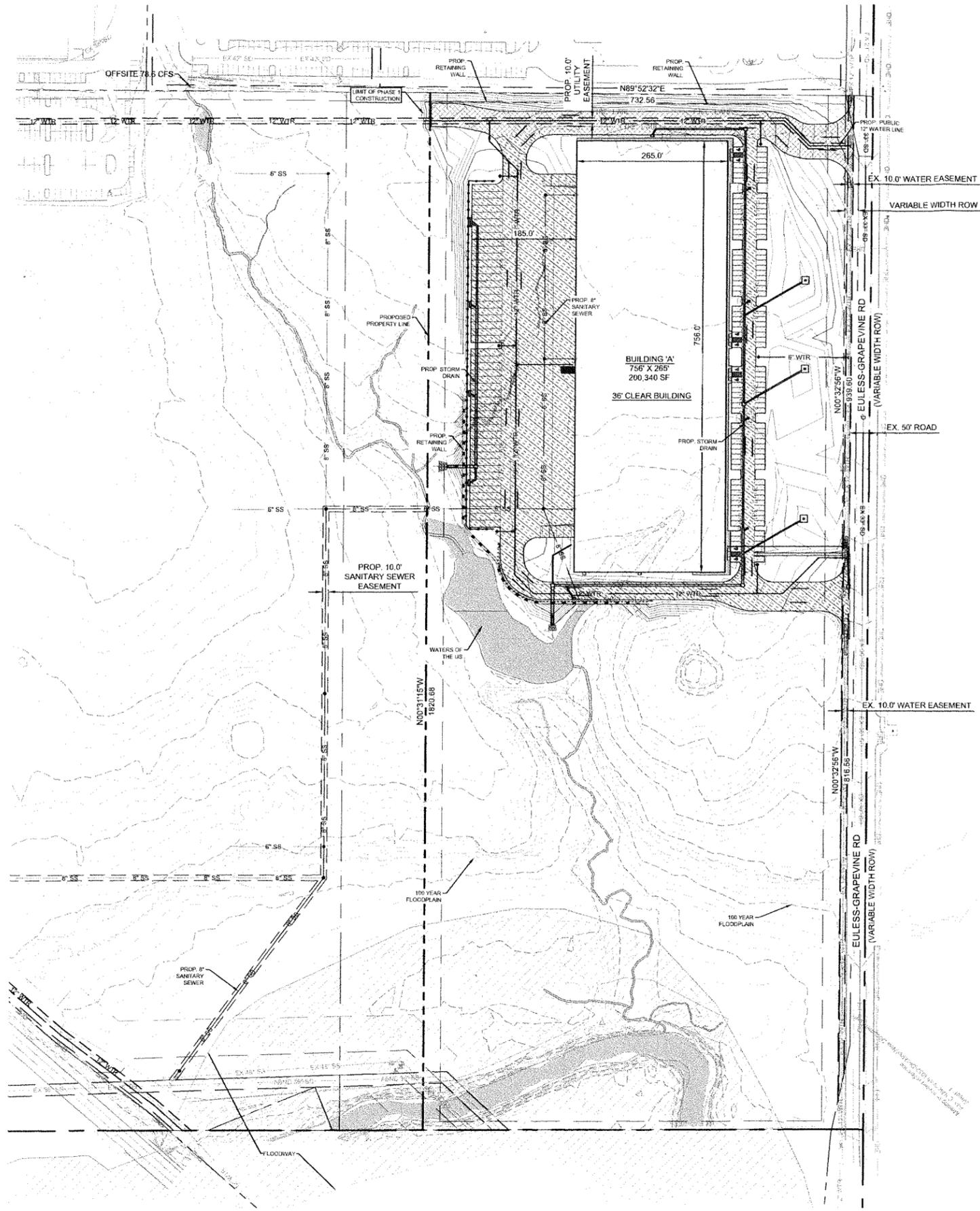
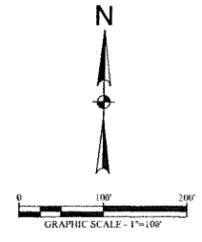
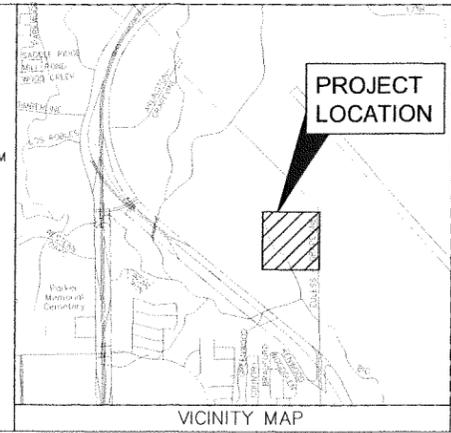
**OWNER**  
 CURNES PARTNERS, LP  
 CONTACT: BUNKER CURNES  
 TEL: 214-600-3057  
 EMAIL: BUNKERCURNES@GMAIL.COM

**CONTRACTOR**  
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**ELECTRICAL ENGINEER**  
 ARCO MURRAY ENGINEERING  
 CONTACT: JOE BUSHMAN  
 TEL: 331-988-3341  
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**LEGEND**

- |  |   |  |                                  |
|--|---|--|----------------------------------|
|  | 5" THICK, 4,000 PSI REINFORCED CONCRETE PAVEMENT WITH #3 BARS 18" O.C.E.W. 95% COMPACTED NATIVE |  | PROPOSED 12" WATER LINE          |
|  | 4" THICK, 4,000 PSI CONCRETE PAVEMENT   |  | EXISTING 12" WATER LINE          |
|  | 7" THICK, 4,000 PSI CONCRETE PAVEMENT 95% COMPACTED NATIVE                                      |  | PROPOSED 8" SANITARY SEWER LINE  |
|  | 8" THICK, 4,000 PSI CONCRETE PAVEMENT 95% COMPACTED NATIVE                                      |  | PROPOSED 6" SANITARY SEWER LINE  |
|  | 5" THICK, 4,000 PSI CONCRETE PAVEMENT WITH PINNED CONNECTION 95% COMPACTED NATIVE               |  | EXISTING 36" SANITARY SEWER LINE |
|  | TRAFFIC CIRCULATION PLAN  |  | PROPOSED 6" WATER LINE           |
|  | PROPOSED PROPERTY LINE  |  | PROPOSED FIRE HYDRANT            |
|  |   |  | PROPOSED GATE VALVE              |
|  |   |  | PROPOSED TEE CONNECTION          |
|  |   |  | PROPOSED PLUG                    |
|  |   |  | SANITARY SEWER MANHOLE           |
|  |   |  | PROPOSED CLEAN OUT               |
|  |   |  | PROPOSED CURB INLET              |
|  |   |  | PROPOSED WYE INLET               |
|  |   |  | PROPOSED GRATE INLET             |
|  |   |  | PROPOSED JUNCTION BOX            |
|  |   |  | PROPOSED STORM DRAIN PIPE        |

**BUILDING 1**  
 SITE PLAN DATA SUMMARY TABLE:

GENERAL SITE DATA:

ZONING	REQUIRED	PROPOSED
LAND USE:		WAREHOUSE OUTDOOR STORAGE
SUBJECT LOT 4 AREA (SQ FT):	20,000 (MIN)	1,331,749
SUBJECT LOT 4 AREA (AC):	0.46 (MIN)	30.57
1st FLOOR-BLDG FOOTPRINT AREA (SQFT):	887,865 (MAX)	200,340
BLDG HEIGHT (FT):	50 (MAX)	46'-6"
FLOOR AREA RATIO	1.5 (MAX)	0.15
IMPERVIOUS AREA (SQ FT):	1,132,027 (MAX)	427,940
PARKING AREA (SQ FT):		54,236
TOTAL OPEN SPACE (SQ FT):	199,770 (MIN)	903,857

PARKING:

REQUIRED	101
PROVIDED	119
HANDICAP	8
TRUCK	49

**PURPOSE STATEMENT:**  
 THIS REQUEST FOR CONDITIONAL USE PERMIT CU23-02 IS SPECIFICALLY TO ALLOW OUTDOOR STORAGE IN CONJUNCTION WITH THE DEVELOPMENT OF AN INDUSTRIAL WAREHOUSE BUILDING.

- STANDARD NOTES:**
- REFUSE DISPOSAL AREAS SHALL BE LANDSCAPED AND SCREENED FROM VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - MECHANICAL AND ELECTRICAL EQUIPMENT INCLUDING AIR CONDITIONING UNITS, SHALL BE DESIGNED, INSTALLED, AND OPERATED TO MINIMIZE NOISE IMPACT ON SURROUNDING PROPERTY. ALL SUCH EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - THE MASONRY REQUIREMENTS OF SECTION 54 OF THE ZONING ORDINANCE SHALL BE MET.
  - ILLUMINATED SIGNAGE WAS INCLUDED IN THE DETERMINATION OF THE SITE ILLUMINATION LEVELS.
  - OUTDOOR LIGHTING SHALL COMPLY WITH ILLUMINATION STANDARDS WITHIN SECTION 55 OF THE ZONING ORDINANCE UNLESS SPECIFICALLY EXCEPTED.
  - PROPOSED GROUND SIGNAGE SHALL MEET THE MINIMUM REQUIREMENTS OF SECTION 60 OF THE ZONING ORDINANCE AND IS CONTINGENT UPON APPROVAL OF A SEPARATE BUILDING PERMIT WITH BUILDING SERVICES.
  - ALL ON-SITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.
  - USES SHALL CONFORM IN OPERATION, LOCATION, AND CONSTRUCTION TO THE FOLLOWING PERFORMANCE STANDARDS IN SECTION 55 OF THE ZONING ORDINANCE: NOISE, SMOKE AND PARTICULATE MATTER, ODOROUS MATTER, FIRE OR EXPLOSIVE HAZARDOUS MATERIAL, TOXIC AND NOXIOUS MATTER, VIBRATION, AND/OR OTHER PERFORMANCE STANDARDS.
  - ALL REQUIREMENTS OF THE CITY OF GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.

**NOTES:**

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS STATED OTHERWISE NOTED.
- ALL CURBS ARE 6" UNLESS NOTED OTHERWISE.
- BUILDING TO BE USED AS AN INDUSTRIAL WAREHOUSE AND OFFICE.

FOR SITE PLAN REVIEW ONLY. NOT FOR CONSTRUCTION.

*Cody R. Hodge* 4/24/23

CASE NAME: PROJECT SWANSON INDUSTRIAL WAREHOUSE  
 CASE NUMBER: CU23-02  
 LOCATION: 3642 EULESS-GRAPEVINE ROAD

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_  
 SHEET: 2 of 19

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

PLANNING SERVICES DEPARTMENT

**FULL EXTENT DIMENSION CONTROL PLAN**  
 for  
 LOT 4, BLOCK 1, SWANSON ADDITION  
 Catherine Clanton Survey, Abstract 354  
 City of Grapevine, Tarrant County, Texas  
 30.57 Acres  
 Zone: PID, Planned Industrial Development  
 Date of Preparation: April 24, 2023

**PREVIOUSLY APPROVED  
SITE PLAN**

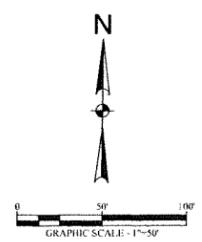
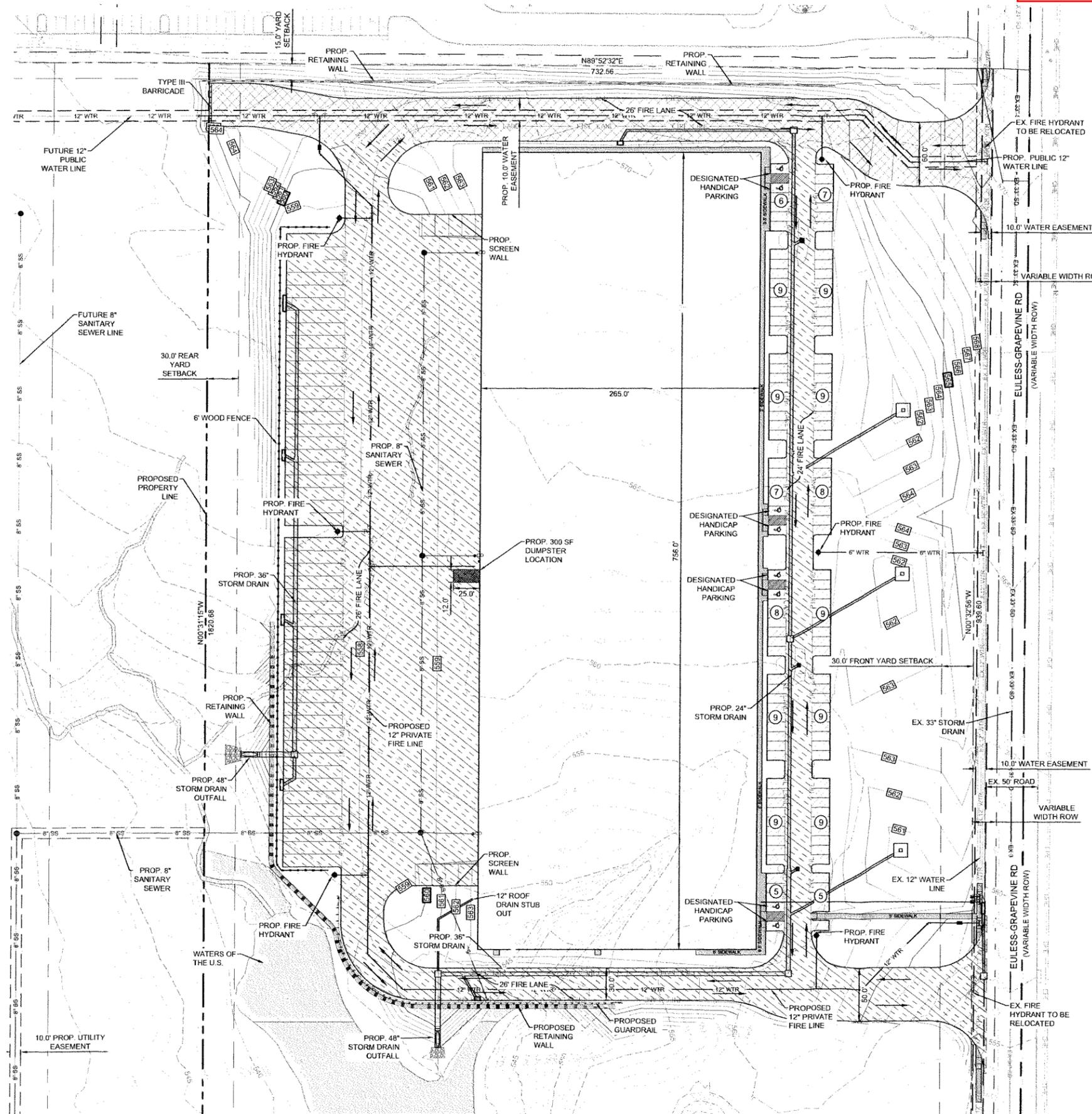
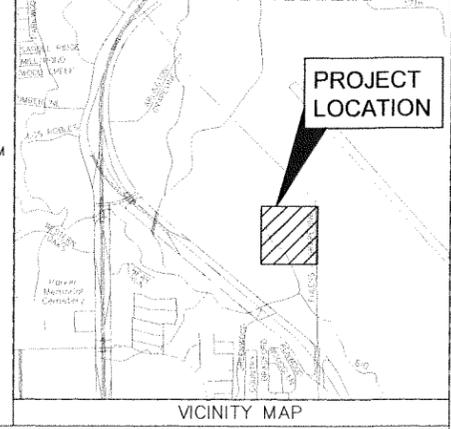
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**LEGEND**

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- 4" THICK, 4,000 PSI CONCRETE PAVEMENT
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- PROPOSED PROPERTY LINE
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- 12" WTR - - - EXISTING 12" WATER LINE
- 8" SS — PROPOSED 8" SANITARY SEWER LINE
- 6" SS — PROPOSED 6" SANITARY SEWER LINE
- 36" SS - - - EXISTING 36" SANITARY SEWER LINE
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- PROPOSED FIRE HYDRANT
- PROPOSED GATE VALVE
- PROPOSED TEE CONNECTION
- PROPOSED PLUG
- SANITARY SEWER MANHOLE
- PROPOSED CLEAN OUT
- PROPOSED CURB INLET
- PROPOSED WYE INLET
- PROPOSED GRATE INLET
- PROPOSED JUNCTION BOX
- PROPOSED STORM DRAIN PIPE

**BUILDING 1  
SITE PLAN DATA SUMMARY TABLE:**

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TRUCK	49

**PURPOSE STATEMENT:**  
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  - ILLUMINATED SIGNAGE WAS INCLUDED IN THE DETERMINATION OF THE SITE ILLUMINATION LEVELS.
  - OUTDOOR LIGHTING SHALL COMPLY WITH ILLUMINATION STANDARDS WITHIN SECTION 55 OF THE ZONING ORDINANCE UNLESS SPECIFICALLY EXCEPTED.
  - PROPOSED GROUND SIGNAGE SHALL MEET THE MINIMUM REQUIREMENTS OF SECTION 60 OF THE ZONING ORDINANCE AND IS CONTINGENT UPON APPROVAL OF A SEPARATE BUILDING PERMIT WITH BUILDING SERVICES.
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  - ALL REQUIREMENTS OF THE CITY OF GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.

**NOTES:**  
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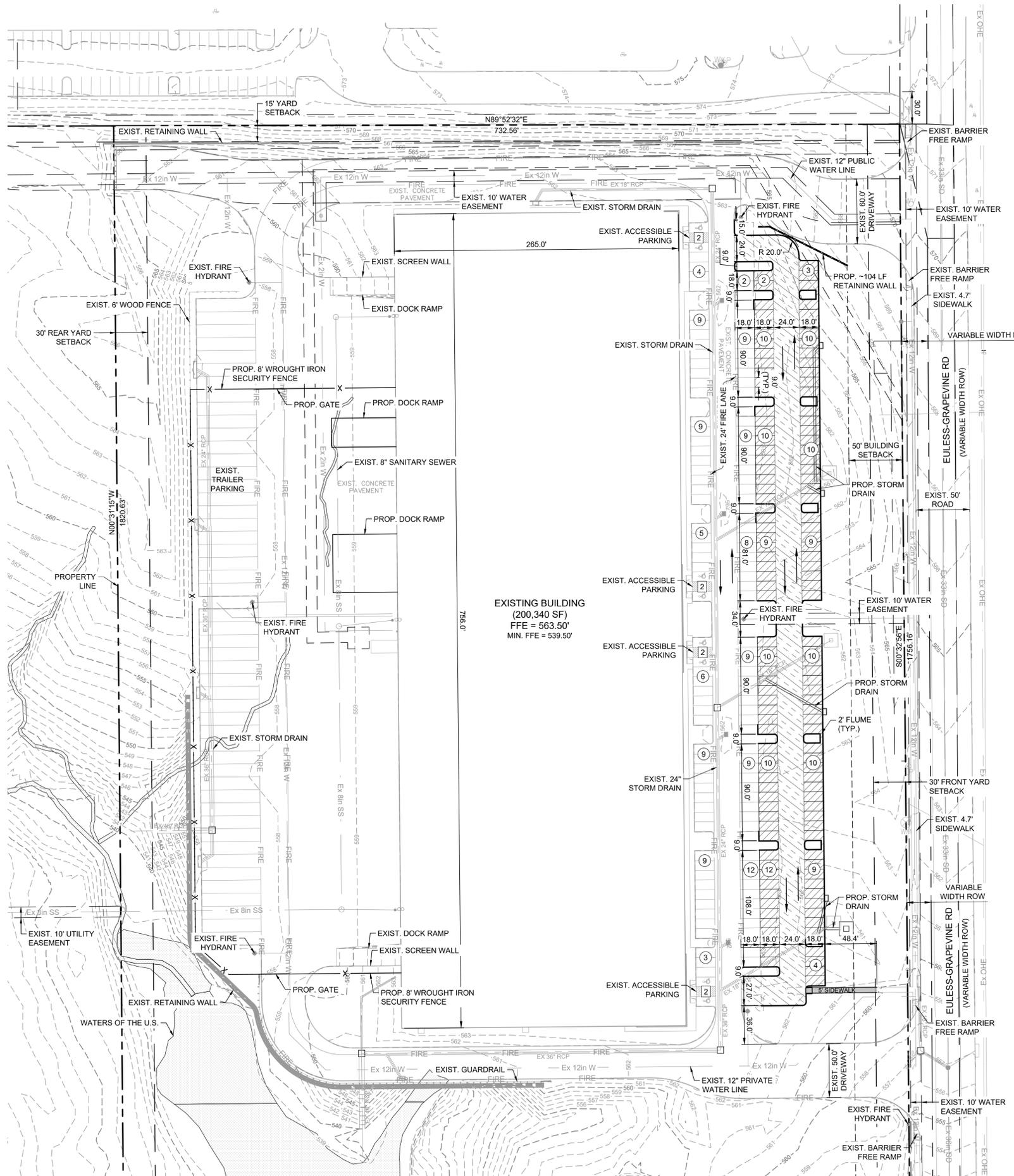


CASE NAME: PROJECT SWANSON INDUSTRIAL WAREHOUSE  
CASE NUMBER: CU23-02  
LOCATION: 3642 EULESS-GRAPEVINE ROAD

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 3 of 19  
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.  
PLANNING SERVICES DEPARTMENT

**OVERALL SITE PLAN**  
for  
LOT 4, BLOCK 1, SWANSON ADDITION  
Catherine Clanton Survey, Abstract 354  
City Of Grapevine, Tarrant County, Texas  
30.57 Acres  
Zone: PID, Planned Industrial Development  
Date of Preparation: April 24, 2023

FILE NAME: A:\45003\45244003\LDV\CADD\Sheets\SP-SITE-45244.003.dwg DATE: November 13, 2025, TIME: 2:35 PM, USER: ah4971



**SITE PLAN DATA SUMMARY TABLE**

GENERAL SITE DATA		PID	
ZONING		WAREHOUSE, OFFICE & OUTDOOR STORAGE	
LAND USE		<b>REQUIRED</b>	<b>PROPOSED</b>
TOTAL LOT AREA	20,000 SF (MIN.)	20,000 SF	1,331,749 SF
1ST FLOOR-BUILDING FOOTPRINT AREA	0.46 AC. (MIN.)	0.46 AC.	30.57 AC.
OFFICE			49,575 SF
WAREHOUSE			150,765 SF
TOTAL BUILDING FOOTPRINT	887,865 SF (MAX)		200,340 SF
BUILDING HEIGHT (FT)	50 FT (MAX)		46'-6"
FLOOR AREA RATIO	1.5 (MAX)		0.15
<b>PARKING</b>		<b>TOTAL REQUIRED</b>	<b>TOTAL PROVIDED</b>
OFFICE	1:300 + 5	171	
WAREHOUSE	1:2000	75	
TOTAL PARKING		246	248
ACCESSIBLE PARKING **		7	8

\*\* ACCESSIBLE PARKING SPACES ARE INCLUDED IN THE TOTAL ABOVE.

