



CITY OF GRAPEVINE, TEXAS
BOARD OF ZONING ADJUSTMENT MEETING AGENDA
MONDAY, JULY 7, 2025

GRAPEVINE CITY HALL, SECOND FLOOR
200 SOUTH MAIN STREET
GRAPEVINE, TEXAS 76051

5:45 p.m. Briefing Session – Planning and Zoning Commission Conference Room
6:15 p.m. Public Hearing – City Council Chambers

CALL TO ORDER: 5:45 p.m. – Planning and Zoning Conference Room

1. Roll Call

BRIEFING SESSION

2. Board of Zoning Adjustment to conduct a briefing session to discuss items scheduled to be heard at the July 7, 2025, public hearing.

PUBLIC HEARING 6:15 p.m. – City Council Chambers

3. Call to Order
4. Conduct Oaths of Office for appointed and reappointed Board Members
5. Board to appoint Chairman and Vice Chairman
6. Pledge of Allegiance

CITIZEN COMMENTS

7. Any person who is not scheduled on the agenda may address the Board under Citizen Comments or on any other agenda item by completing a Citizen Appearance Request form with the staff. A member of the public may address the Board regarding an item on the agenda either before or during the Board's consideration of the item, upon being recognized by the Chairman or upon the consent of the Board. In accordance with the Texas Open Meetings Act, the Board is restricted in discussing or taking action during Citizen Comments.

OLD BUSINESS

8. None.

NEW BUSINESS

9. Board of Zoning Adjustment to conduct a public hearing relative to Board of Zoning Adjustment case BZA25-03 submitted by Morgan Friede for property located at 2837 Placid Circle and consideration of the same.
10. Board of Zoning Adjustment to consider the minutes of the May 5, 2025, meeting and take any necessary action.

ADJOURNMENT

In accordance with the Open Meetings Law, Texas Government Code, Chapter 551, I hereby certify that the above agenda was posted on the official bulletin boards at Grapevine City Hall, 200 South Main Street and on the City's website on July 3, 2025, by 5:00 p.m.



ERICA MAROHNIC, AICP
PLANNING SERVICES DIRECTOR

If you plan to attend this public hearing and you have a disability that requires special arrangements at the meeting, please contact the office of Planning Services at (817) 410-3155 at least 24 hours in advance. Reasonable accommodations will be made to assist your needs.

MEMORANDUM**PLANNING SERVICES**

MEMO TO: BOARD OF ZONING ADJUSTMENT

FROM: ERICA MAROHNIC, PLANNING SERVICES DIRECTOR
ALBERT L. TRIPLETT, JR, PLANNER II

SUBJECT: BOARD OF ZONING ADJUSTMENT CASE #**BZA25-03**
2837 PLACID CIRCLE

MEETING DATE: **MONDAY, JULY 7, 2025**

BACKGROUND INFORMATION:

The subject property is developed with a two-story, 3,983 square foot single-family detached residence on a 10,933 square foot (0.25 acre) lot. The lot was developed in 1993 and is platted as Block 4, Lot 40R1, Placid Peninsula Addition. The subject property was zoned "R-1", Single Family Dwelling prior to the 1984 City-wide Rezoning at which time it was rezoned "R-7.5", Single-Family District.

REQUEST:

The applicant intends to remodel the existing 3,983 square foot, residential dwelling and to expand to a total of 4,541 square feet by adding indoor living space. BZA25-03 is a request for a special exception to allow the existing residential dwelling to remain as developed with an encroachment into the required rear yard. The proposed expansion atop the existing attached garage/storage closet, meets the currently required rear yard setback, adjacent to the south property line.

The following special exception is requested:

Subsection 15.G.2, Depth of rear yard of Section 15, "R-7.5", Single-Family District requires that each lot have a rear yard setback of 25 feet. The existing residential structure is approximately 22 feet from the south property line and encroaches approximately 3 feet into the required rear yard setback.

CONDITION:

The encroachment is located on the ground floor within the rear yard, adjacent to the south property line, and consists of a two-car garage and storage closet, which were converted from an attached carport. A residential addition permit was issued based on an inaccurate plot plan; however, the project did not receive final approval. The addition was completed without undergoing a final inspection. The current property owners were not the owners when the addition was applied for and were never made aware of the outstanding issue prior to their purchase of the dwelling. Currently, and as proposed, the site is not compliant with Zoning Ordinance (82-73) relative to the 25 foot rear yard setback requirement adjacent to the south property line.

RECOMMENDATION:

Staff recommends the Board of Zoning Adjustment **approve** a special exception to the Grapevine Comprehensive Zoning Ordinance 82-73, Subsection 15.G.2, *Depth of rear yard* of Section 15, "R-7.5", Single-Family District to allow the existing residential dwelling to remain as developed with an encroachment into the required rear yard setback adjacent the west property line.