NO CHANGES TO EXISTING OUTDOOR OVERHEAD LIGHTING FROM CU23-02 ARE TO BE MADE



THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING SIZE, TYPE AND LOCATION OF UNDERGROUND, SURFACE, AND AERIAL UTILITIES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT THE TEXAS 811 SYSTEM AT 1-800-344-8377 (DIG TESS) 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION FOR EXISTING UTILITY LOCATIONS. THE CONTRACTOR SHALL ALSO BE FULLY RESPONSIBLE FOR FIELD VERIFYING LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES AFFECTED BY CONSTRUCTION FOR THIS PROJECT IN ORDER TO AVOID DAMAGING THOSE UTILITIES. AND SHALL IMMEDIATELY ARRANGE FOR REPAIR AND RESTORATION OF CONTRACTOR-DAMAGED UTILITIES TO THE UTILITY COMPANY'S APPROVAL AT THE EXPENSE OF THE CONTRACTOR.

**PURPOSE STATEMENT:**  
CONDITIONAL USE PERMIT CU25-46 IS A REQUEST FOR MODIFICATION TO EXISTING CONDITIONAL USE PERMIT CU23-02 TO ALLOW FOR SITE PLAN AND BUILDING FACADE MODIFICATIONS TO THE PREVIOUSLY APPROVED PROJECT.

**STANDARD NOTES:**

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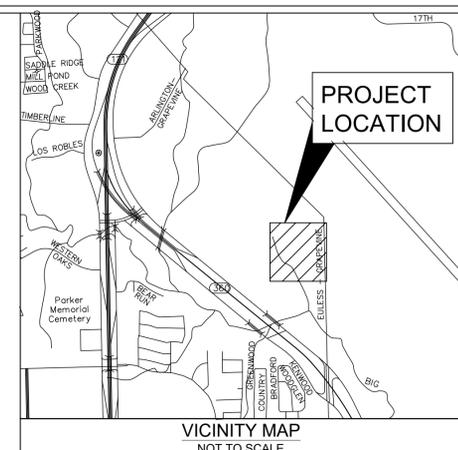
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ARCO MURRAY ENGINEERING  
CONTACT: JOE BUSHMAN  
TEL: 331-998-3341  
EMAIL: JBUSHMAN@ARCOMURRAY.COM



**LEGEND**

- [Hatched Box] 7" THICK, 4,000 PSI CONCRETE PAVEMENT WITH #3 BARS AT 18" O.C.E.W. 95% COMPACTED NATIVE OVER 6" LIME TREATED SUBGRADE
- [Hatched Box] 5" THICK, 4,000 PSI CONCRETE PAVEMENT WITH #3 BARS AT 18" O.C.E.W. 95% COMPACTED NATIVE
- [Hatched Box] 4" THICK, 4,000 PSI CONCRETE PAVEMENT WITH #3 BARS AT 18" O.C.E.W.
- [X] PROP. FENCE
- [Arrow] TRAFFIC CIRCULATION PLAN
- [Dashed Line] PROPERTY LINE
- [Circle with 9] TYPICAL PARKING COUNT
- [Square with 2] ACCESSIBLE PARKING COUNT
- [Square] PROP. CURB INLET
- [Line] PROP. STORM DRAIN PIPE
- [Dashed Line] EXIST. WATER LINE
- [Dashed Line] EXIST. SANITARY SEWER LINE
- [Dashed Line] EXIST. STORM DRAIN PIPE (ONSITE)
- [Dashed Line] EXIST. STORM DRAIN PIPE (OFFSITE)
- [Circle with dot] EXIST. FIRE HYDRANT
- [Circle with WM] EXIST. WATER METER
- [Circle with dot] EXIST. SANITARY SEWER MANHOLE
- [Circle with CO] EXIST. CLEAN OUT
- [Square] EXIST. GRATE INLET
- [Square] EXIST. CURB INLET
- [Square] EXIST. STORM JUNCTION BOX
- [Square] EXIST. Y-INLET

**NOTES:**

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS STATED OTHERWISE NOTED.
- ALL CURBS ARE 6" UNLESS NOTED OTHERWISE.
- BUILDING TO BE USED AS AN INDUSTRIAL WAREHOUSE AND OFFICE.

**PRELIMINARY**  
FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND NOT INTENDED FOR REGULATORY APPROVAL, PERMIT BIDDING OR CONSTRUCTION PURPOSES. THEY WERE PREPARED BY OR UNDER THE SUPERVISION OF:

KAITLYNN E. CLOUGH 140835  
NAME PE LICENSE NO.  
11/13/2025  
DATE  
#312 TX  
FIRM / BUSINESS NO. STATE

CASE NAME: DYNATEN FINISH OUT  
CASE NUMBER: CU25-46  
LOCATION: 3642 EULESS-GRAPEVINE ROAD

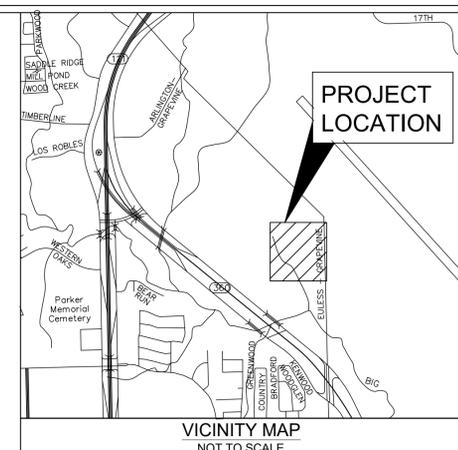
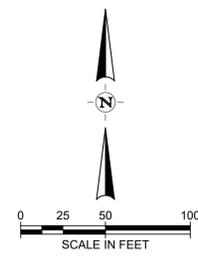
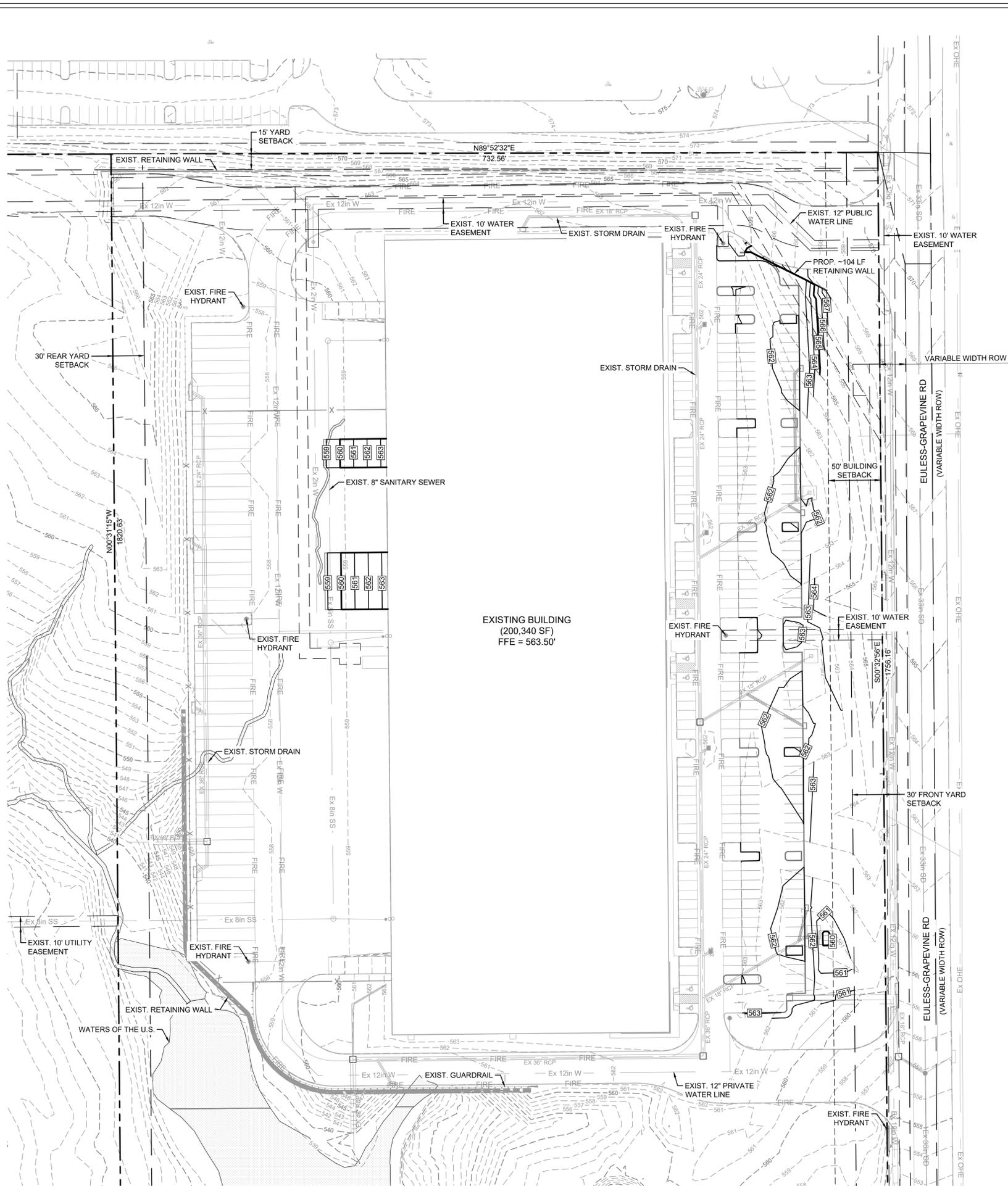
MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: 11/13/25  
SHEET: 1 OF 3

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

PLANNING SERVICES DEPARTMENT

**DIMENSION CONTROL SITE PLAN**  
for  
LOT 4, BLOCK 1, CURNES ADDITION  
Catherine Clanton Survey, Abstract 354  
City Of Grapevine, Tarrant County, Texas  
30.57 Acres  
Zone:PID, Planned Industrial Development  
Date of Preparation: November 13, 2025



**LEGEND**

	PROP. MAJOR CONTOUR
	PROP. MINOR CONTOUR
	EXIST. MAJOR CONTOUR
	EXIST. MINOR CONTOUR
	PROPERTY LINE
	PROP. FENCE
	PROP. CURB INLET
	PROP. STORM DRAIN PIPE
	EXIST. WATER LINE
	EXIST. SANITARY SEWER LINE
	EXIST. STORM DRAIN PIPE (ONSITE)
	EXIST. STORM DRAIN PIPE (OFFSITE)
	EXIST. FIRE HYDRANT
	EXIST. WATER METER
	EXIST. SANITARY SEWER MANHOLE
	EXIST. CLEAN OUT
	EXIST. GRATE INLET
	EXIST. CURB INLET
	EXIST. Y-INLET
	EXIST. STORM JUNCTION BOX

- GRADING NOTES**
- EARTH GRADES SHALL BE 1% MINIMUM & 25% MAXIMUM.
  - PAVED GRADES SHALL BE 0.5% MINIMUM.
  - SEE GENERAL NOTES SHEET FOR FLOODPLAIN INFORMATION.
  - ALL MANHOLES & VALVES WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO FINAL GRADE.
  - ALL DISTURBED AREAS SHALL BE STABILIZED PER THE EROSION CONTROL PLAN, CITY STANDARDS AND THE SWPPP.

**PRELIMINARY**  
FOR INTERIM REVIEW ONLY

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KAITLYNN E. CLOUGH 140635  
NAME PE LICENSE NO.  
11/13/2025  
DATE  
#312 TX  
FIRM/ BUSINESS NO. STATE

**PURPOSE STATEMENT:**  
CONDITIONAL USE PERMIT CU25-46 IS A REQUEST FOR MODIFICATION TO EXISTING CONDITIONAL USE PERMIT CU23-02 TO ALLOW FOR SITE PLAN AND BUILDING FACADE MODIFICATIONS TO THE PREVIOUSLY APPROVED PROJECT.

- STANDARD NOTES:**
- REFUSE DISPOSAL AREAS SHALL BE LANDSCAPED AND SCREENED FROM VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - MECHANICAL AND ELECTRICAL EQUIPMENT INCLUDING AIR CONDITIONING UNITS, SHALL BE DESIGNED, INSTALLED, AND OPERATED TO MINIMIZE NOISE IMPACT ON SURROUNDING PROPERTY. ALL SUCH EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - THE MASONRY REQUIREMENTS OF SECTION 54 OF THE ZONING ORDINANCE SHALL BE MET.
  - ILLUMINATED SIGNAGE WAS INCLUDED IN THE DETERMINATION OF THE SITE ILLUMINATION LEVELS.
  - OUTDOOR LIGHTING SHALL COMPLY WITH ILLUMINATION STANDARDS WITHIN SECTION 55 OF THE ZONING ORDINANCE UNLESS SPECIFICALLY EXCEPTED.
  - PROPOSED GROUND SIGNAGE SHALL MEET THE MINIMUM REQUIREMENTS OF SECTION 60 OF THE ZONING ORDINANCE AND IS CONTINGENT UPON APPROVAL OF A SEPARATE BUILDING PERMIT WITH BUILDING SERVICES.
  - ALL ONSITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.
  - USES SHALL CONFORM IN OPERATION, LOCATION, AND CONSTRUCTION TO THE FOLLOWING PERFORMANCE STANDARDS IN SECTION 55 OF THE ZONING ORDINANCE: NOISE, SMOKE AND PARTICULATE MATTER, ODOROUS MATTER, FIRE OR EXPLOSIVE HAZARDS MATERIAL, TOXIC AND NOXIOUS MATTER, VIBRATION, AND/OR OTHER PERFORMANCE STANDARDS.
  - ALL REQUIREMENTS OF THE CITY OF GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.

**OWNER**  
CURNES PARTNERS, LP  
CONTACT: BUNKER CURNES  
TEL: 214-600-3057  
EMAIL: BUNKERCURNES@GMAIL.COM

**CONTRACTOR**  
ARCO MURRAY  
CONTACT: CHASE KILLINGSWORTH  
TEL: 469-251-9017  
EMAIL: CKILLINGSWORTH@ARCOMURRAY.COM

**ENGINEER**  
HALFF ASSOCIATES  
CONTACT: KAITLYNN E. CLOUGH  
TEL: 817-847-1422  
EMAIL: KCLOUGH@HALFF.COM

**ARCHITECT**  
GMA ARCHITECTS  
CONTACT: MICHAEL YOUNG  
TEL: 317-835-3421  
EMAIL: MYOUNG@GMA-ARCHITECTS.COM

**ELECTRICAL ENGINEER**  
ARCO MURRAY ENGINEERING  
CONTACT: JOE BUSHMAN  
TEL: 331-998-3341  
EMAIL: JBUSHMAN@ARCOMURRAY.COM

CASE NAME: DYNATEN FINISH OUT  
CASE NUMBER: CU25-46  
LOCATION: 3642 EULESS-GRAPEVINE ROAD

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

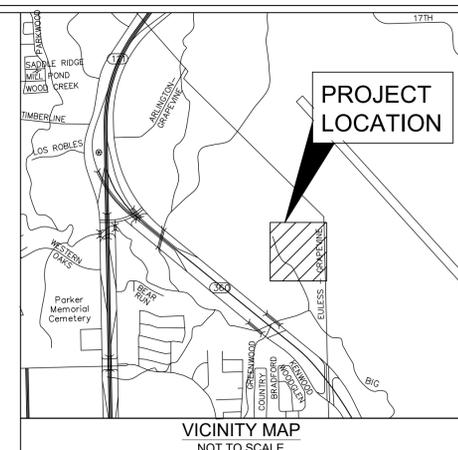
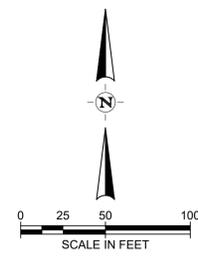
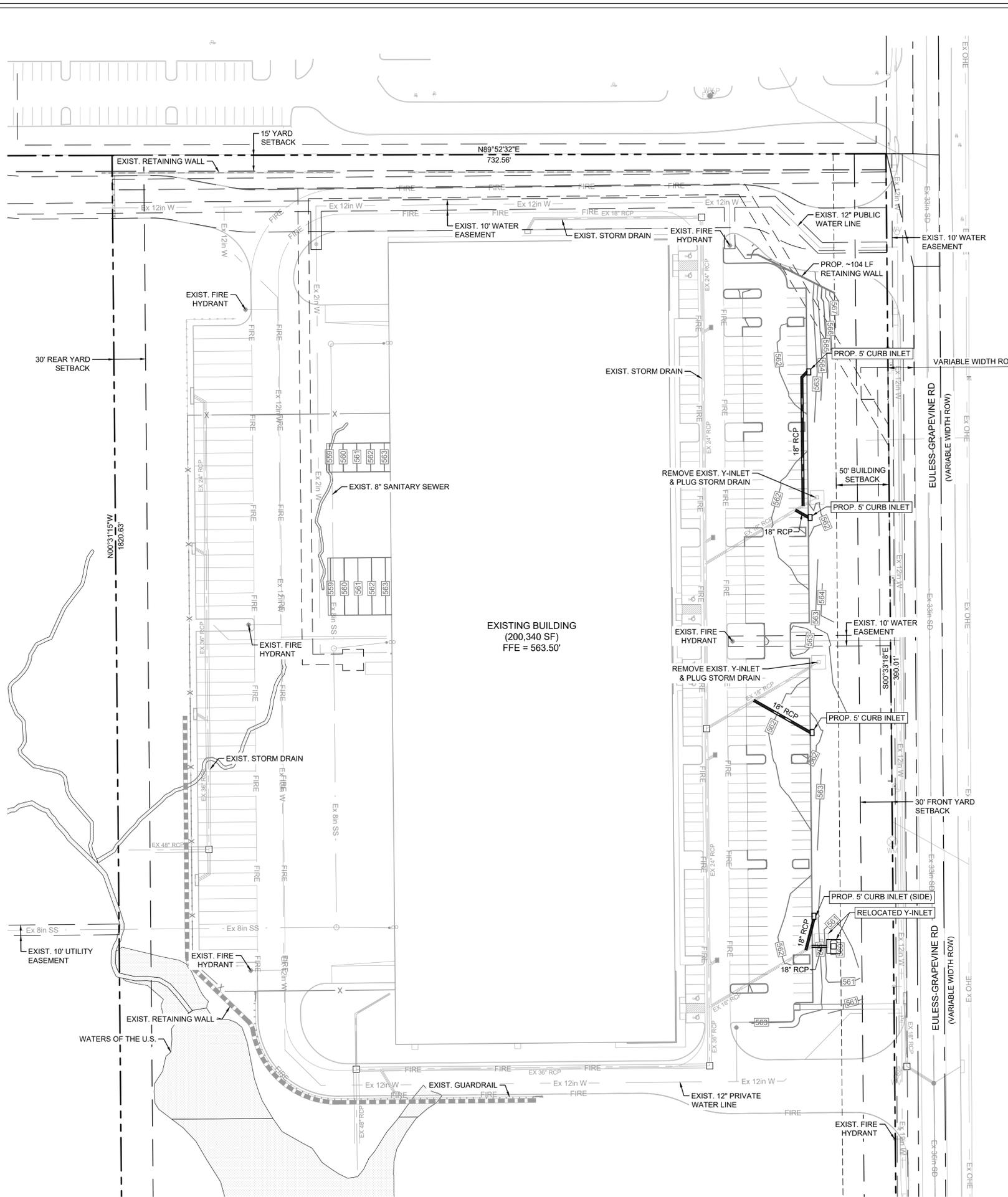
CHAIRMAN \_\_\_\_\_  
DATE: 11/13/25  
SHEET: 2 OF 3

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

PLANNING SERVICES DEPARTMENT

**GRADING PLAN**

for  
**LOT 4, BLOCK 1, CURNES ADDITION**  
Catherine Clanton Survey, Abstract 354  
City Of Grapevine, Tarrant County, Texas  
30.57 Acres  
Zone:PID, Planned Industrial Development  
Date of Preparation: November 13, 2025



**LEGEND**

	PROP. CURB INLET
	PROP. WYE INLET
	PROP. STORM DRAIN PIPE
	PROP. MAJOR CONTOUR
	PROP. MINOR CONTOUR
	EXIST. MAJOR CONTOUR
	EXIST. MINOR CONTOUR
	PROPERTY LINE
	PROP. FENCE
	EXIST. WATER LINE
	EXIST. SANITARY SEWER LINE
	EXIST. STORM DRAIN PIPE (ONSITE)
	EXIST. STORM DRAIN PIPE (OFFSITE)
	EXIST. FIRE HYDRANT
	EXIST. WATER METER
	EXIST. SANITARY SEWER MANHOLE
	EXIST. CLEAN OUT
	EXIST. GRATE INLET
	EXIST. CURB INLET
	EXIST. Y-INLET
	EXIST. STORM JUNCTION BOX

**NOTE:**

- FACTORY FABRICATED 45° OR 60° WYES SHALL BE INSTALLED AT ALL PROPOSED PIPE TO PROPOSED PIPE CONNECTIONS.
- ALL CONNECTIONS TO EXISTING CONCRETE PIPE SHALL BE MADE WITH CONCRETE PIPE.
- CONCRETE COLLARS SHALL BE CONSTRUCTED AT ALL PROPOSED PIPE TO EXISTING CONCRETE PIPE CONNECTIONS, AT ALL CONCRETE PIPE SIZE CHANGES, AT ALL CONCRETE PIPE PVI'S AND AT ALL CONCRETE PIPE JOINTS WITH MORE THAN HALF PIPE TONGUE EXPOSURE.
- FACTORY FABRICATED 15°, 30°, 45° OR 60° BENDS SHALL BE REQUIRED FOR ALL PROPOSED PIPE BENDS.



THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING SIZE, TYPE AND LOCATION OF UNDERGROUND, SURFACE, AND AERIAL UTILITIES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT THE TEXAS 811 SYSTEM AT 1-800-344-8377 (DGTSS) 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION FOR EXISTING UTILITY LOCATIONS. THE CONTRACTOR SHALL ALSO BE FULLY RESPONSIBLE FOR FIELD VERIFYING LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES AFFECTED BY CONSTRUCTION FOR THIS PROJECT IN ORDER TO AVOID DAMAGING THOSE UTILITIES, AND SHALL IMMEDIATELY ARRANGE FOR REPAIR AND RESTORATION OF CONTRACTOR-DAMAGED UTILITIES TO THE UTILITY COMPANY'S APPROVAL AT THE EXPENSE OF THE CONTRACTOR.

**PURPOSE STATEMENT:**  
 CONDITIONAL USE PERMIT CU25-46 IS A REQUEST FOR MODIFICATION TO EXISTING CONDITIONAL USE PERMIT CU23-02 TO ALLOW FOR SITE PLAN AND BUILDING FACADE MODIFICATIONS TO THE PREVIOUSLY APPROVED PROJECT.

- STANDARD NOTES:**
- REFUSE DISPOSAL AREAS SHALL BE LANDSCAPED AND SCREENED FROM VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - MECHANICAL AND ELECTRICAL EQUIPMENT INCLUDING AIR CONDITIONING UNITS, SHALL BE DESIGNED, INSTALLED, AND OPERATED TO MINIMIZE NOISE IMPACT ON SURROUNDING PROPERTY. ALL SUCH EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - THE MASONRY REQUIREMENTS OF SECTION 54 OF THE ZONING ORDINANCE SHALL BE MET.
  - ILLUMINATED SIGNAGE SHALL BE INCLUDED IN THE DETERMINATION OF THE SITE ILLUMINATION LEVELS.
  - OUTDOOR LIGHTING SHALL COMPLY WITH ILLUMINATION STANDARDS WITHIN SECTION 55 OF THE ZONING ORDINANCE UNLESS SPECIFICALLY EXCEPTED.
  - PROPOSED GROUND SIGNAGE SHALL MEET THE MINIMUM REQUIREMENTS OF SECTION 60 OF THE ZONING ORDINANCE AND IS CONTINGENT UPON APPROVAL OF A SEPARATE BUILDING PERMIT WITH BUILDING SERVICES.
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  - ALL REQUIREMENTS OF THE CITY OF GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.

**OWNER**  
 CURNES PARTNERS, LP  
 CONTACT: BUNKER CURNES  
 TEL: 214-600-3057  
 EMAIL: BUNKERCURNES@GMAIL.COM

**CONTRACTOR**  
 ARCO MURRAY  
 CONTACT: CHASE KILLINGSWORTH  
 TEL: 469-251-9017  
 EMAIL: CKILLINGSWORTH@ARCOMURRAY.COM

**ENGINEER**  
 HALFF ASSOCIATES  
 CONTACT: KAITLYNN E. CLOUGH  
 TEL: 817-847-1422  
 EMAIL: KCLOUGH@HALFF.COM

**ARCHITECT**  
 GMA ARCHITECTS  
 CONTACT: MICHAEL YOUNG  
 TEL: 317-835-3421  
 EMAIL: MYOUNG@GMA-ARCHITECTS.COM

**ELECTRICAL ENGINEER**  
 ARCO MURRAY ENGINEERING  
 CONTACT: JOE BUSHMAN  
 TEL: 331-998-3341  
 EMAIL: JBUSHMAN@ARCOMURRAY.COM

**PRELIMINARY**

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 KAITLYNN E. CLOUGH 146835  
 NAME PE LICENSE NO.  
 11/13/2025  
 DATE  
 #312 TX  
 FIRM/ BUSINESS NO. STATE

CASE NAME: DYNATEN FINISH OUT  
 CASE NUMBER: CU25-46  
 LOCATION: 3642 EULESS-GRAPEVINE ROAD

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION

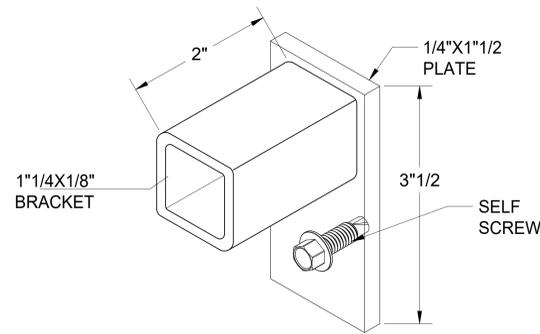
CHAIRMAN \_\_\_\_\_  
 DATE: 11/13/25  
 SHEET: 3 OF 3

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

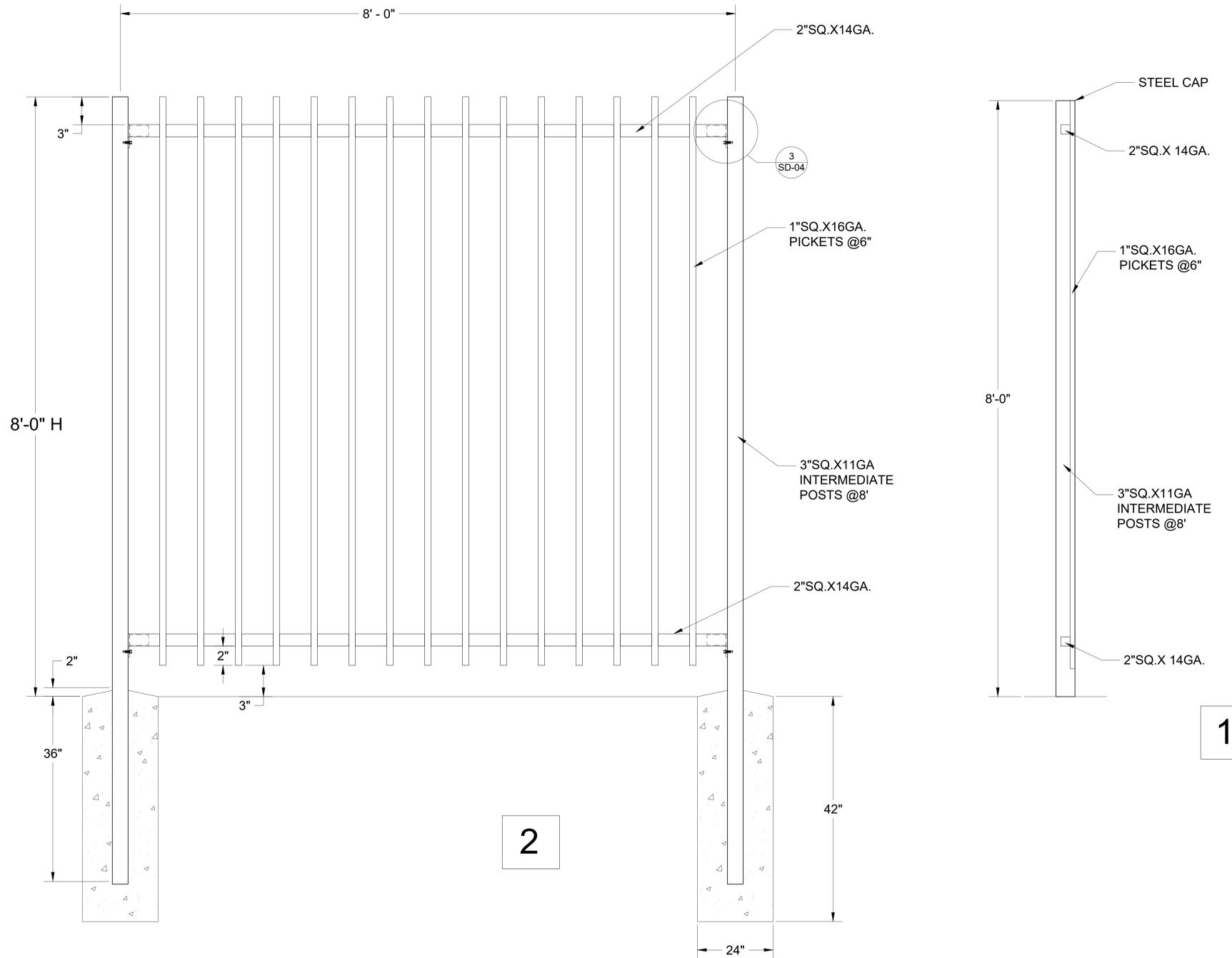
PLANNING SERVICES DEPARTMENT

**STORM PLAN**

for  
**LOT 4, BLOCK 1, CURNES ADDITION**  
 Catherine Clanton Survey, Abstract 354  
 City Of Grapevine, Tarrant County, Texas  
 30.57 Acres  
 Zone:PID, Planned Industrial Development  
 Date of Preparation: November 13, 2025



3



1

2



**BUILT RITE FENCE**

SCALE: 1" : 1'-0"      APPROVED BY: \_\_\_\_\_      DRAWING BY: \_\_\_\_\_

DATE: 11/13/25      REVISED BY: \_\_\_\_\_

**FENCING DETAILS**

**SD  
1.0**

**OWNER:**  
CURNES PARTNERS, LP  
CONTACT: BUNKER CURNES  
TEL: 214-600-3057  
EMAIL: BUNKERCURNES@GMAIL.COM

**CONTRACTOR:**  
ARCO MURRAY  
CONTACT: CHASE KILLINGSWORTH  
TEL: 469-251-9017  
EMAIL: CKILLINGSWORTH@ARCOMURRAY.COM

**ENGINEER:**  
HALFF ASSOCIATES  
CONTACT: CODY R. HODGE  
TEL: 817-847-1422  
EMAIL: CHODGE@HALFF.COM

**ARCHITECT:**  
QMA ARCHITECTS  
CONTACT: MICHAEL YOUNG  
TEL: 314-835-3421  
EMAIL: MYOUNG@QMA-ARCHITECTS.COM

**ELECTRICAL ENGINEER:**  
ARCO MURRAY ENGINEERING  
CONTACT: JOE BUSHMAN  
TEL: 331-998-3341  
EMAIL: JBUSHMAN@ARCOMURRAY.COM

**PURPOSE STATEMENT:**  
CONDITIONAL USE PERMIT CU25-46 IS A REQUEST FOR MODIFICATION TO EXISTING CONDITIONAL USE PERMIT CU23-02 TO ALLOW FOR SITE PLAN AND BUILDING FACADE MODIFICATIONS TO THE PREVIOUSLY APPROVED PROJECT.

**STANDARD NOTES:**

- REFUSE DISPOSAL AREAS SHALL BE LANDSCAPED AND SCREENED FROM VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
- MECHANICAL AND ELECTRICAL EQUIPMENT INCLUDING AIR CONDITIONING UNITS, SHALL BE DESIGNED, INSTALLED, AND OPERATED TO MINIMIZE NOISE IMPACT ON SURROUNDING PROPERTY. ALL SUCH EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
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- THE MASONRY REQUIREMENTS OF SECTION 54 OF THE ZONING ORDINANCE SHALL BE MET.
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- OUTDOOR LIGHTING SHALL COMPLY WITH ILLUMINATION STANDARDS WITHIN SECTION 55 OF THE ZONING ORDINANCE UNLESS SPECIFICALLY EXCEPTED.
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- ALL REQUIREMENTS OF THE CITY OF GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.

CASE NAME: DYNATEN FINISH OUT  
CASE NUMBER: CU25-46  
LOCATION: 3642 EULESS-GRAPEVINE ROAD

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

PLANNING AND ZONING COMMISSION

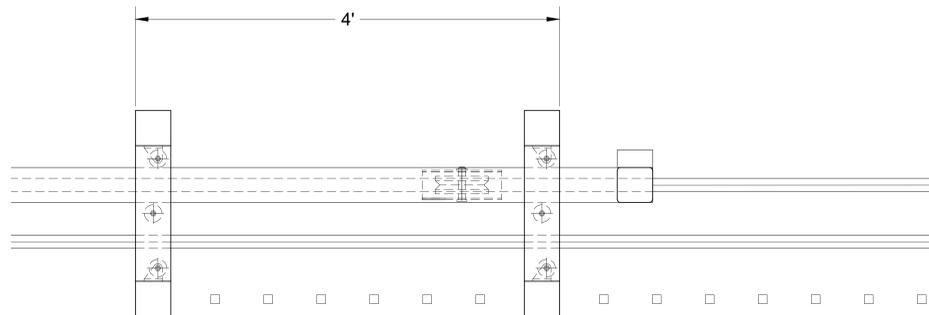
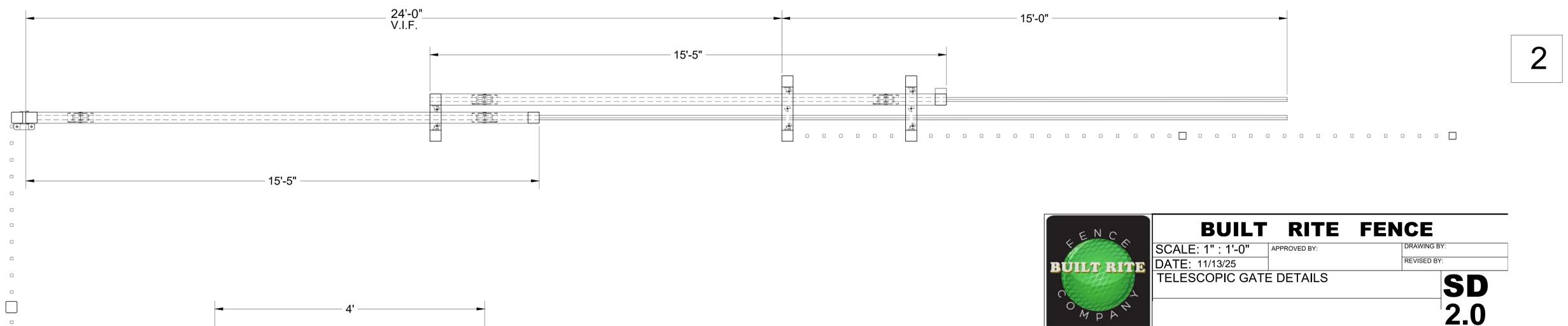
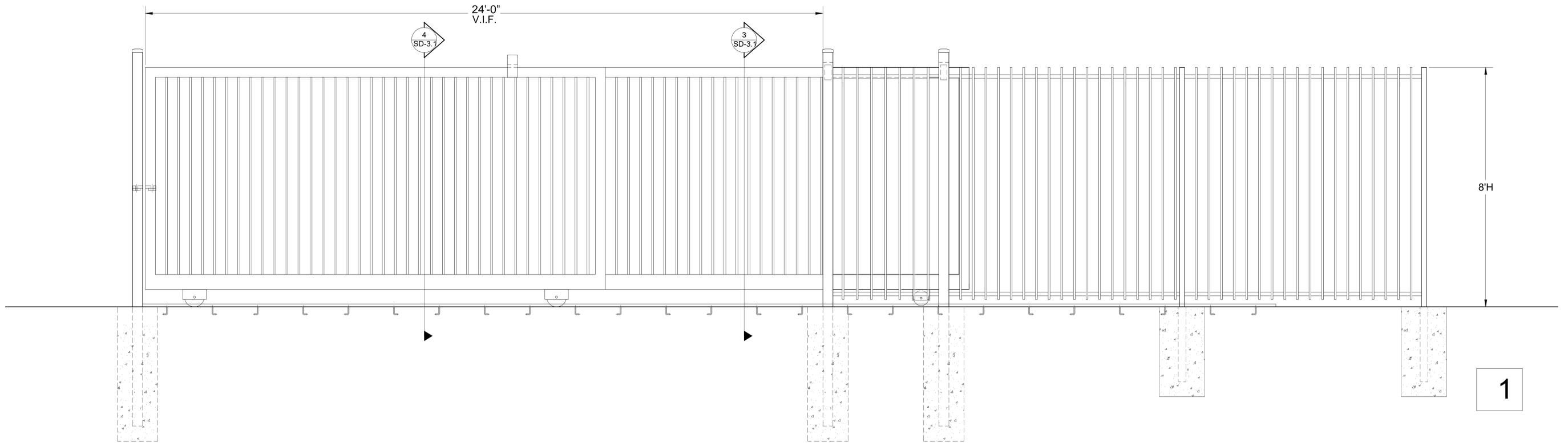
CHAIRMAN \_\_\_\_\_

DATE: 11/13/25  
SHEET: 1 OF 4

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

PLANNING SERVICES DEPARTMENT

**FENCING ELEVATIONS**  
for  
LOTS 4, BLOCK 1, CURNES ADDITION  
Catherine Clanton Survey, Abstract 354  
City of Grapevine, Tarrant County, Texas  
30.57 Acres  
Zone: PID, Planned Industrial Development  
Date of Preparation: November 14, 2025



## BUILT RITE FENCE

SCALE: 1" = 1'-0"

DATE: 11/13/25

TELESCOPIC GATE DETAILS

APPROVED BY:

DRAWING BY:

REVISD BY:

**SD  
2.0**

**OWNER**  
CURNES PARTNERS, LP  
CONTACT: BUNKER CURNES  
TEL: 214-600-3057  
EMAIL: BUNKERCURNES@GMAIL.COM

**CONTRACTOR**  
ARCO MURRAY  
CONTACT: CHASE KILLINGSWORTH  
TEL: 469-251-9017  
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**ENGINEER**  
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**ARCHITECT**  
DMA ARCHITECTS  
CONTACT: MICHAEL YOUNG  
TEL: 314-835-5421  
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**PURPOSE STATEMENT:**  
CONDITIONAL USE PERMIT CU25-46 IS A REQUEST FOR MODIFICATION TO EXISTING CONDITIONAL USE PERMIT CU23-02 TO ALLOW FOR SITE PLAN AND BUILDING FACADE MODIFICATIONS TO THE PREVIOUSLY APPROVED PROJECT.

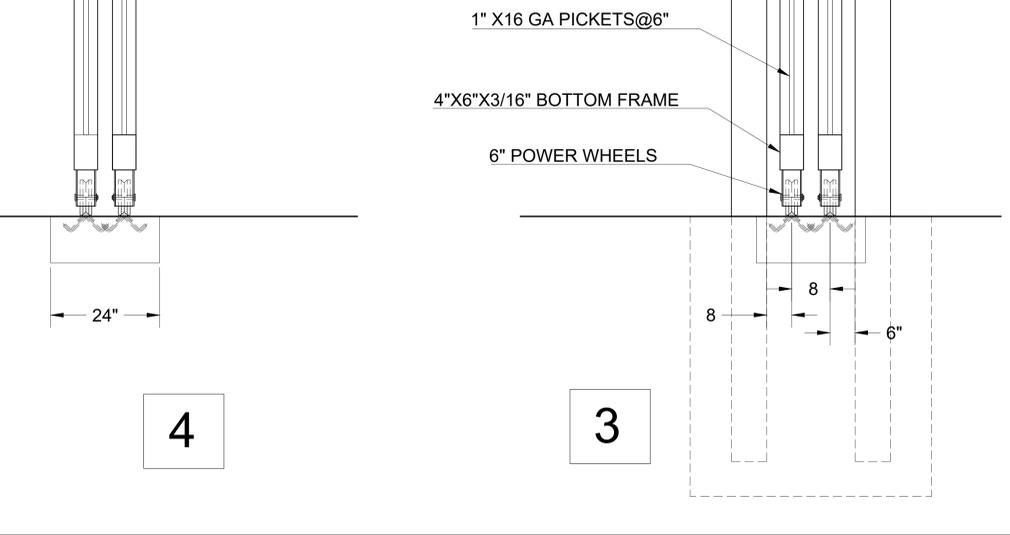
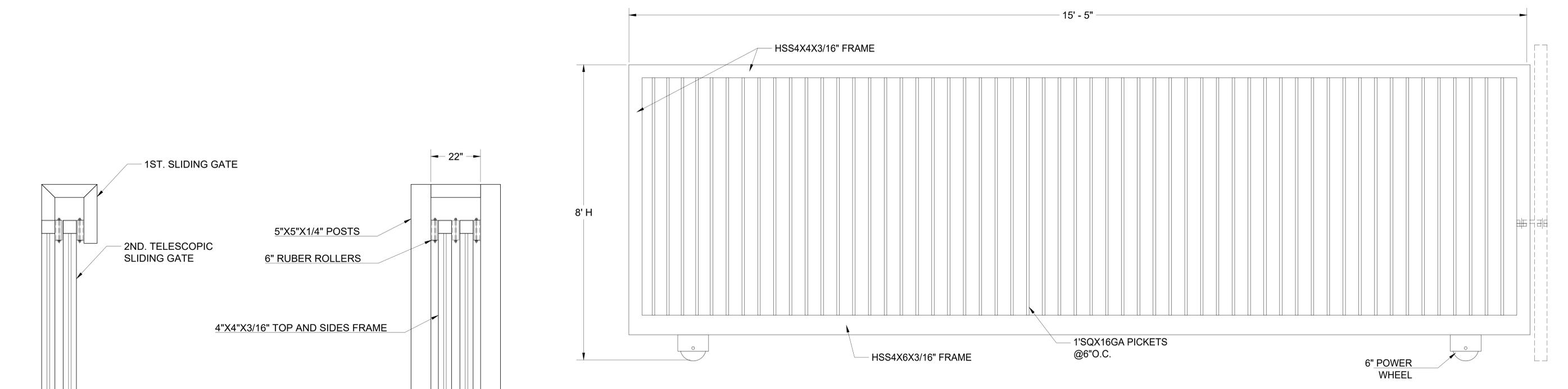
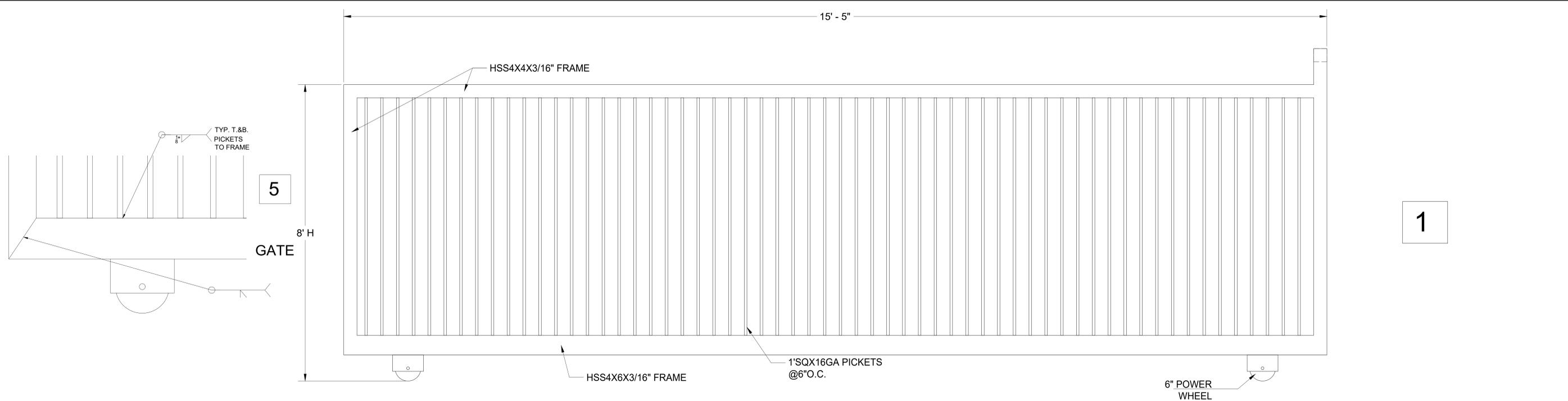
- STANDARD NOTES:**
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CASE NAME: DYNATEN FINISH OUT  
CASE NUMBER: CU25-46  
LOCATION: 3642 EULESS--GRAPEVINE ROAD

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: 11/13/25  
SHEET: 2 OF 4  
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.  
PLANNING SERVICES DEPARTMENT

### FENCING ELEVATIONS

for  
LOTS 4, BLOCK 1, CURNES ADDITION  
Catherine Clanton Survey, Abstract 354  
City Of Grapevine, Tarrant County, Texas  
30.57 Acres  
Zone: PID, Planned Industrial Development  
Date of Preparation: November 14, 2025



**BUILT RITE FENCE**

SCALE: 1" = 1'-0"    APPROVED BY: \_\_\_\_\_    DRAWING BY: \_\_\_\_\_

DATE: 11/13/25    REVISED BY: \_\_\_\_\_

**TELESCOPIC GATE DETAILS**

**SD 03.0**

**OWNER**  
 CURNIE PARTNERS, LP  
 CONTACT: BUNKER CURNIE  
 TEL: 214-600-3057  
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 CONTACT: CHASE KILLINGSWORTH  
 TEL: 469-251-9017  
 EMAIL: CKILLINGSWORTH@ARCOMURRAY.COM

**ENGINEER**  
 HALFF ASSOCIATES  
 CONTACT: CODY R. HODGE  
 TEL: 817-847-1422  
 EMAIL: CHODGE@HALFF.COM

**ARCHITECT**  
 ONA ARCHITECTS  
 CONTACT: MICHAEL YOUNG  
 TEL: 314-835-5421  
 EMAIL: MYOUNG@ONA-ARCHITECTS.COM

**ELECTRICAL ENGINEER**  
 ARCO MURRAY ENGINEERING  
 CONTACT: JOE BUSHMAN  
 TEL: 331-998-3341  
 EMAIL: JBUSHMAN@ARCOMURRAY.COM

**PURPOSE STATEMENT:**  
 CONDITIONAL USE PERMIT CU25-46 IS A REQUEST FOR MODIFICATION TO EXISTING CONDITIONAL USE PERMIT CU23-02 TO ALLOW FOR SITE PLAN AND BUILDING FACADE MODIFICATIONS TO THE PREVIOUSLY APPROVED PROJECT.

**STANDARD NOTES:**

1. REFUSE DISPOSAL AREAS SHALL BE LANDSCAPED AND SCREENED FROM VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
2. MECHANICAL AND ELECTRICAL EQUIPMENT INCLUDING AIR CONDITIONING UNITS, SHALL BE DESIGNED, INSTALLED, AND OPERATED TO MINIMIZE NOISE IMPACT ON SURROUNDING PROPERTY. ALL SUCH EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
3. OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
4. THE MASONRY REQUIREMENTS OF SECTION 54 OF THE ZONING ORDINANCE SHALL BE MET.
5. ILLUMINATED SIGNAGE WAS INCLUDED IN THE DETERMINATION OF THE SITE ILLUMINATION LEVELS.
6. OUTDOOR LIGHTING SHALL COMPLY WITH ILLUMINATION STANDARDS WITHIN SECTION 55 OF THE ZONING ORDINANCE UNLESS SPECIFICALLY EXCEPTED.
7. PROPOSED GROUND SIGNAGE SHALL MEET THE MINIMUM REQUIREMENTS OF SECTION 50 OF THE ZONING ORDINANCE AND IS CONTINGENT UPON APPROVAL OF A SEPARATE BUILDING PERMIT WITH BUILDING SERVICES.
8. ALL ON-SITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.
9. USES SHALL CONFORM TO OPERATION, LOCATION, AND CONSTRUCTION TO THE FOLLOWING PERFORMANCE STANDARDS IN SECTION 53 OF THE ZONING ORDINANCE: NOISE, SMOKE AND PARTICULATE MATTER, ODOROUS MATTER, FIRE OR EXPLOSIVE HAZARDOUS MATERIALS, TONIC AND NOXIOUS MATTER, VIBRATION, AND/OR OTHER PERFORMANCE STANDARDS.
10. ALL REQUIREMENTS OF THE CITY OF GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.

CASE NAME: DYNATEN FINISH OUT  
 CASE NUMBER: CU25-46  
 LOCATION: 3642 EULESS—GRAPEVINE ROAD

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: 11/13/25  
 SHEET: 3 OF 4

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

PLANNING SERVICES DEPARTMENT

**FENCING ELEVATIONS**  
 for

LOTS 4, BLOCK 1, CURNIE ADDITION  
 Catherine Clanton Survey, Abstract 354  
 City Of Grapevine, Tarrant County, Texas  
 30.57 Acres  
 Zone: PID, Planned Industrial Development  
 Date of Preparation: November 14, 2025





## BUILT RITE FENCE

SCALE: 1" : 1'-0"    APPROVED BY: \_\_\_\_\_

DATE: 11/13/25    REVISED BY: \_\_\_\_\_

EXAMPLES

# SD 4.0

**OWNER**  
 CURNES PARTNERS, LP  
 CONTACT: BUNKER CURNES  
 TEL: 214-600-3057  
 EMAIL: BUNKERCURNES@GMAIL.COM

**CONTRACTOR**  
 ARCO MURRAY  
 CONTACT: CHASE KILLINGSWORTH  
 TEL: 469-251-9017  
 EMAIL: CKILLINGSWORTH@ARCOMURRAY.COM

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 EMAIL: MYOUNG@QMA-ARCHITECTS.COM

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 CONTACT: JOE BUSHMAN  
 TEL: 331-998-5341  
 EMAIL: JBUSHMAN@ARCOMURRAY.COM

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  9. USES SHALL CONFORM TO THE FOLLOWING PERFORMANCE STANDARDS IN SECTION 65 OF THE ZONING ORDINANCE: NOISE, SMOKE AND PARTICULATE MATTER, ODOROUS MATTER, FIRE OR EXPLOSIVE HAZARDOUS MATERIAL, TOXIC AND NOXIOUS MATTER, VIBRATION, AND/OR OTHER PERFORMANCE STANDARDS.
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 CASE NUMBER: CU25-46  
 LOCATION: 3642 EULESS--GRAPEVINE ROAD

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: 11/13/25  
 SHEET: 4 OF 4

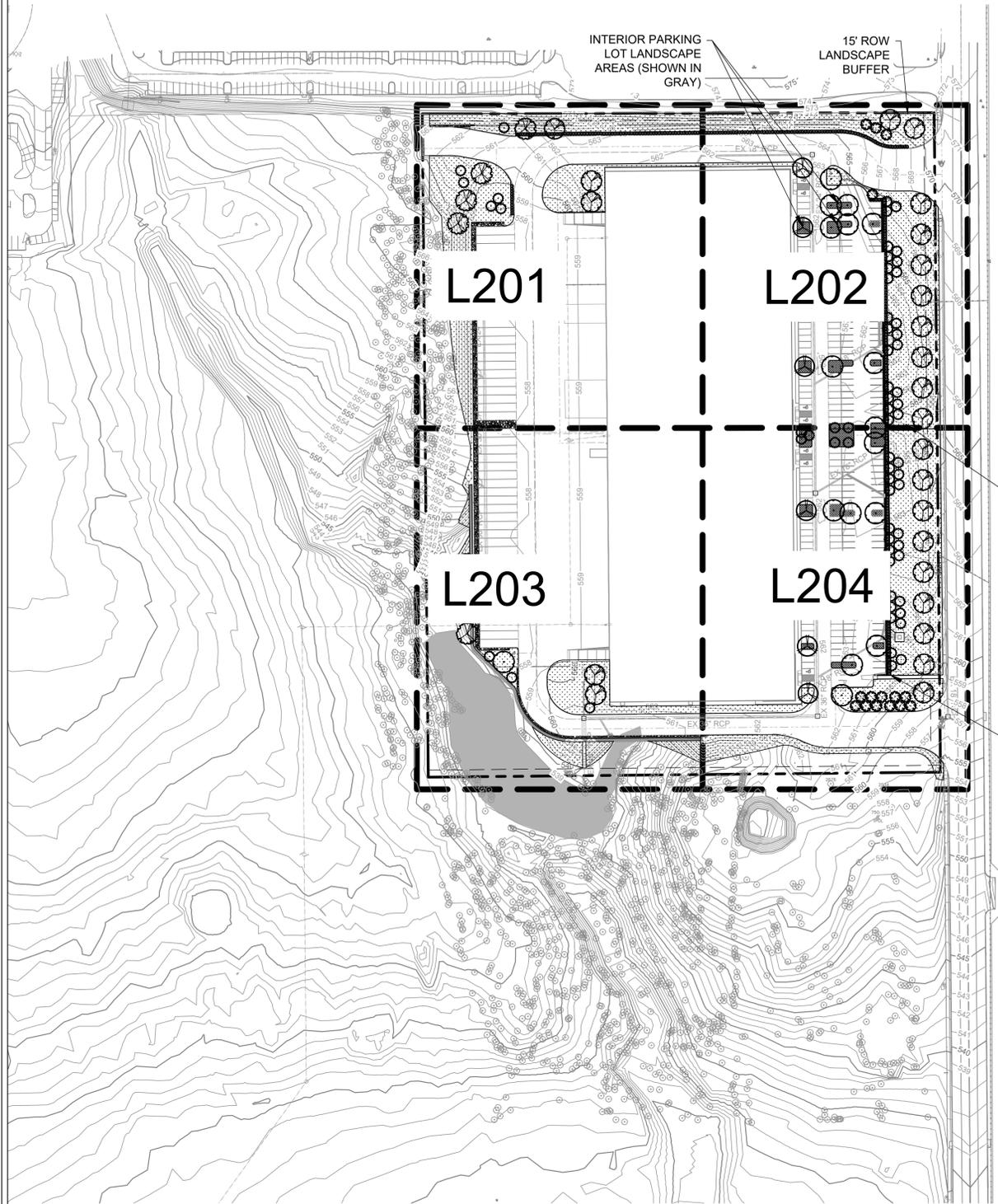
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PLANNING SERVICES DEPARTMENT

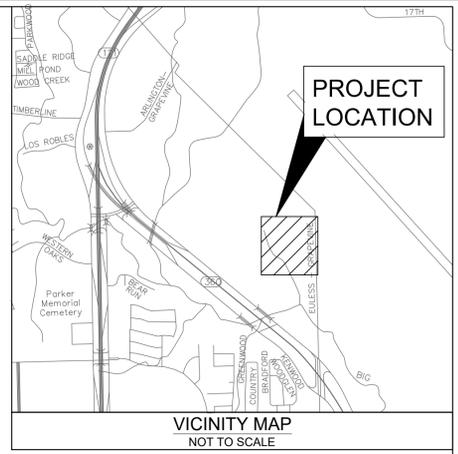
**FENCING ELEVATIONS**  
 for

LOTS 4, BLOCK 1, CURNES ADDITION  
 Catherine Clanton Survey, Abstract 354  
 City Of Grapevine, Tarrant County, Texas  
 30.57 Acres  
 Zone: PID, Planned Industrial Development  
 Date of Preparation: November 14 2025

FILE NAME: A:\45003\45244\03\LA\CAD\DD\Sheets\LA-PLAN-LAND-45244.dwg DATE: November 13, 2025, TIME: 3:03 PM, USER: ah412



Landscape Plan Data Summary Table		
Item	Required	Proposed
Total Lot Area		1,331,749 sf
Site Area (square feet)		690,426 sf
Parking Area		81,754 sf
Parking Area Percentage		11.8%
Parking Spaces		248
Parking Lot Trees (1 Tree/400 sq. ft. of interior landscape area)	23	28
Parking Lot Islands		22
Landscape Perimeter Area (lineal feet)		3,350 lf
Landscape Perimeter Trees	67	400
New Trees		28
Preserved Trees to be counted as proposed		372
Interior Landscape Area-Parking Lot Landscaping (square feet)	4,362 sf	7,446 sf
<b>Landscape Area</b>		
Landscape Buffer At Perimeter Of Parking Lot Between Parking Lot and Street	15'	15'+
Additional Interior Landscape Area	0 sf	0 sf
Other Landscape Area within the lot (square feet)	0 sf	0 sf
Front Yard Landscape (Not Less Than 50% Total Landscape)	51,782 sf	52,035 sf
Landscape Area (15% of Total Site) *Includes Reseeding Disturbed Areas	103,564 sf	134,210 sf
Non-Vehicular Open Space Trees (1 Tree/2500 sq. ft.)	106	106
<b>Impervious Area</b>		
Building Footprint		200,340 sf
Area of Sidewalks, Pavement & other Impervious Flatwork (square feet)		263,606 sf
Other Impervious Area		0 sf
<b>Total Open Space (square feet and percentage)</b>		<b>228,225 sf</b>
<b>Total Impervious Area (square feet and percentage)</b>		<b>462,201 sf</b>



PLANT SCHEDULE				
SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	REMARKS
<b>TREES</b>				
	62	Ilex vomitoria / Yaupon Holly	3" cal.	
	23	Pistacia chinensis / Chinese Pistache	3" cal.	
	8	Quercus shumardii / Shumard Oak	3" cal.	
	24	Quercus virginiana / Southern Live Oak	3" cal.	
	7	Ulmus crassifolia / Cedar Elm	3" cal.	
	15	Vitex agnus-castus / Chaste Tree	3" cal.	
<b>SHRUBS</b>				
	332	Abelia x grandiflora / Glossy Abelia	5 gal.	
<b>SHRUB AREAS</b>				
	146	Juniperus horizontalis / Creeping Juniper	5 gal.	36" o.c.
	7,735	Trachelospermum asiaticum / Asian Jasmine	4" Pot	12" o.c.
<b>GROUND COVERS</b>				
	129,106 sf	Cynodon dactylon / Bermudagrass	Sod	
	5,487 sf	River Rock / River Rock	ROCK	

**NOTE:**  
SHRUBS SHOULD BE A MINIMUM OF 2' IN HEIGHT WHEN MEASURED IMMEDIATELY AFTER PLANTING. HEDGES, WHERE INSTALLED, SHOULD BE PLANTED AND MAINTAINED SO AS TO FORM A CONTINUOUS, UNBROKEN, SOLID, VISUAL SCREEN WHICH WILL BE 3' HIGH WITHIN ONE YEAR AFTER TIME OF PLANTING.  
  
NO CHANGES TO EXISTING OUTDOOR OVERHEAD LIGHTING FROM CU23-02 ARE TO BE MADE

REFERENCE NOTES SCHEDULE			
CODE	DESCRIPTION	QTY	DETAIL
1	STEEL EDGE	1,346 lf	

**PURPOSE STATEMENT:**  
CONDITIONAL USE PERMIT CU25-46 IS A REQUEST FOR MODIFICATION TO EXISTING CONDITIONAL USE PERMIT CU23-02 TO ALLOW FOR SITE PLAN AND BUILDING FACADE MODIFICATIONS TO THE PREVIOUSLY APPROVED PROJECT.

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CONTACT: BUNKER CURNES  
TEL: 214-600-3057  
EMAIL: BUNKERCURNES@GMAIL.COM

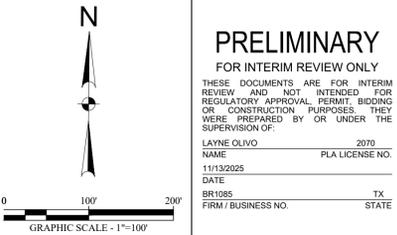
**CONTRACTOR**  
ARCO MURRAY  
CONTACT: CHASE KILLINGSWORTH  
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**ENGINEER**  
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- STANDARD NOTES:**
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  - USES SHALL CONFORM IN OPERATION, LOCATION, AND CONSTRUCTION TO THE FOLLOWING PERFORMANCE STANDARDS IN SECTION 55 OF THE ZONING ORDINANCE AND NOISE, SMOKE AND PARTICULATE MATTER, ODOROUS MATTER, FIRE OR EXPLOSIVE HAZARDS MATERIAL, TOXIC AND NOXIOUS MATTER, VIBRATION, AND/OR OTHER PERFORMANCE STANDARDS.
  - ALL REQUIREMENTS OF THE CITY OF GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.



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LAYNE OLIVO 2070  
NAME PLA LICENSE NO.  
11/13/2025  
DATE  
BR1085 TX  
FIRM / BUSINESS NO. STATE

CASE NAME: DYNATEN FINISH OUT  
CASE NUMBER: CU25-46  
LOCATION: 3642 EULESS-GRAPEVINE ROAD

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

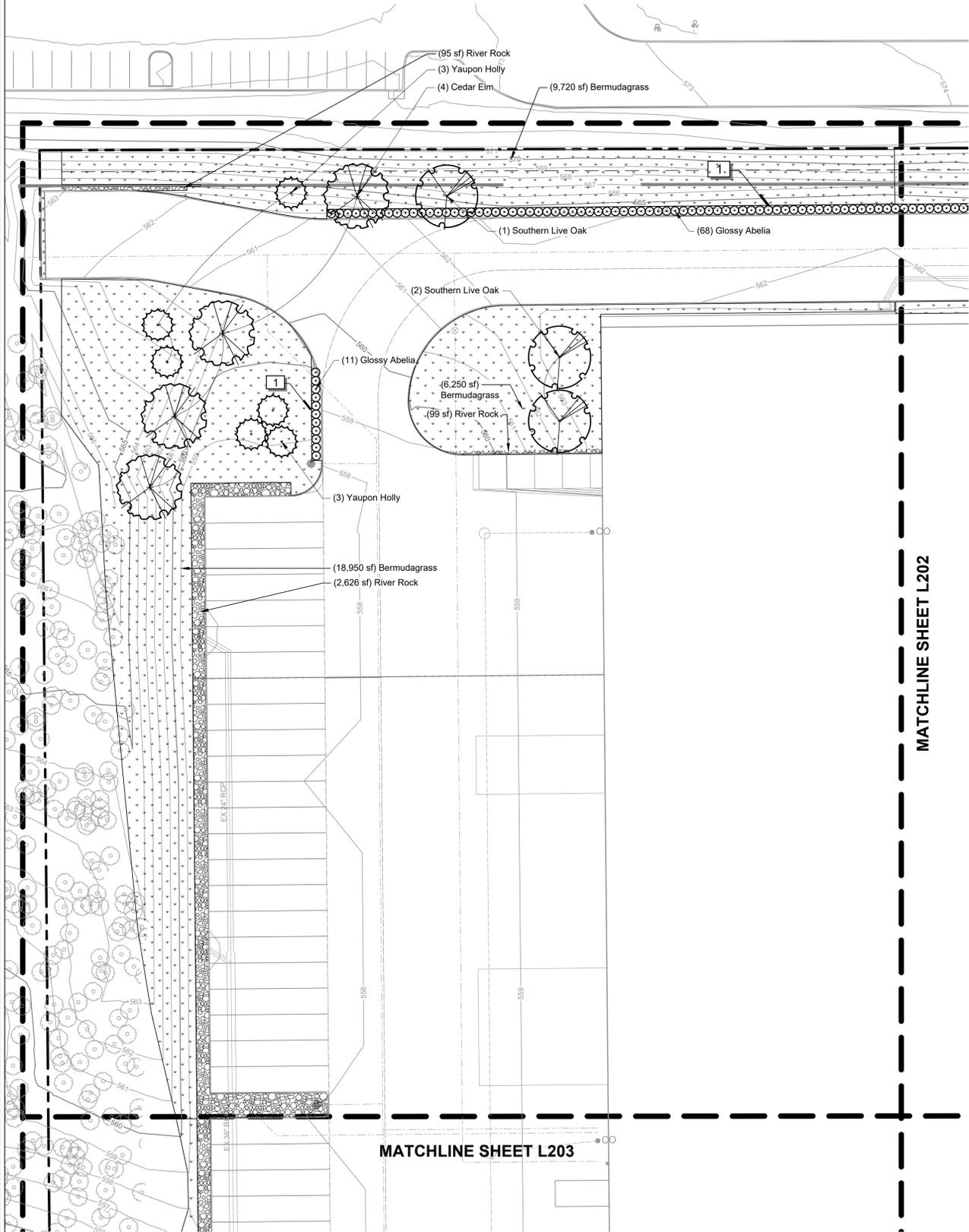
CHAIRMAN \_\_\_\_\_  
DATE: 11/13/25  
SHEET: 1 OF 6

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

PLANNING SERVICES DEPARTMENT

**LANDSCAPE PLAN**  
for  
LOT 4, BLOCK 1, CURNES ADDITION  
Catherine Clanton Survey, Abstract 354  
City Of Grapevine, Tarrant County, Texas  
30.57 Acres  
Zone:PID, Planned Industrial Development  
Date of Preparation: November 13, 2025

FILE NAME: A:\45003\45244\03\1\CA\ADD\Sheet1-L-PLAN-LAND-45244.dwg DATE: November 13, 2025, TIME: 3:04 PM, USER: ah412



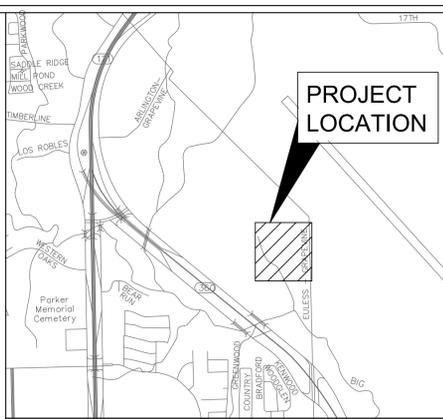
MATCHLINE SHEET L202

MATCHLINE SHEET L203

Landscape Plan Data Summary Table		
Item	Required	Proposed
Total Lot Area		1,331,749 sf
Site Area (square feet)		690,426 sf
Parking Area		81,754 sf
Parking Area Percentage		11.8%
Parking Spaces		248
Parking Lot Trees (1 Tree/400 sq. ft. of interior landscape area)	23	28
Parking Lot Islands		22
Landscape Perimeter Area (lineal feet)		3,350 lf
Landscape Perimeter Trees	67	400
New Trees		28
Preserved Trees to be counted as proposed		372
Interior Landscape Area-Parking Lot Landscaping (square feet)	4,362 sf	7,446 sf
<b>Landscape Area</b>		
Landscape Buffer At Perimeter Of Parking Lot Between Parking Lot and Street	15'	15'+
Additional Interior Landscape Area	0 sf	0 sf
Other Landscape Area within the lot (square feet)	0 sf	0 sf
Front Yard Landscape (Not Less Than 50% Total Landscape)	51,782 sf	52,035 sf
Landscape Area (15% of Total Site) *Includes Reseeding Disturbed Areas	103,564 sf	134,210 sf
Non-Vehicular Open Space Trees (1 Tree/2500 sq. ft.)	106	106
<b>Impervious Area</b>		
Building Footprint		200,340 sf
Area of Sidewalks, Pavement & other Impervious Flatwork (square feet)		263,606 sf
Other Impervious Area		0 sf
<b>Total Open Space (square feet and percentage)</b>		<b>228,225 sf</b>
<b>Total Impervious Area (square feet and percentage)</b>		<b>462,201 sf</b>

PLANT SCHEDULE 1				
SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	REMARKS
<b>TREES</b>				
	6	Ilex vomitoria / Yaupon Holly	3" cal.	
	3	Quercus virginiana / Southern Live Oak	3" cal.	
	4	Ulmus crassifolia / Cedar Elm	3" cal.	
<b>SHRUBS</b>				
	79	Abelia x grandiflora / Glossy Abelia	5 gal.	
<b>GROUND COVERS</b>				
	34,920 sf	Cynodon dactylon / Bermudagrass	Sod	
	2,820 sf	River Rock / River Rock	ROCK	

REFERENCE NOTES SCHEDULE 1			
CODE	DESCRIPTION	QTY	DETAIL
1	STEEL EDGE	322 lf	



**NOTE:**  
 SHRUBS SHOULD BE A MINIMUM OF 2' IN HEIGHT WHEN MEASURED IMMEDIATELY AFTER PLANTING. HEDGES, WHERE INSTALLED, SHOULD BE PLANTED AND MAINTAINED SO AS TO FORM A CONTINUOUS, UNBROKEN, SOLID, VISUAL SCREEN WHICH WILL BE 3' HIGH WITHIN ONE YEAR AFTER TIME OF PLANTING.  
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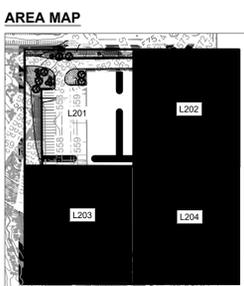
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 LAYNE OLIVO 2070  
 NAME PLA LICENSE NO.  
 11/13/2025  
 DATE  
 BR1085 TX  
 FIRM / BUSINESS NO. STATE

GRAPHIC SCALE - 1"=30'

CASE NAME: DYNATEN FINISH OUT  
 CASE NUMBER: CU25-46  
 LOCATION: 3642 EULESS-GRAPEVINE ROAD

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION

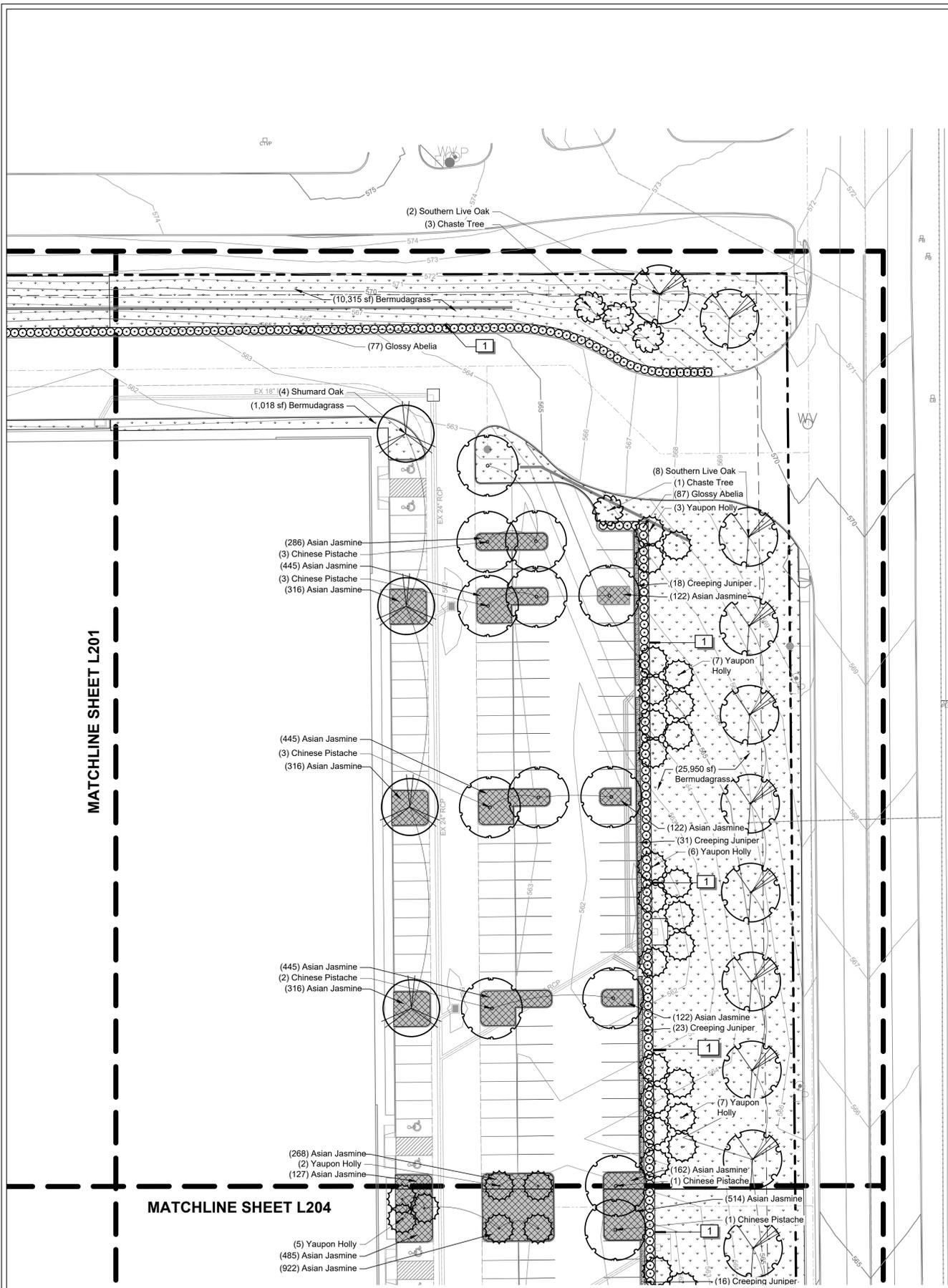
CHAIRMAN \_\_\_\_\_  
 DATE: 11/13/25  
 SHEET: 2 OF 6

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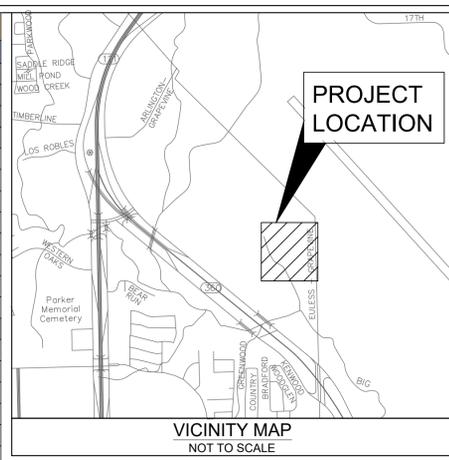
PLANNING SERVICES DEPARTMENT

**LANDSCAPE PLAN**  
 for  
 LOT 4, BLOCK 1, CURNES ADDITION  
 Catherine Clanton Survey, Abstract 354  
 City Of Grapevine, Tarrant County, Texas  
 30.57 Acres  
 Zone:PID, Planned Industrial Development  
 Date of Preparation: November 13, 2025

FILE NAME: A:\450003\4524003\LA\CADD\Sheets\LA-PLAN-LAND-45244.003.dwg DATE: November 13, 2025, TIME: 3:04 PM, USER: ah412



Landscape Plan Data Summary Table		
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Total Lot Area		1,331,749 sf
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Other Landscape Area within the lot (square feet)	0 sf	0 sf
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Landscape Area (15% of Total Site) *Includes Reseeding Disturbed Areas	103,564 sf	134,210 sf
Non-Vehicular Open Space Trees (1 Tree/2500 sq. ft.)	106	106
<b>Impervious Area</b>		
Building Footprint		200,340 sf
Area of Sidewalks, Pavement & other Impervious Flatwork (square feet)		263,606 sf
Other Impervious Area		0 sf
<b>Total Open Space (square feet and percentage)</b>		<b>228,225 sf</b>
<b>Total Impervious Area (square feet and percentage)</b>		<b>462,201 sf</b>



PLANT SCHEDULE 2				
SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	REMARKS
<b>TREES</b>				
[Symbol]	25	Ilex vomitoria / Yaupon Holly	3" cal.	
[Symbol]	12	Pistacia chinensis / Chinese Pistache	3" cal.	
[Symbol]	4	Quercus shumardii / Shumard Oak	3" cal.	
[Symbol]	10	Quercus virginiana / Southern Live Oak	3" cal.	
[Symbol]	4	Vitex agnus-castus / Chaste Tree	3" cal.	
<b>SHRUBS</b>				
[Symbol]	165	Abelia x grandiflora / Glossy Abelia	5 gal.	
<b>SHRUB AREAS</b>				
[Symbol]	72	Juniperus horizontalis / Creeping Juniper	5 gal.	36" o.c.
[Symbol]	3,492	Trachelospermum asiaticum / Asian Jasmine	4" Pot	12" o.c.
<b>GROUND COVERS</b>				
[Symbol]	37,283 sf	Cynodon dactylon / Bermudagrass	Sod	

**NOTE:**  
SHRUBS SHOULD BE A MINIMUM OF 2' IN HEIGHT WHEN MEASURED IMMEDIATELY AFTER PLANTING. HEDGES, WHERE INSTALLED, SHOULD BE PLANTED AND MAINTAINED SO AS TO FORM A CONTINUOUS, UNBROKEN, SOLID, VISUAL SCREEN WHICH WILL BE 3' HIGH WITHIN ONE YEAR AFTER TIME OF PLANTING.  
  
NO CHANGES TO EXISTING OUTDOOR OVERHEAD LIGHTING FROM CU23-02 ARE TO BE MADE

REFERENCE NOTES SCHEDULE 2			
CODE	DESCRIPTION	QTY	DETAIL
1	STEEL EDGE	645 lf	

**PURPOSE STATEMENT:**  
CONDITIONAL USE PERMIT CU25-46 IS A REQUEST FOR MODIFICATION TO EXISTING CONDITIONAL USE PERMIT CU23-02 TO ALLOW FOR SITE PLAN AND BUILDING FACADE MODIFICATIONS TO THE PREVIOUSLY APPROVED PROJECT.

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  - MECHANICAL AND ELECTRICAL EQUIPMENT INCLUDING AIR CONDITIONING UNITS, SHALL BE DESIGNED, INSTALLED, AND OPERATED TO MINIMIZE NOISE IMPACT ON SURROUNDING PROPERTY. ALL SUCH EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - THE MASONRY REQUIREMENTS OF SECTION 54 OF THE ZONING ORDINANCE SHALL BE MET.
  - ILLUMINATED SIGNAGE WAS INCLUDED IN THE DETERMINATION OF THE SITE ILLUMINATION LEVELS.
  - OUTDOOR LIGHTING SHALL COMPLY WITH ILLUMINATION STANDARDS WITHIN SECTION 55 OF THE ZONING ORDINANCE UNLESS SPECIFICALLY EXCEPTED.
  - PROPOSED GROUND SIGNAGE SHALL MEET THE MINIMUM REQUIREMENTS OF SECTION 60 OF THE ZONING ORDINANCE AND IS CONTINGENT UPON APPROVAL OF A SEPARATE BUILDING PERMIT WITH BUILDING SERVICES.
  - ALL ONSITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.
  - USES SHALL CONFORM IN OPERATION, LOCATION, AND CONSTRUCTION TO THE FOLLOWING PERFORMANCE STANDARDS IN SECTION 55 OF THE ZONING ORDINANCE: NOISE, SMOKE AND PARTICULATE MATTER, ODOROUS MATTER, FIRE OR EXPLOSIVE HAZARDOUS MATERIAL, TOXIC AND NOXIOUS MATTER, VIBRATION, AND/OR OTHER PERFORMANCE STANDARDS.
  - ALL REQUIREMENTS OF THE CITY OF GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.

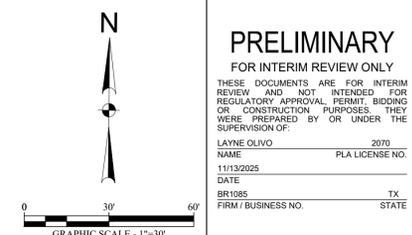
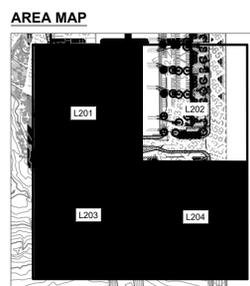
**OWNER**  
CURNES PARTNERS, LP  
CONTACT: BUNKER CURNES  
TEL: 214-600-3057  
EMAIL: BUNKERCURNES@GMAIL.COM

**CONTRACTOR**  
ARCO MURRAY  
CONTACT: CHASE KILLINGSWORTH  
TEL: 469-251-9017  
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**ENGINEER**  
HALFF ASSOCIATES  
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CONTACT: JOE BUSHMAN  
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LAYNE OLIVO 2070  
NAME PLA LICENSE NO.  
11/13/2025  
DATE  
BR1085 TX  
FIRM / BUSINESS NO. STATE

CASE NAME: DYNATEN FINISH OUT  
CASE NUMBER: CU25-46  
LOCATION: 3642 EULESS-GRAPEVINE ROAD

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: 11/13/25  
SHEET: 3 OF 6

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

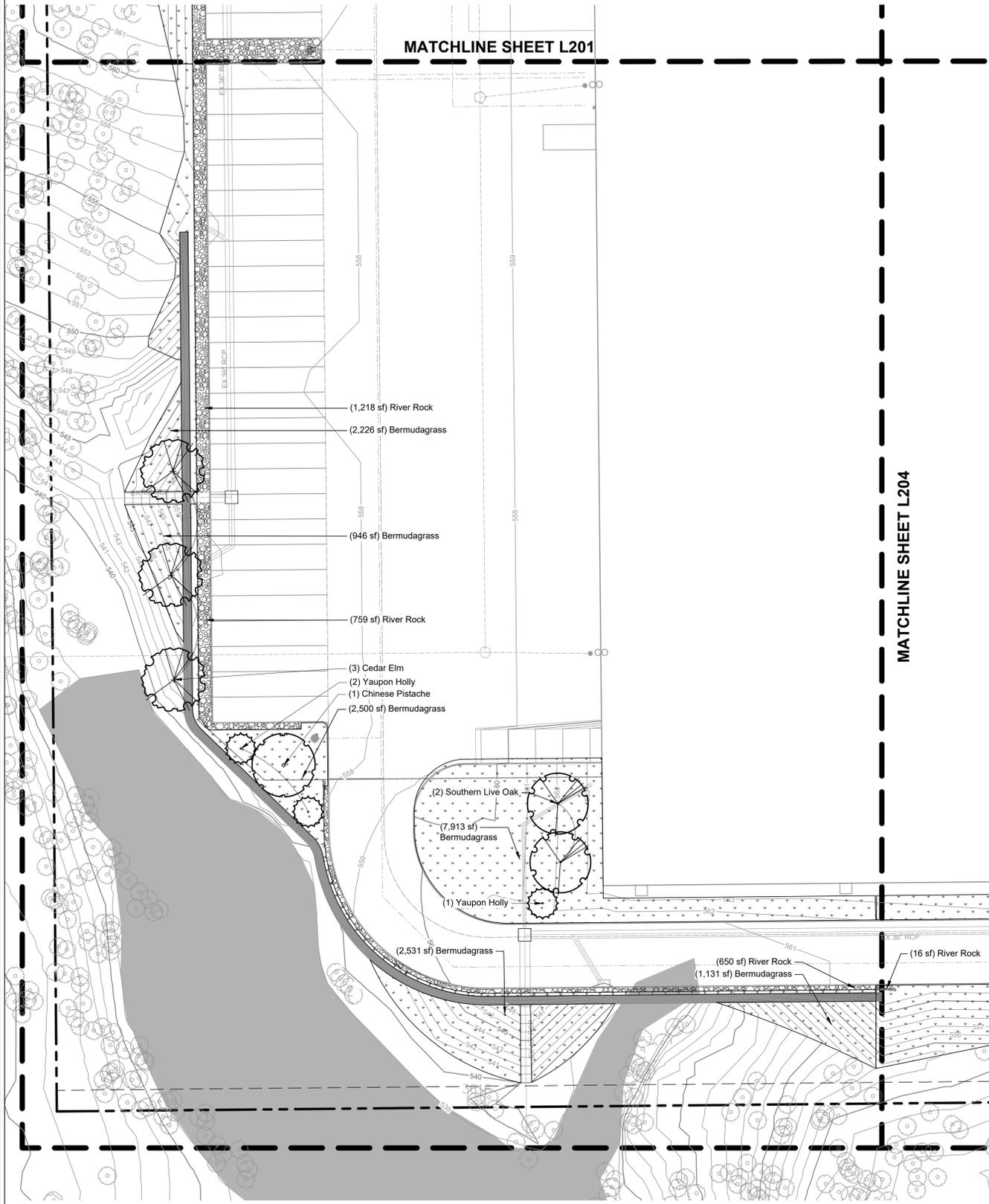
PLANNING SERVICES DEPARTMENT

**LANDSCAPE PLAN**  
for  
LOT 4, BLOCK 1, CURNES ADDITION  
Catherine Clanton Survey, Abstract 354  
City Of Grapevine, Tarrant County, Texas  
30.57 Acres  
Zone:PID, Planned Industrial Development  
Date of Preparation: November 13, 2025

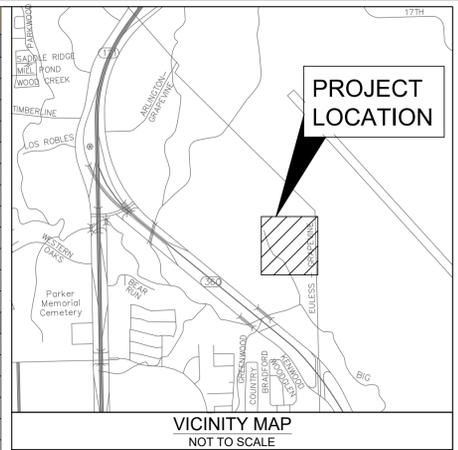
MATCHLINE SHEET L201

MATCHLINE SHEET L204

FILE NAME: A:\450003\45244003\LA\CAD\Drawings\PLAN\LAND-45244\_003.dwg DATE: November 13, 2025, TIME: 3:04 PM, USER: ah412



Landscape Plan Data Summary Table		
Item	Required	Proposed
Total Lot Area		1,331,749 sf
Site Area (square feet)		690,426 sf
Parking Area		81,754 sf
Parking Area Percentage		11.8%
Parking Spaces		248
Parking Lot Trees (1 Tree/400 sq. ft. of interior landscape area)	23	28
Parking Lot Islands		22
Landscape Perimeter Area (lineal feet)		3,350 lf
Landscape Perimeter Trees	67	400
New Trees		28
Preserved Trees to be counted as proposed		372
Interior Landscape Area-Parking Lot Landscaping (square feet)	4,362 sf	7,446 sf
<b>Landscape Area</b>		
Landscape Buffer At Perimeter Of Parking Lot Between Parking Lot and Street	15'	15'+
Additional Interior Landscape Area	0 sf	0 sf
Other Landscape Area within the lot (square feet)	0 sf	0 sf
Front Yard Landscape (Not Less Than 50% Total Landscape)	51,782 sf	52,035 sf
Landscape Area (15% of Total Site) *Includes Reseeding Disturbed Areas	103,564 sf	134,210 sf
Non-Vehicular Open Space Trees (1 Tree/2500 sq. ft.)	106	106
<b>Impervious Area</b>		
Building Footprint		200,340 sf
Area of Sidewalks, Pavement & other Impervious Flatwork (square feet)		263,606 sf
Other Impervious Area		0 sf
<b>Total Open Space (square feet and percentage)</b>		<b>228,225 sf</b>
<b>Total Impervious Area (square feet and percentage)</b>		<b>462,201 sf</b>

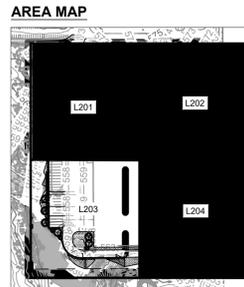


PLANT SCHEDULE 3					
SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
<b>TREES</b>					
	3	Ilex vomitoria / Yaupon Holly	3" cal.		
	1	Pistacia chinensis / Chinese Pistache	3" cal.		
	2	Quercus virginiana / Southern Live Oak	3" cal.		
	3	Ulmus crassifolia / Cedar Elm	3" cal.		
<b>GROUND COVERS</b>					
	17,247 sf	Cynodon dactylon / Bermudagrass	Sod		
	2,627 sf	River Rock / River Rock	ROCK		

**NOTE:**

SHRUBS SHOULD BE A MINIMUM OF 2' IN HEIGHT WHEN MEASURED IMMEDIATELY AFTER PLANTING. HEDGES, WHERE INSTALLED, SHOULD BE PLANTED AND MAINTAINED SO AS TO FORM A CONTINUOUS, UNBROKEN, SOLID, VISUAL SCREEN WHICH WILL BE 3' HIGH WITHIN ONE YEAR AFTER TIME OF PLANTING.

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**OWNER**  
CURNES PARTNERS, LP  
CONTACT: BUNKER CURNES  
TEL: 214-600-3057  
EMAIL: BUNKERCURNES@GMAIL.COM

**CONTRACTOR**  
ARCO MURRAY  
CONTACT: CHASE KILLINGSWORTH  
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NAME: LAYNE OLIVO 2070  
PLA LICENSE NO. TX  
DATE: 11/13/2025  
FIRM/BUSINESS NO. BR1085 STATE

GRAPHIC SCALE - 1"=30'

CASE NAME: DYNATEN FINISH OUT  
CASE NUMBER: CU25-46  
LOCATION: 3642 EULESS-GRAPEVINE ROAD

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: 11/13/25  
SHEET: 4 OF 6

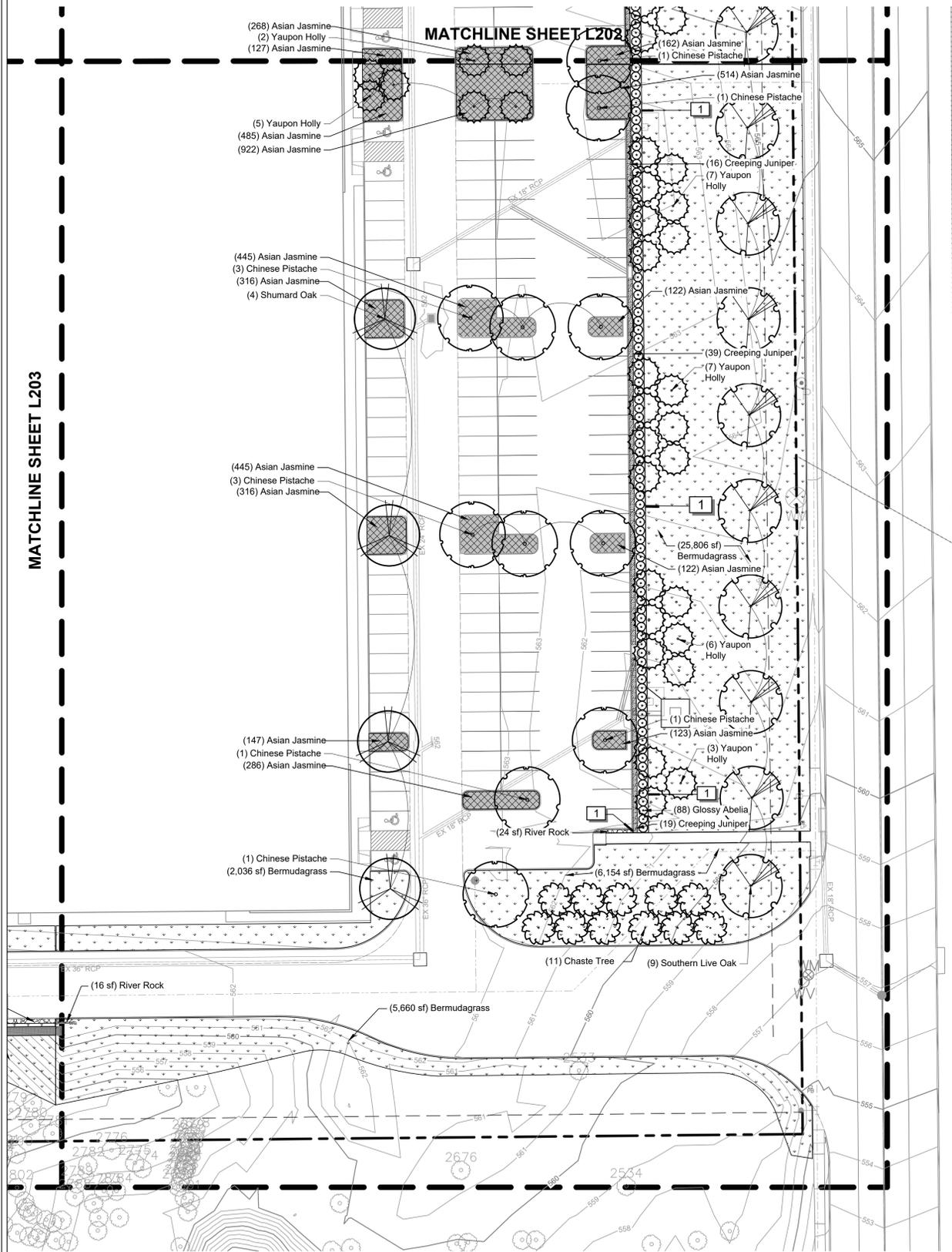
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

PLANNING SERVICES DEPARTMENT

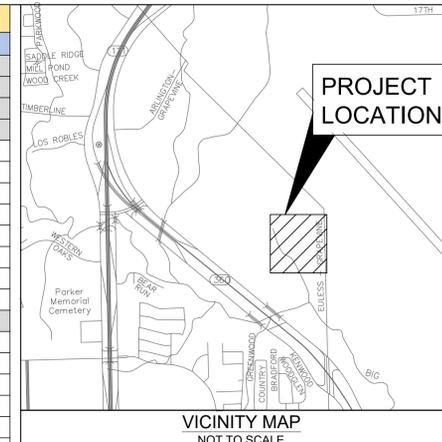
**LANDSCAPE PLAN**

for  
**LOT 4, BLOCK 1, CURNES ADDITION**  
Catherine Clanton Survey, Abstract 354  
City Of Grapevine, Tarrant County, Texas  
30.57 Acres  
Zone:PID, Planned Industrial Development  
Date of Preparation: November 13, 2025

FILE NAME: A:\45003\45244\03\LA\CAD\Sheet\PLAN\LAND-45244.dwg DATE: November 13, 2025, TIME: 3:04 PM, USER: ah412



Landscape Plan Data Summary Table		
Item	Required	Proposed
Total Lot Area		1,331,749 sf
Site Area (square feet)		690,426 sf
Parking Area		81,754 sf
Parking Area Percentage		11.8%
Parking Spaces		248
Parking Lot Trees (1 Tree/400 sq. ft. of interior landscape area)	23	28
Parking Lot Islands		22
Landscape Perimeter Area (lineal feet)		3,350 lf
Landscape Perimeter Trees	67	400
New Trees		28
Preserved Trees to be counted as proposed		372
Interior Landscape Area-Parking Lot Landscaping (square feet)	4,362 sf	7,446 sf
<b>Landscape Area</b>		
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Additional Interior Landscape Area	0 sf	0 sf
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Front Yard Landscape (Not Less Than 50% Total Landscape)	51,782 sf	52,035 sf
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Non-Vehicular Open Space Trees (1 Tree/2500 sq. ft.)	106	106
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Building Footprint		200,340 sf
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Other Impervious Area		0 sf
<b>Total Open Space (square feet and percentage)</b>		<b>228,225 sf</b>
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PLANT SCHEDULE 4				
SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	REMARKS
<b>TREES</b>				
[Symbol]	28	Ilex vomitoria / Yaupon Holly	3" cal.	
[Symbol]	10	Pistacia chinensis / Chinese Pistache	3" cal.	
[Symbol]	4	Quercus shumardii / Shumard Oak	3" cal.	
[Symbol]	9	Quercus virginiana / Southern Live Oak	3" cal.	
[Symbol]	11	Vitex agnus-castus / Chaste Tree	3" cal.	
<b>SHRUBS</b>				
[Symbol]	88	Abelia x grandiflora / Glossy Abelia	5 gal.	
<b>SHRUB AREAS</b>				
[Symbol]	74	Juniperus horizontalis / Creeping Juniper	5 gal.	36" o.c.
[Symbol]	4,243	Trachelospermum asiaticum / Asian Jasmine	4" Pot	12" o.c.
<b>GROUND COVERS</b>				
[Symbol]	39,656 sf	Cynodon dactylon / Bermudagrass	Sod	
[Symbol]	40 sf	River Rock / River Rock	ROCK	

**NOTE:**  
SHRUBS SHOULD BE A MINIMUM OF 2' IN HEIGHT WHEN MEASURED IMMEDIATELY AFTER PLANTING. HEDGES, WHERE INSTALLED, SHOULD BE PLANTED AND MAINTAINED SO AS TO FORM A CONTINUOUS, UNBROKEN, SOLID, VISUAL SCREEN WHICH WILL BE 3' HIGH WITHIN ONE YEAR AFTER TIME OF PLANTING.  
  
NO CHANGES TO EXISTING OUTDOOR OVERHEAD LIGHTING FROM CU23-02 ARE TO BE MADE

REFERENCE NOTES SCHEDULE 4			
CODE	DESCRIPTION	QTY	DETAIL
1	STEEL EDGE	327 lf	

**PURPOSE STATEMENT:**  
CONDITIONAL USE PERMIT CU25-46 IS A REQUEST FOR MODIFICATION TO EXISTING CONDITIONAL USE PERMIT CU23-02 TO ALLOW FOR SITE PLAN AND BUILDING FACADE MODIFICATIONS TO THE PREVIOUSLY APPROVED PROJECT.

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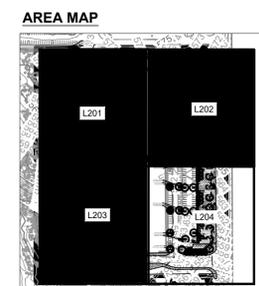
**OWNER**  
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NAME: LAYNE OLIVO  
DATE: 11/13/2025  
FIRM/BUSINESS NO.: BR1085  
TX STATE

GRAPHIC SCALE - 1"=30'

CASE NAME: DYNATEN FINISH OUT  
CASE NUMBER: CU25-46  
LOCATION: 3642 EULESS-GRAPEVINE ROAD

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: 11/13/25  
SHEET: 5 OF 6

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

PLANNING SERVICES DEPARTMENT

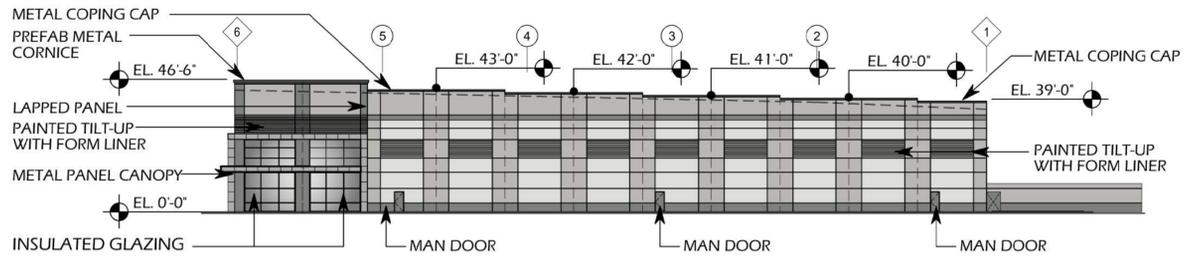
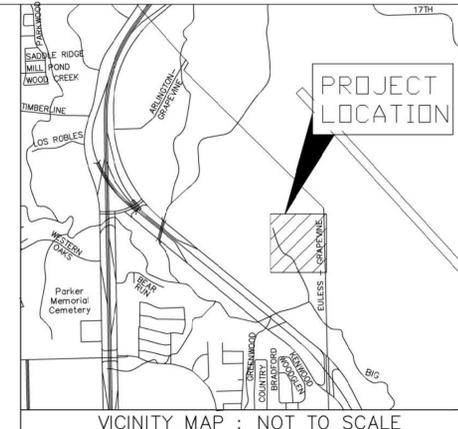
**LANDSCAPE PLAN**  
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Catherine Clanton Survey, Abstract 354  
City Of Grapevine, Tarrant County, Texas  
30.57 Acres  
Zone:PID, Planned Industrial Development  
Date of Preparation: November 13, 2025

**NORTHWEST REMAINING TREE LIST**

Tag ID	Common Name	Scientific Name	DBH (in)	Remove/Remain	Tag ID	Common Name	Scientific Name	DBH (in)	Remove/Remain
33	Cedar elm	Ulmus crassifolia	5	REMAIN	1619	Eastern red cedar	Juniperus virginiana	5	REMAIN
34	Post oak	Quercus stellata	9.5	REMAIN	1620	Cedar elm	Ulmus crassifolia	7	REMAIN
35	Post oak	Quercus stellata	9	REMAIN	1621	Cedar elm	Ulmus crassifolia	5.5	REMAIN
36	Cedar elm	Ulmus crassifolia	4.5	REMAIN	1622	Cedar elm	Ulmus crassifolia	4.5	REMAIN
37	Cedar elm	Ulmus crassifolia	4	REMAIN	1623	Cedar elm	Ulmus crassifolia	5.5	REMAIN
38	Post oak	Quercus stellata	10	REMAIN	1624	Cedar elm	Ulmus crassifolia	10	REMAIN
39	Post oak	Quercus stellata	12	REMAIN	1625	Cedar elm	Ulmus crassifolia	5.5	REMAIN
40	Post oak	Quercus stellata	12.5	REMAIN	1626	Cedar elm	Ulmus crassifolia	4	REMAIN
41	Post oak	Quercus stellata	5	REMAIN	1627	Cedar elm	Ulmus crassifolia	4.5	REMAIN
42	Cedar elm	Ulmus crassifolia	5.5	REMAIN	1628	Cedar elm	Ulmus crassifolia	6	REMAIN
43	Post oak	Quercus stellata	9.5	REMAIN	1629	Cedar elm	Ulmus crassifolia	6.5	REMAIN
44	Cedar elm	Ulmus crassifolia	4	REMAIN	1630	Post oak	Quercus stellata	11.5	REMAIN
45	Eastern red cedar	Juniperus virginiana	3.5	REMAIN	1631	Cedar elm	Ulmus crassifolia	4	REMAIN
46	Eastern red cedar	Juniperus virginiana	3.5	REMAIN	1632	Cedar elm	Ulmus crassifolia	5.5	REMAIN
47	Cedar elm	Ulmus crassifolia	3.5	REMAIN	1633	Cedar elm	Ulmus crassifolia	5.5	REMAIN
52	Eastern red cedar	Juniperus virginiana	3.5	REMAIN	1634	Post oak	Quercus stellata	6	REMAIN
53	Cedar elm	Ulmus crassifolia	7	REMAIN	1635	Cedar elm	Ulmus crassifolia	4.5	REMAIN
54	Cedar elm	Ulmus crassifolia	4.5	REMAIN	1636	Cedar elm	Ulmus crassifolia	4	REMAIN
55	Cedar elm	Ulmus crassifolia	4.5	REMAIN	1637	Cedar elm	Ulmus crassifolia	4	REMAIN
56	Cedar elm	Ulmus crassifolia	4	REMAIN	1644	Cedar elm	Ulmus crassifolia	4	REMAIN
57	Cedar elm	Ulmus crassifolia	3.5	REMAIN	1646	Post oak	Quercus stellata	5.5	REMAIN
58	Cedar elm	Ulmus crassifolia	5	REMAIN	1647	Cedar elm	Ulmus crassifolia	5	REMAIN
59	Cedar elm	Ulmus crassifolia	4	REMAIN	1648	Cedar elm	Ulmus crassifolia	5.5	REMAIN
60	Cedar elm	Ulmus crassifolia	5	REMAIN	1649	Cedar elm	Ulmus crassifolia	4	REMAIN
61	Cedar elm	Ulmus crassifolia	5	REMAIN	1652	Post oak	Quercus stellata	4	REMAIN
62	Post oak	Quercus stellata	8.5	REMAIN	1653	Cedar elm	Ulmus crassifolia	3.5	REMAIN
63	Post oak	Quercus stellata	10	REMAIN	1654	Cedar elm	Ulmus crassifolia	5	REMAIN
64	Cedar elm	Ulmus crassifolia	4.5	REMAIN	1655	Cedar elm	Ulmus crassifolia	4	REMAIN
65	Cedar elm	Ulmus crassifolia	5	REMAIN	1656	Cedar elm	Ulmus crassifolia	4	REMAIN
66	Post oak	Quercus stellata	11	REMOVE	1657	Cedar elm	Ulmus crassifolia	4.5	REMAIN
67	Post oak	Quercus stellata	9	REMAIN	1658	Cedar elm	Ulmus crassifolia	5.5	REMAIN
68	Cedar elm	Ulmus crassifolia	6	REMAIN	1659	Cedar elm	Ulmus crassifolia	5.5	REMAIN
69	Cedar elm	Ulmus crassifolia	7	REMAIN	1660	Cedar elm	Ulmus crassifolia	5	REMAIN
113	Cedar elm	Ulmus crassifolia	4.5	REMAIN	1661	Cedar elm	Ulmus crassifolia	5	REMAIN
114	Post oak	Quercus stellata	8	REMAIN	1664	Post oak	Quercus stellata	12	REMAIN
115	Post oak	Quercus stellata	7.5	REMAIN	1665	Eastern red cedar	Juniperus virginiana	4	REMAIN
116	Post oak	Quercus stellata	7	REMAIN	1666	Post oak	Quercus stellata	8	REMAIN
117	Post oak	Quercus stellata	6	REMAIN	1667	Cedar elm	Ulmus crassifolia	6	REMAIN
118	Cedar elm	Ulmus crassifolia	5	REMAIN	1668	Cedar elm	Ulmus crassifolia	3.5	REMAIN
119	Post oak	Quercus stellata	6	REMAIN	1669	Cedar elm	Ulmus crassifolia	3.5	REMAIN
120	Cedar elm	Ulmus crassifolia	3.5	REMAIN	1670	Cedar elm	Ulmus crassifolia	4.5	REMAIN
121	Post oak	Quercus stellata	7	REMAIN	1671	Cedar elm	Ulmus crassifolia	3.5	REMAIN
122	Post oak	Quercus stellata	6	REMAIN	1672	Cedar elm	Ulmus crassifolia	6.5	REMAIN
123	Texas ash	Fraxinus albicans	5	REMAIN	1673	Cedar elm	Ulmus crassifolia	3.5	REMAIN
398	Post oak	Quercus stellata	10	REMAIN	1709	Cedar elm	Ulmus crassifolia	3.5	REMAIN
399	Cedar elm	Ulmus crassifolia	3.5	REMAIN	1710	Cedar elm	Ulmus crassifolia	5	REMAIN
401	Eastern red cedar	Juniperus virginiana	4	REMOVE	1711	Cedar elm	Ulmus crassifolia	3.5	REMAIN
402	Eastern red cedar	Juniperus virginiana	6.5	REMOVE	1712	Cedar elm	Ulmus crassifolia	3.5	REMAIN
403	Cedar elm	Ulmus crassifolia	6	REMOVE	1713	Cedar elm	Ulmus crassifolia	4.5	REMAIN
404	Post oak	Quercus stellata	10.5	REMOVE	1714	Cedar elm	Ulmus crassifolia	4	REMAIN
405	Post oak	Quercus stellata	6	REMOVE	1715	Cedar elm	Ulmus crassifolia	4.5	REMAIN
406	Post oak	Quercus stellata	9	REMOVE	1763	Post oak	Quercus stellata	11	REMAIN
407	Post oak	Quercus stellata	8	REMOVE	1764	Cedar elm	Ulmus crassifolia	4	REMAIN
409	Cedar elm	Ulmus crassifolia	4	REMOVE	1765	Cedar elm	Ulmus crassifolia	6	REMAIN
410	Post oak	Quercus stellata	14	REMOVE	1766	Cedar elm	Ulmus crassifolia	4	REMAIN
411	Post oak	Quercus stellata	7.5	REMOVE	1767	Post oak	Quercus stellata	5	REMAIN
412	Texas ash	Fraxinus albicans	5	REMOVE	1768	Post oak	Quercus stellata	5.5	REMAIN
413	Post oak	Quercus stellata	10.5	REMOVE	1769	Cedar elm	Ulmus crassifolia	3.5	REMAIN
415	Post oak	Quercus stellata	17	REMOVE	1770	Cedar elm	Ulmus crassifolia	4	REMAIN
422	Post oak	Quercus stellata	8.5	REMOVE	1771	Green ash	Fraxinus pennsylvanica	9.5	REMAIN
423	Post oak	Quercus stellata	12	REMOVE	1772	Post oak	Quercus stellata	4.5	REMAIN
424	Post oak	Quercus stellata	3.5	REMOVE	1784	Texas ash	Fraxinus albicans	5	REMAIN
425	Post oak	Quercus stellata	9.5	REMOVE	1785	Cedar elm	Ulmus crassifolia	4	REMAIN
426	Post oak	Quercus stellata	9.5	REMOVE	1786	Post oak	Quercus stellata	12.5	REMAIN
427	Post oak	Quercus stellata	6.5	REMOVE	1787	Cedar elm	Ulmus crassifolia	5	REMAIN
428	Post oak	Quercus stellata	8	REMOVE	1788	Cedar elm	Ulmus crassifolia	6.5	REMAIN
429	Post oak	Quercus stellata	8.5	REMOVE	1789	Cedar elm	Ulmus crassifolia	3.5	REMAIN
430	Post oak	Quercus stellata	9	REMOVE	1790	Cedar elm	Ulmus crassifolia	3.5	REMAIN
431	Post oak	Quercus stellata	7.5	REMOVE	1791	Cedar elm	Ulmus crassifolia	4.5	REMAIN
432	Texas ash	Fraxinus albicans	5.5	REMAIN	1840	Cedar elm	Ulmus crassifolia	3.5	REMAIN
433	Cedar elm	Ulmus crassifolia	3.5	REMAIN	1841	Cedar elm	Ulmus crassifolia	3.5	REMAIN
434	Post oak	Quercus stellata	8.5	REMAIN	1878	Post oak	Quercus stellata	8	REMAIN
435	Post oak	Quercus stellata	5.5	REMAIN	1879	Cedar elm	Ulmus crassifolia	3.5	REMAIN
436	Post oak	Quercus stellata	6.5	REMAIN	1880	Post oak	Quercus stellata	7.5	REMAIN
437	Texas ash	Fraxinus albicans	3.5	REMAIN	2119	Cedar elm	Ulmus crassifolia	4	REMAIN
438	Post oak	Quercus stellata	9	REMAIN	2122	Cedar elm	Ulmus crassifolia	6.5	REMAIN
439	Post oak	Quercus stellata	5	REMAIN	2124	Cedar elm	Ulmus crassifolia	4	REMAIN
441	Post oak	Quercus stellata	6	REMAIN	2125	Eastern red cedar	Juniperus virginiana	3.5	REMAIN
442	Post oak	Quercus stellata	5.5	REMAIN	2126	Post oak	Quercus stellata	8	REMAIN
443	Post oak	Quercus stellata	5.5	REMOVE					
444	Post oak	Quercus stellata	15	REMOVE					
445	Post oak	Quercus stellata	11.5	REMOVE					
446	Post oak	Quercus stellata	9.5	REMOVE					
447	Post oak	Quercus stellata	7	REMOVE					
448	Post oak	Quercus stellata	7.5	REMOVE					
552	Post oak	Quercus stellata	11.5	REMOVE					
553	Cedar elm	Ulmus crassifolia	4	REMOVE					
555	Cedar elm	Ulmus crassifolia	7	REMOVE					
1564	Eastern red cedar	Juniperus virginiana	4	REMAIN					
1565	Cedar elm	Ulmus crassifolia	3.5	REMAIN					
1566	Cedar elm	Ulmus crassifolia	3.5	REMAIN					
1567	Cedar elm	Ulmus crassifolia	4	REMAIN					
1568	Post oak	Quercus stellata	6	REMAIN					
1569	Cedar elm	Ulmus crassifolia	4.5	REMAIN					
1570	Post oak	Quercus stellata	10.5	REMAIN					
1571	Cedar elm	Ulmus crassifolia	5	REMAIN					
1572	Cedar elm	Ulmus crassifolia	4	REMAIN					
1618	Cedar elm	Ulmus crassifolia	18	REMAIN					

**SOUTHWEST REMAINING TREE LIST**

Tag ID	Common Name	Scientific Name	DBH (in)	Remove/Remain	Tag ID	Common Name	Scientific Name	DBH (in)	Remove/Remain
1487	Cedar elm	Ulmus crassifolia	6	REMAIN	2409	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
1488	Post oak	Quercus stellata	10	REMAIN	2410	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
1508	Cedar elm	Ulmus crassifolia	5.5	REMAIN	2411	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
1884	Cedar elm	Ulmus crassifolia	7	REMAIN	2412	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
1885	Post oak	Quercus stellata	6	REMAIN	2413	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
1948	Post oak	Quercus stellata	10	REMAIN	2414	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
1957	Cedar elm	Ulmus crassifolia	7	REMAIN	2423	Eastern red cedar	Juniperus virginiana	11	REMOVE
1958	Cedar elm	Ulmus crassifolia	7	REMAIN	3745	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
1959	Cedar elm	Ulmus crassifolia	11	REMAIN	3746	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
1960	Cedar elm	Ulmus crassifolia	3.5	REMAIN	3780	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
1961	Cedar elm	Ulmus crassifolia	6	REMAIN	3781	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
1962	Cedar elm	Ulmus crassifolia	3.5	REMAIN	3782	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
1963	Cedar elm	Ulmus crassifolia	3.5	REMAIN	3783	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
1964	Cedar elm	Ulmus crassifolia	10	REMAIN	3784	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
1965	Cedar elm	Ulmus crassifolia	5	REMAIN	3785	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
1966	Osage orange	Maclura pomifera	10.5	REMAIN	3786	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
1967	Cedar elm	Ulmus crassifolia	6.5	REMAIN	3787	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
1968	Cedar elm	Ulmus crassifolia	4.5	REMAIN	3788	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
1969	Cedar elm	Ulmus crassifolia	11	REMAIN	3789	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
1970	Cedar elm	Ulmus crassifolia	5.5	REMAIN	3790	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
1971	Cedar elm	Ulmus crassifolia	5.5	REMAIN	3791	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
1972	Cedar elm	Ulmus crassifolia	5.5	REMAIN	3792	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
1973	Cedar elm	Ulmus crassifolia	4	REMAIN	3793	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2120	Cedar elm	Ulmus crassifolia	3.5	REMAIN	3794	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2121	Cedar elm	Ulmus crassifolia	6	REMAIN	3798	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2123	Texas ash	Fraxinus albicans	4	REMAIN	3799	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2127	Post oak	Quercus stellata	10	REMAIN	3800	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2128	Cedar elm	Ulmus crassifolia	3.5	REMAIN	3801	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2129	Cedar elm	Ulmus crassifolia	4.5	REMAIN	3802	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2130	Post oak	Quercus stellata	11	REMAIN	3803	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2131	Cedar elm	Ulmus crassifolia	4.5	REMAIN	3804	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2132	Cedar elm	Ulmus crassifolia	3.5	REMAIN	3805	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2133	Cedar elm	Ulmus crassifolia	4	REMAIN	3806	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2134	Texas ash	Fraxinus albicans	3.5	REMAIN	3807	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2135	Cedar elm	Ulmus crassifolia	3.5	REMAIN	3808	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2136	Post oak	Quercus stellata	11	REMAIN	3809	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2137	Cedar elm	Ulmus crassifolia	4.5	REMAIN	3810	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2138	Cedar elm	Ulmus crassifolia	4	REMAIN	3811	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2139	Cedar elm	Ulmus crassifolia	4	REMAIN	3812	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2140	Cedar elm	Ulmus crassifolia	5.5	REMAIN	3813	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2143	Post oak	Quercus stellata	6	REMAIN	3814	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2318	Cedar elm	Ulmus crassifolia	3.5	REMAIN	3815	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2319	Eastern red cedar	Juniperus virginiana	7	REMAIN	3816	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2320	Post oak	Quercus stellata	14.5	REMAIN	3817	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2321	Cedar elm	Ulmus crassifolia	5.5	REMAIN	3818	Eastern red cedar	Juniperus virginiana	4.5	REMOVE
2322	Cedar elm	Ulmus crassifolia							

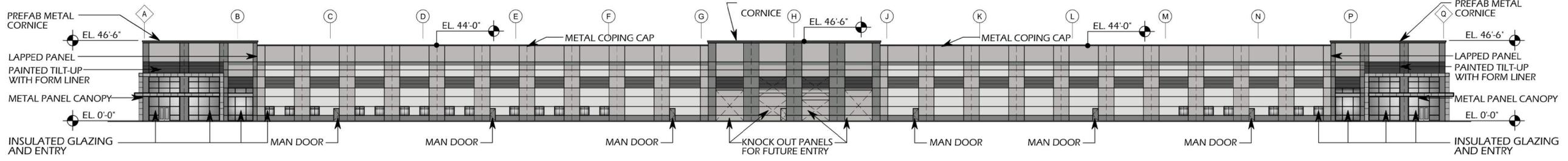


**NORTH ELEVATION**

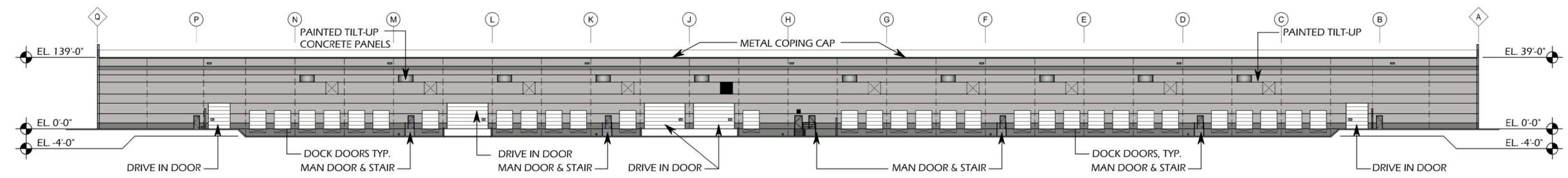
**EXTERIOR PAINT COLORS**

- SW 7063 NEBULOUS WHITE
- SW 7668 MARCH WIND
- SW 7067 CITYSCAPE

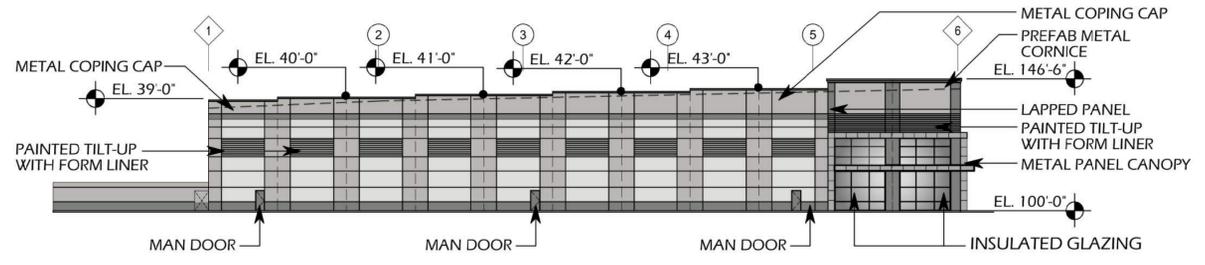
**NOTE: ALL ON-PREMISE LIGHT FIXTURES INCLUDING BASE ARE NOT TO EXCEED 30'-0"**



**EAST ELEVATION**



**WEST ELEVATION**



**SOUTH ELEVATION**



Finish Materials	BUILDING A							
	North		South		East		West (Dock Wall)	
	Area (sf)	%	Area (sf)	%	Area (sf)	%	Area (sf)	%
Painted Textured Concrete	7,811	75.0%	7,811	75.0%	23,690	77.0%	23,871	100.0%
Painted Formliner Concrete	1,448	13.9%	1,448	13.9%	3,746	12.2%	0	0.0%
Insulated Glazing	846	8.1%	846	8.1%	2,650	8.6%	0	0.0%
Aluminum Composite Material	316	3.0%	316	3.0%	688	2.2%	0	0.0%
<b>Total Elevation Area</b>	<b>10,421</b>	<b>100.0%</b>	<b>10,421</b>	<b>100.0%</b>	<b>30,774</b>	<b>100.0%</b>	<b>23,871</b>	<b>100.0%</b>

**OWNER**  
 CURNES PARTNERS, LP  
 CONTACT: BUNKER CURNES  
 TEL: 214-600-3057  
 EMAIL: BUNKERCURNES@GMAIL.COM

**CONTRACTOR**  
 ARCO MURRAY  
 CONTACT: CHASE KILLINGSWORTH  
 TEL: 469-251-9017  
 EMAIL: CKILLINGSWORTH@ARCOMURRAY.COM

**ENGINEER**  
 HALFF ASSOCIATES  
 CONTACT: CODY R. HODGE  
 TEL: 817-847-1422  
 EMAIL: CHODGE@HALFF.COM

**ARCHITECT**  
 GMA ARCHITECTS  
 CONTACT: MICHAEL YOUNG  
 TEL: 314-835-3421  
 EMAIL: MYOUNG@GMA-ARCHITECTS.COM

**ELECTRICAL ENGINEER**  
 ARCO MURRAY ENGINEERING  
 CONTACT: JOE BUSHMAN  
 TEL: 331-998-3341  
 EMAIL: JBUSHMAN@ARCOMURRAY.COM

**PURPOSE STATEMENT:**  
 CONDITIONAL USE PERMIT CU25-46 IS A REQUEST FOR MODIFICATION TO EXISTING CONDITIONAL USE PERMIT CU23-02 TO ALLOW FOR SITE PLAN AND BUILDING FACADE MODIFICATIONS TO THE PREVIOUSLY APPROVED PROJECT.

- STANDARD NOTES:**
- REFUSE DISPOSAL AREAS SHALL BE LANDSCAPED AND SCREENED FROM VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - MECHANICAL AND ELECTRICAL EQUIPMENT INCLUDING AIR CONDITIONING UNITS, SHALL BE DESIGNED, INSTALLED, AND OPERATED TO MINIMIZE NOISE IMPACT ON SURROUNDING PROPERTY. ALL SUCH EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
  - THE MASONRY REQUIREMENTS OF SECTION 54 OF THE ZONING ORDINANCE SHALL BE MET.
  - ILLUMINATED SIGNAGE SHALL BE INCLUDED IN THE DETERMINATION OF THE SITE ILLUMINATION LEVELS.
  - OUTDOOR LIGHTING SHALL COMPLY WITH ILLUMINATION STANDARDS WITHIN SECTION 55 OF THE ZONING ORDINANCE UNLESS SPECIFICALLY EXCEPTED.
  - PROPOSED GROUND SIGNAGE SHALL MEET THE MINIMUM REQUIREMENTS OF SECTION 60 OF THE ZONING ORDINANCE AND IS CONTINGENT UPON APPROVAL OF A SEPARATE BUILDING PERMIT WITH BUILDING SERVICES.
  - ALL ON-SITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.
  - USES SHALL CONFORM IN OPERATION, LOCATION, AND CONSTRUCTION TO THE FOLLOWING PERFORMANCE STANDARDS IN SECTION 55 OF THE ZONING ORDINANCE: NOISE, SMOKE AND PARTICULATE MATTER, ODOROUS MATTER, FIRE OR EXPLOSIVE HAZARDOUS MATERIAL, TOXIC AND NOXIOUS MATTER, VIBRATION, AND/OR OTHER PERFORMANCE STANDARDS.
  - ALL REQUIREMENTS OF THE CITY OF GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.



CASE NAME: DYNATEN FINISH OUT  
 CASE NUMBER: CU25-46  
 LOCATION: 3642 EULESS-GRAPEVINE ROAD

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
 DATE: 11/13/25  
 SHEET: 1 OF 1

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

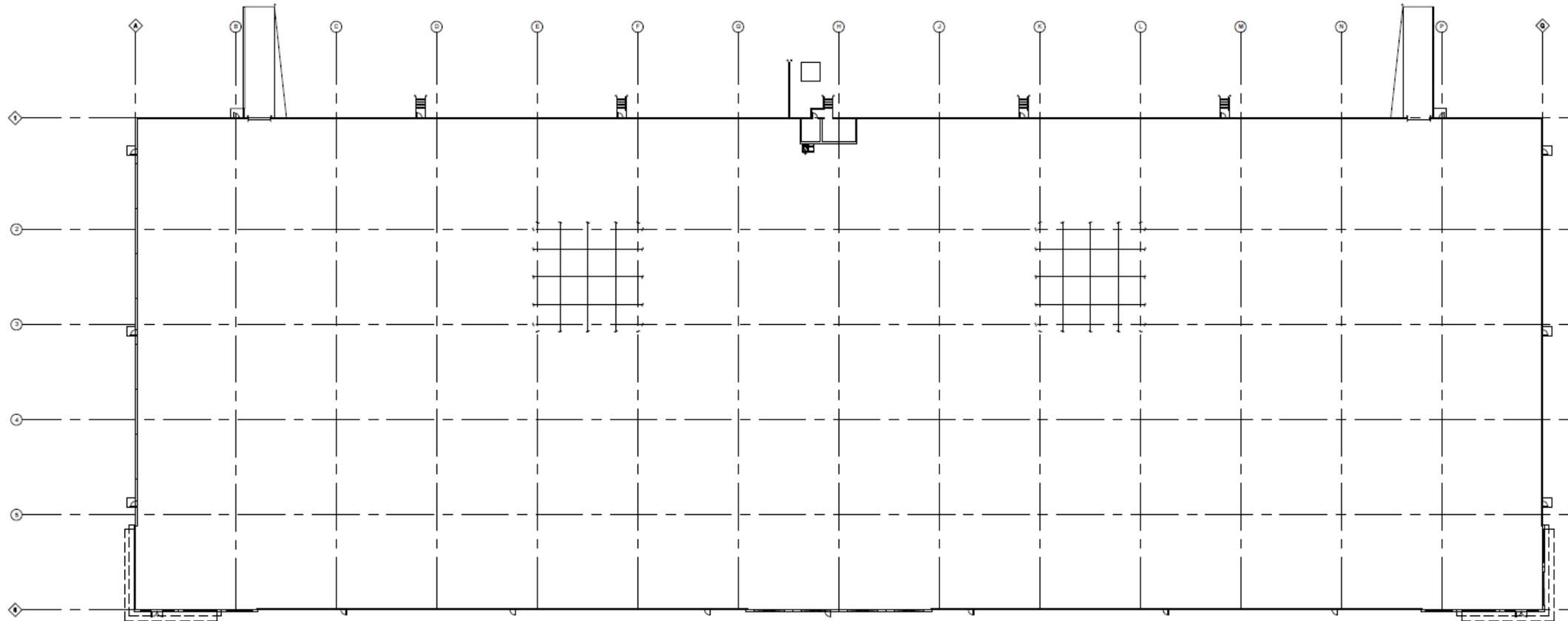
PLANNING SERVICES DEPARTMENT

**BUILDING ELEVATIONS**

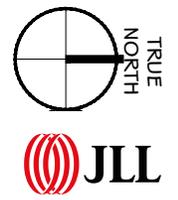
for

LOTS 4, BLOCK 1, CURNES ADDITION  
 Catherine Clanton Survey, Abstract 354  
 City Of Grapevine, Tarrant County, Texas  
 30.57 Acres  
 Zone: PID, Planned Industrial Development  
 Date of Preparation: November 14 2025

# 3642 Eules Grapevine Road, 1<sup>st</sup> Floor Current State



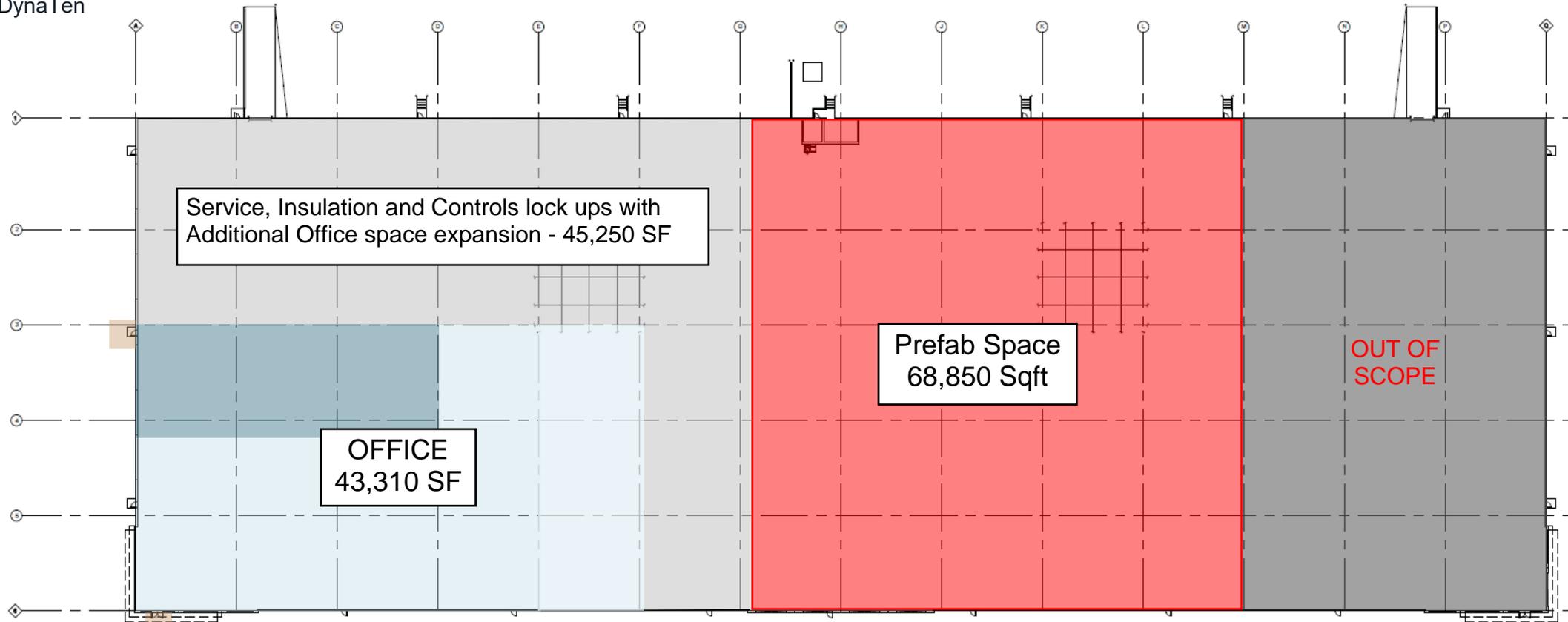
<p><b>OWNER:</b> JONES LANG LA SALLE IP  <b>CONTACT:</b> RYAN CURRIS          TEL: 774-400-3337          EMAIL: RYAN@JLL.COM</p> <p><b>CONTRACTOR:</b> JAMES BULLOCK          CONTACT: JAMES BULLOCK          TEL: 409-240-8017          EMAIL: JAMES@JAMESBULLOCK.COM</p> <p><b>ENGINEER:</b> JAMES BULLOCK          CONTACT: JAMES BULLOCK          TEL: 409-240-8017          EMAIL: JAMES@JAMESBULLOCK.COM</p> <p><b>ARCHITECT:</b> JAMES BULLOCK          CONTACT: JAMES BULLOCK          TEL: 409-240-8017          EMAIL: JAMES@JAMESBULLOCK.COM</p> <p><b>ELECTRICAL ENGINEER:</b> JAMES BULLOCK          CONTACT: JAMES BULLOCK          TEL: 409-240-8017          EMAIL: JAMES@JAMESBULLOCK.COM</p>	<p><b>PERMITS:</b> CONDITIONAL USE PERMIT CUS-46 IS A REQUEST FOR MODIFICATION TO EXISTING CONDITIONAL USE PERMIT CUS-46 TO ALLOW FOR SITE PLAN AND BUILDING FACADE MODIFICATIONS TO THE PREVIOUSLY APPROVED PROJECT.</p> <p><b>STANDARD NOTES:</b></p> <ol style="list-style-type: none"> <li>1. REDUCE CURB CUT AREAS SHALL BE LANDSCAPED AND SCHEDULED PER NEW 10 ACQUISITION WITH THE ZONING ORDINANCE.</li> <li>2. MECHANICAL AND ELECTRICAL EQUIPMENT INCLUDING AIR CONDITIONING UNITS SHALL BE DESIGNATED, PROTECTED, AND MAINTAINED TO REMAIN OUTSIDE OF THE ZONING DISTRICT. UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE CITY OF GRAPESVINE.</li> <li>3. OTHER ITEMS, WHERE POINTED, SHALL BE ACCESSED IN ACCORDANCE WITH THE ZONING ORDINANCE.</li> <li>4. THE MAXIMUM HEIGHTS OF SECTION 24 OF THE ZONING ORDINANCE SHALL BE MAINTAINED.</li> <li>5. ALL MAINTENANCE SHALL BE INCLUDED IN THE DETERMINATION OF THE USE OF THE ZONING DISTRICT.</li> <li>6. PROPOSED GROUND SIGNAGE SHALL MEET THE MINIMUM REQUIREMENTS OF SECTION 24 OF THE ZONING ORDINANCE AND THE CITY OF GRAPESVINE.</li> <li>7. ALL OTHER REQUIREMENTS OF SECTION 24 OF THE ZONING ORDINANCE SHALL BE MAINTAINED.</li> <li>8. ALL OTHER REQUIREMENTS OF SECTION 24 OF THE ZONING ORDINANCE SHALL BE MAINTAINED.</li> <li>9. ALL OTHER REQUIREMENTS OF SECTION 24 OF THE ZONING ORDINANCE SHALL BE MAINTAINED.</li> <li>10. ALL OTHER REQUIREMENTS OF SECTION 24 OF THE ZONING ORDINANCE SHALL BE MAINTAINED.</li> </ol>	<p><b>DATE:</b> 11/19/25  <b>TIME:</b> 11:00 AM  <b>LOCATION:</b> 3642 EULESS-GRAPEVINE, ROAD</p> <p>PLANNING AND ZONING COMMISSION</p> <p>DATE: 11/19/25          SHEET: 1 OF 1</p> <p>APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.</p> <p>PLANNING SERVICES DEPARTMENT</p> <p><b>FLOOR PLAN</b></p> <p>for</p> <p>LOTS 4, BLOCK 1, CURRIES ADDITION          Collette Curries Survey Abstract 354          City of Grapevine, Tarrant County, Texas          75137 Zone</p> <p>Zone PLS Planned Work/Development          Date of Preparation: November 14, 2025</p>
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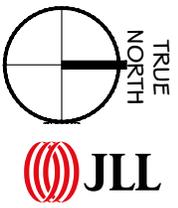
# 3642 Euless Grapevine Road, 1<sup>st</sup> Floor Blocking Plan



- Comfort Systems Training
- DynaTen



<p><b>OWNER:</b> JONES LANG LASALLE IP          CONTACT: RYAN CURRIS          TEL: 714-400-3937          EMAIL: RYAN@JLL.COM</p> <p><b>ARCHITECT:</b>          CONTACT: PHIL BULLINWORTH          TEL: 409-249-9017          EMAIL: BULLINWORTH@COMBINATION.COM</p> <p><b>ENGINEER:</b>          CONTACT: JOHN R. HODGE          TEL: 817-484-1422          EMAIL: JHODGE@JLFF.COM</p> <p><b>MECHANICAL:</b>          CONTACT: MICHAEL YOUNG          TEL: 214-480-3243          EMAIL: MYOUNG@BOMA-ARCHITECTS.COM</p> <p><b>ELECTRICAL ENGINEER:</b>          CONTACT: JOE BURMAN          TEL: 311-998-0344          EMAIL: JOEBURMAN@COMBINATION.COM</p>	<p><b>PERMITS:</b>          CONTACT: JANE BULLINWORTH          TEL: 409-249-9017          EMAIL: BULLINWORTH@COMBINATION.COM</p> <p><b>STANDARD NOTES:</b></p> <ol style="list-style-type: none"> <li>1. REMOVE EXISTING AREAS SHALL BE LANDSCAPED AND SOILS TESTED TO MEET OR EXCEED THE ZONING ORDINANCE.</li> <li>2. MECHANICAL AND ELECTRICAL EQUIPMENT INCLUDING AIR CONDITONING UNITS SHALL BE DISPOSED PROPERLY AND RELOCATED TO MEET THE ZONING ORDINANCE. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS IN ACCORDANCE WITH THE ZONING ORDINANCE.</li> <li>3. OTHER TRIMMINGS, WASTE, FENCING, SHALL BE REMOVED IN ACCORDANCE WITH THE ZONING ORDINANCE.</li> <li>4. THE MINIMUM REQUIREMENTS OF SECTION 54 OF THE ZONING ORDINANCE SHALL BE MET.</li> <li>5. ALL MAINTENANCE, SERVICE AND REPAIRS TO THE MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE.</li> <li>6. ALL MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE ZONING ORDINANCE.</li> <li>7. PROPOSED EXISTING STRUCTURE SHALL MEET THE MINIMUM REQUIREMENTS OF SECTION 54 OF THE ZONING ORDINANCE AND ALL APPLICABLE CODES.</li> <li>8. ALL MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE ZONING ORDINANCE.</li> <li>9. ALL MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE ZONING ORDINANCE.</li> <li>10. ALL MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE ZONING ORDINANCE.</li> <li>11. ALL MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE ZONING ORDINANCE.</li> </ol>	<p>DATE: 11/02/2025          SHEET: 1 OF 1</p> <p>APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.</p> <p>PLANNING SERVICES DEPARTMENT</p> <p><b>FLOOR PLAN</b></p> <p>for</p> <p>LOTS 4, BLOCK 1, CURRIS ADDITION          Corner: Dallas Survey Annex 200          City of Grapevine, Tarrant County, Texas          75137 Zone          Zone P18, Planned Workforce Development          Date of Preparation: November 14, 2025</p>
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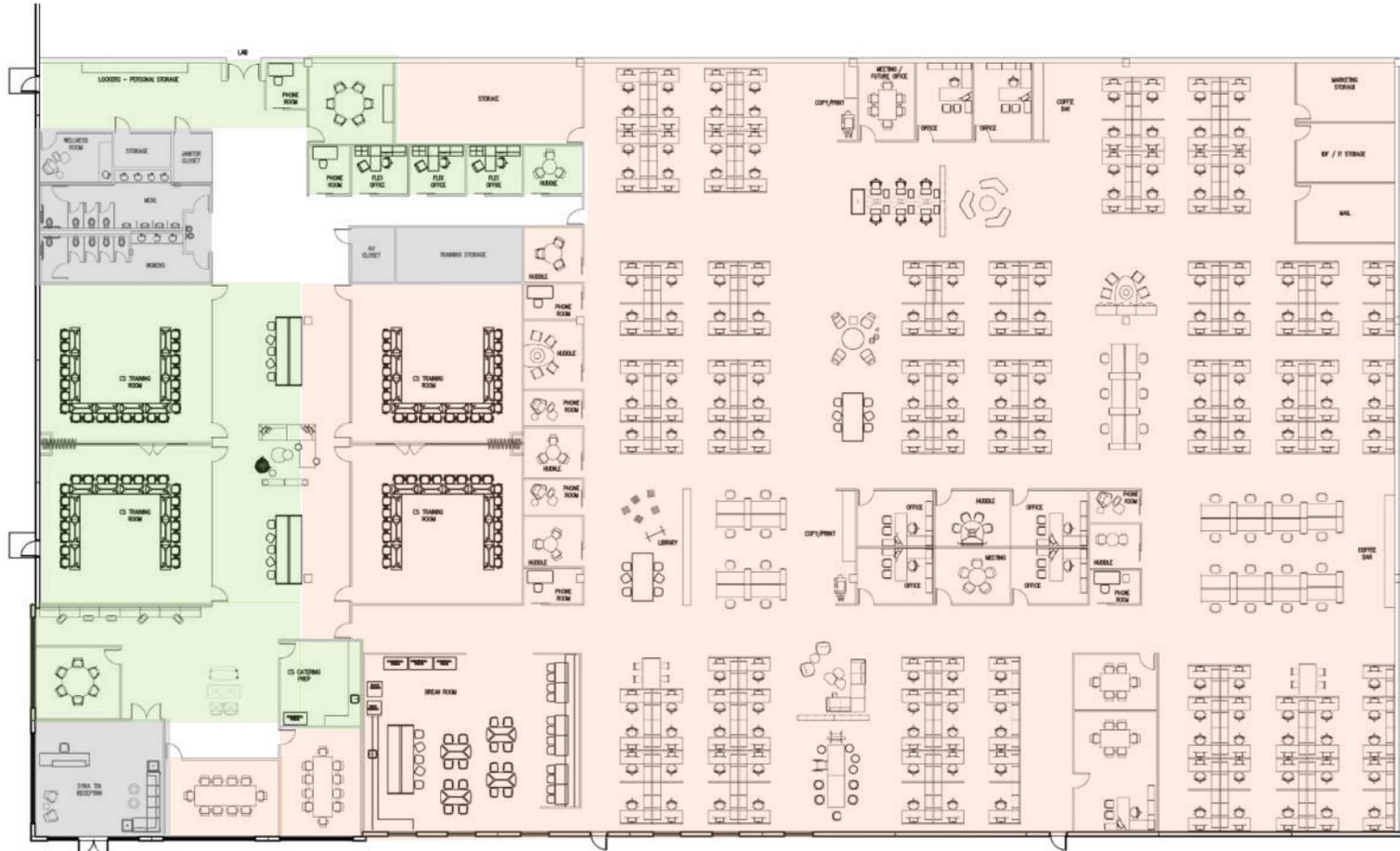




# DynaTen Test Fit

Shared Spaces  
DynaTen  
Comfort Systems

	Desired Program		Test Fit Plan	
	Total Counts	Total Counts	Delta	
<b>DynaTen</b>				
Standard Office	6	6	-	
Large Office	1	1	-	
Flex Office	1	1*	-	
Workstations	144	153	+9	
Flex Workstation	20	36	+16	
Phone Room	6	6	-	
Huddle Room	4	5	+1	
Small Meeting (6 ppl)	2	3	-	
Medium Meeting (10 ppl)	1	2	-	
Large Meeting (14 ppl)	1	2	-	
Reception	1	1**	-	
Large Café	1	1	-	
Coffee Bar	1	2	+1	
Copy / Print	1	2	+1	
Mail Room	1	1	-	
Library	1	1	-	
Open Collaboration	6	7	+1	
Marketing Storage	1	1	-	
Storage	1	1	-	
Wellness	1	1	-	
IT Storage	1	1	-	
IDF Closet	1	1	-	
<b>~32,879 USF</b>				



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**OWNER:** JLL  
CONTACT: BLANCK CURTIS  
TEL: 714-400-3377  
EMAIL: BLANCKCURTIS@JLL.COM

**CONTRACTOR:** CHASE WELLSWORTH  
TEL: 415-351-8877  
EMAIL: CHASEWELLSWORTH@CHASEREA.COM

**DESIGNER:** JLL ASSOCIATES  
CONTACT: COLE R. WEADE  
TEL: 817-267-1422  
EMAIL: CHASEREA@JLL.COM

**ARCHITECT:** GUY ARCHITECTS  
CONTACT: ANDREW YOUNG  
TEL: 314-330-7843  
EMAIL: ANDREW@GUYARCHITECTS.COM

**STRUCTURAL ENGINEER:** JACO WILLY ENGINEERING  
CONTACT: JOE BUSHMAN  
TEL: 415-508-3247  
EMAIL: JOEBUSHMAN@JACOENGINEERING.COM

**PERMITS STATEMENT:**  
CONDITIONAL USE PERMIT CU25-46 IS A REQUEST FOR MODIFICATION TO EXISTING CONDITIONAL USE PERMIT CU25-02 TO ALLOW FOR SITE PLAN AND BUILDING FACADE MODIFICATIONS TO THE PREVIOUSLY APPROVED PROJECT.

**STANDARD NOTES:**

1. REVIEW ORIGINAL MEASUREMENTS SHALL BE CONDUCTED AND CHECKED FROM VIEW IN ACCORDANCE WITH THE ZONING ORDINANCE.
2. MECHANICAL AND ELECTRICAL EQUIPMENT INCLUDING AIR CONDITIONING, HEATING, VENTILATION, AND EXHAUST SHALL BE PROTECTED FROM PUBLIC VIEW AND COMPLIANT WITH ALL APPLICABLE ORDINANCES AND REGULATIONS.
3. ALL MEASUREMENTS SHALL BE TAKEN FROM THE EXTERIOR FACE OF THE CURB OR FINISH GRADE, UNLESS OTHERWISE SPECIFIED.
4. THE MEASUREMENTS SHALL BE TAKEN FROM THE EXTERIOR FACE OF THE CURB OR FINISH GRADE, UNLESS OTHERWISE SPECIFIED.
5. ALL MEASUREMENTS SHALL BE TAKEN FROM THE EXTERIOR FACE OF THE CURB OR FINISH GRADE, UNLESS OTHERWISE SPECIFIED.
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10. ALL MEASUREMENTS SHALL BE TAKEN FROM THE EXTERIOR FACE OF THE CURB OR FINISH GRADE, UNLESS OTHERWISE SPECIFIED.
11. ALL MEASUREMENTS SHALL BE TAKEN FROM THE EXTERIOR FACE OF THE CURB OR FINISH GRADE, UNLESS OTHERWISE SPECIFIED.

DATE: 11/03/22  
SHEET: 1 OF 1

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

PLANNING SERVICES DEPARTMENT

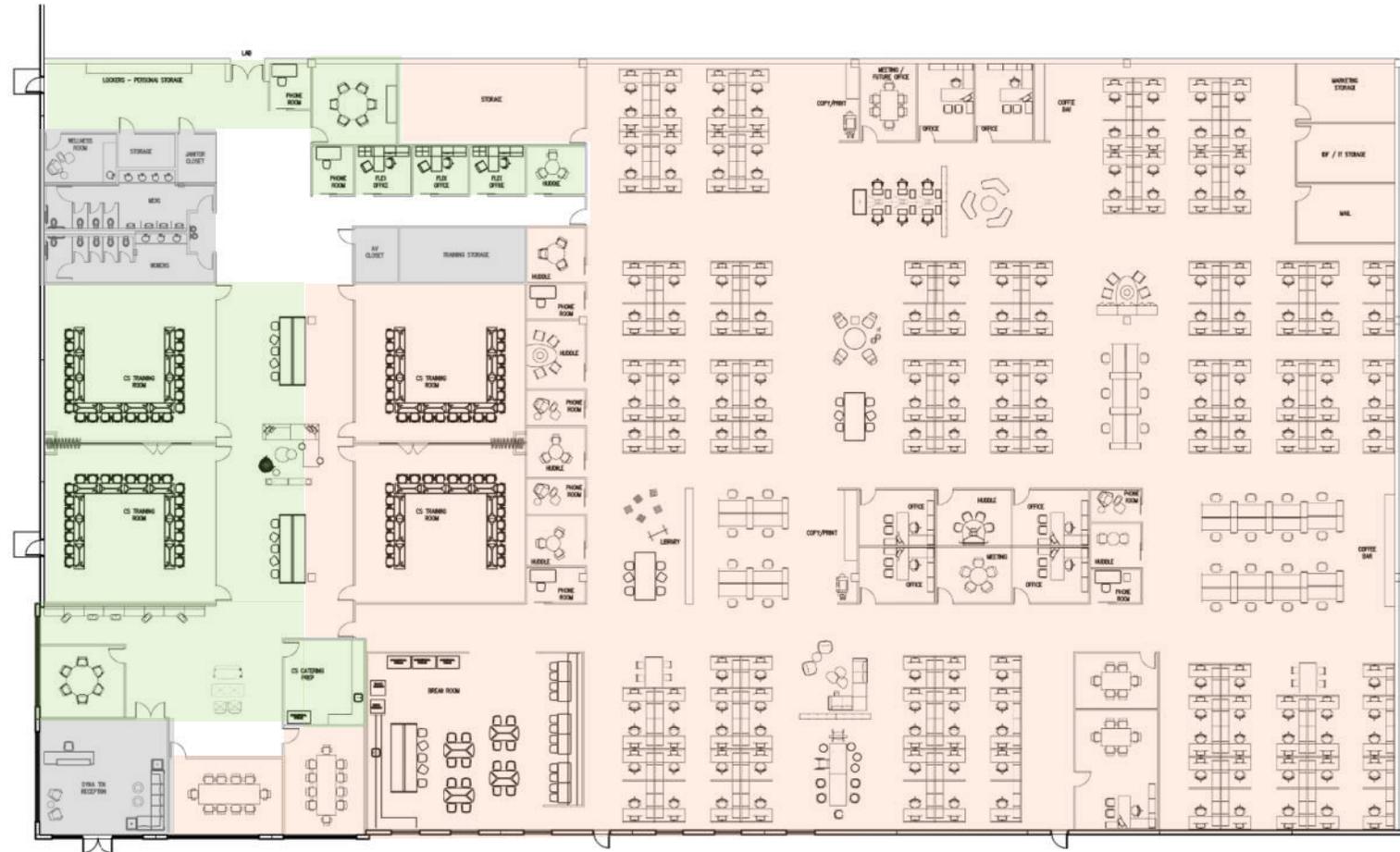
**FLOOR PLAN**

FOR  
LOTS 4, BLOCK 1, CURRIES ADDITION  
City of Greenville, Survey Abstract 354  
30.57 Acres  
Zone RB, Planned Industrial Development  
Date of Preparation: November 14, 2022



# Comfort Systems Test Fit

Desired Program	Test Fit Plan		
	Total Counts	Total Counts	Delta
<b>Comfort Systems</b>			
Classrooms	2	2	-
Lab	1	1	-
Flex Office	2	3	+1
4-6 Person Meeting Room	2	76	-
Phone Room	0	2	+2
Catering Break Room	1	1	-
Catering layout space	1	1	-
IT/AV Closet	1	1	-
Lockers	0	1	+1
Storage	1	1	-
			<b>~8,253 USF</b>



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<p><b>OWNER:</b> PPA TRUST LP CONTACT: BLANCK CLINTON TEL: 744-800-3017 EMAIL: BLANCK@PPAUSGAL.COM</p> <p><b>CONTRACTOR:</b> 2020 BUCKLEY CONTACT: CHASE HILLINGWORTH TEL: 404-225-8811 EMAIL: CHASE.HILLINGWORTH@COMARRAY1000.COM</p> <p><b>OWNER'S ARCHITECT:</b> MARK ASSOCIATES CONTACT: CODY R. WADDE TEL: 877-867-4422 EMAIL: COWAN@MARKA.COM</p> <p><b>ARCHITECT:</b> CONTACT: MICHAEL YOUNG TEL: 314-425-2441 EMAIL: MICHAEL@JLL-ARCHITECTS.COM</p> <p><b>ELECTRICAL ENGINEER:</b> ARCO ELECTRICAL ENGINEERING CONTACT: JAMES W. HARRIS TEL: 301-906-3345 EMAIL: JHARRIS@ARCOELECTRICAL.COM</p>	<p><b>DISBURSE STATEMENT:</b> CONDITIONAL USE PERMIT CUDS-48 IS A REQUEST FOR MODIFICATION TO EXISTING CONDITIONAL USE PERMIT CUDS-42 TO ALLOW FOR SITE PLAN AND BUILDING FACADE MODIFICATIONS TO THE PREVIOUSLY APPROVED PROJECT.</p> <p><b>DISBURSE NOTICE:</b> 1. REVIEW ORIGINAL MEAS SHALL BE LINESHOWN AND SCHEDULED FROM MEN IN ACCORDANCE WITH THE DOWNS 2. OPERATIONS AND ELECTRICAL WORKERS INCLUDING AIR 3. CONDUIT SHALL BE INSTALLED BY DESIGNER INDICATED, AND 4. SCHEDULED TO BE INSTALLED WITH THE EXISTING PROPERTY AND A SCHEDULING SHALL BE SCHEDULED FROM 5. SCHEDULED TO BE INSTALLED WITH THE EXISTING 6. SCHEDULED TO BE INSTALLED WITH THE EXISTING 7. SCHEDULED TO BE INSTALLED WITH THE EXISTING 8. SCHEDULED TO BE INSTALLED WITH THE EXISTING 9. SCHEDULED TO BE INSTALLED WITH THE EXISTING 10. SCHEDULED TO BE INSTALLED WITH THE EXISTING 11. SCHEDULED TO BE INSTALLED WITH THE EXISTING 12. SCHEDULED TO BE INSTALLED WITH THE EXISTING 13. SCHEDULED TO BE INSTALLED WITH THE EXISTING 14. SCHEDULED TO BE INSTALLED WITH THE EXISTING 15. SCHEDULED TO BE INSTALLED WITH THE EXISTING</p>	<p>DATE: 11/13/20 SHEET: 1 OF 1</p> <p>APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.</p> <p>PLANNING SERVICES DEPARTMENT</p> <p><b>FLOOR PLAN</b></p> <p>for LOTS 4, BLOCK 1, CURRIE'S ADDITION Catherine Gordon Survey, Abstract 336 City of Commerce, Torrance, County, Nevada 30,517 Acres Zone PB, Planned Industrial (Development) Date of Preparation: November 14, 2020</p>
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CITY OF GRAPEVINE  
SITE PLAN REVIEW COMMITTEE MEETING MINUTES  
WEDNESDAY, SEPTEMBER 3, 2025 AT 2:00 P.M.

The Site Plan Review Committee of the City of Grapevine, Texas met in Session, on this the 3<sup>rd</sup> day of September 2025, in the Planning and Zoning Conference Room, 200 South Main Street, Second Floor, Grapevine, Texas with the following members present-to-wit:

Larry Oliver	Chair
Erica Marohnic	Member

With Sharron Rogers absent, constituting a quorum and the following City Staff:

Albert Triplett, Jr.	Planner II
Lindsay Flores	Planner I
Ashlee Mosley	Planning Technician

**I. CALL TO ORDER – 2:00 P.M.** – Planning and Zoning Conference Room

**II. CITIZEN COMMENTS**

Any person who is not scheduled on the agenda may address the Committee under Citizen Comments or on any other agenda item by completing a Citizen Appearance Request form with the staff. A member of the public may address the Committee regarding an item on the agenda either before or during the Committee's consideration of the item, upon being recognized by the Chairman or upon the consent of the Committee. In accordance with the Texas Open Meetings Act, the Committee is restricted in discussing or taking action during Citizen Comments.

No one signed up to speak.

**III. NEW BUSINESS**

- A. Site Plan Review Committee to consider a public hearing relative to Conditional Use Request **CU25-38** [Vidorra's Pole Sign] addressed as 700 West Highway 114, and consideration of the same.

Albert presented **CU25-38** and answered questions. The Committee discussed.

Motion was made to **approve** conditional use permit **CU25-38** [Vidorra's Pole Sign] addressed as 700 West Highway 114:

Motion: Erica Marohnic  
Second: Larry Oliver  
Nays: None  
Approved: 2-0

#### **IV. MINUTES**

A. Site Plan Review Committee to consider the minutes of July 2, 2025, regular meeting.

Motion was made to **approve** the **minutes** from July 2, 2025, regular Site Plan Review Committee meeting:

Motion: Larry Oliver  
Second: Erica Marohnic  
Nays: None  
Abstain: None  
Approved: 2-0

#### **ADJOURNMENT**

Oliver made a motion to adjourn the meeting at **2:02 P.M.**

PASSED AND APPROVED BY THE SITE PLAN REVIEW COMMITTEE OF THE CITY OF GRAPEVINE, TEXAS ON THIS 3rd DAY OF DECEMBER 2025.

APPROVED:

\_\_\_\_\_  
LARRY OLIVER  
CHAIRMAN

ATTEST:

\_\_\_\_\_  
ALBERT TRIPLETT  
PLANNER II