/at

BOARD OF ZONING ADJUSTMENT AND PLOT PLAN
APPLICATION AND PLOT PLAN CHECKLIST

Subject Property Information

Current or if unplatted, proposed subdivision name(s), block(s), & lot(s) PLACID - PENINSULA ADDITION, BLOCK 4, 40R1 Gross area of parcel (to nearest tenth of acre) 0.2509
Street frontage & distance to nearest cross street 110.00' , 330.00' Describe the Proposed Use SINGLE FAMILY RESIDENTIAL
Existing Zoning R7.5

Property Owner Information, Authorization and Acknowledgements

All Board of Zoning Adjustment Requests are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

I have read and understand all of the requirements as set forth by the application for zoning change request and acknowledge that all requirements of this application have been met at the time of submittal.

Owner Name MORGAN FRIEDE

Company _____

Address 2837 PLACID CIR.

City GRAPEVINE State TX Zip Code 76051

Phone (210) 771-7680 Email _____

Project Representation (check one):

- I will represent the application myself; OR
- I hereby designate BRASHEAR CONSTRUCTION (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this request. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this request.

JUN 02 2025

BZA 25-03

BOARD OF ZONING ADJUSTMENT AND PLOT PLAN
APPLICATION AND PLOT PLAN CHECKLIST

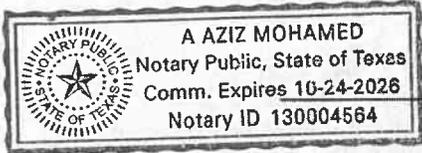
I hereby certify that I am the property owner of the property and further certify that the information provided on this development application is true and correct. I have selected the above submittal type and representation of my own volition and not at the request of the City of Grapevine.

Property Owner's Signature Morgan Fiede Date 5/3/25

STATE OF: Texas
COUNTY OF: Tarrant

BEFORE ME, a Notary Public, on this day personally appeared Morgan Virginia Fiede
(printed property owner's name) the above signed, who, under oath, stated the following: "I hereby certify that I am the property owner for the purposes of this application; that all information submitted herein is true and correct."

SUBSCRIBED AND SWORN TO before me, this the 3rd day of May,
20 25



Aziz Mohamed
NOTARY PUBLIC in and for the State of Texas

Project Representative Information (complete if designated by owner)

Engineer Purchaser Tenant Preparer Other (specify) CONTRACTOR

Name Dylan Schaffer
Company BRASHFAR CONSTRUCTION
Address 3009 104 HILL LANE
City IRVING State TX Zip Code 75063
Phone (573) 808-4564
Email [REDACTED]

Applicant's Signature [Signature] Date 05/29/2025

STATE OF: Texas
COUNTY OF: Tarrant

BEFORE ME, a Notary Public, on this day personally appeared Dylan Schaffer
(printed project representative name) the above signed, who, under oath, stated the following: "I hereby certify that I am the applicant for the purposes of this application; that all information submitted herein is true and correct."

SUBSCRIBED AND SWORN TO before me, this the 29th day of May,
20 25

JUN 02 2025
BZBAS-03



BOARD OF ZONING ADJUSTMENT AND PLOT PLAN APPLICATION AND PLOT PLAN CHECKLIST

Selami

NOTARY PUBLIC in and for the State of Texas

LEGAL DESCRIPTION

Address of subject property 2837 PLACID CIR. GRAPEVINE, TX 76051

Legal description of subject property

<u>40R1</u>	<u>4</u>	<u>PLACID PENINSULA ADDITION</u>
Lot	Block	Subdivision

BOARD OF ADJUSTMENT APPLICATION PROCEDURAL TIMETABLE:

Application Deadline	First Monday of the month.
Days 1-7	Planning and other City staff review.
Day 8	Staff will issue comments and request additional information.
Day 15	Applicant submits revised plans or additional requested information.
Day 16	Notice is published in newspaper and mailed to adjacent property owners.
Day 20	Packets distributed to Board of Adjustment Members, City Council and applicants are informed of the public hearing date/presentation requirements.
Day 30	Board of Adjustment Public Hearing

POTENTIAL OUTCOMES:

Denial	Approval	Continuance
Requires majority vote by members present. Appeal may be filed within 10 days of public hearing with district court. If appeal is not pursued, then there is a one-year waiting period to reapply for the same request on the same property.	Requires ¾ vote for approval.	Further research and/or information is requested by the Board of Adjustment.

*Applicants are strongly encouraged to read and familiarize themselves with Section 68. Board of Adjustment of the Zoning Ordinance.

JUN 18 2025
BZAD-03



Board of Zoning Adjustment
Project Narrative

2837 Placid Circle. Grapevine, Texas 76051

- Brashear Construction, on behalf of Kenny and Morgan Friede are asking for a zoning adjustment for an encroachment of Three feet, Four- and three-quarter inch, to the rear yard building setback for their existing garage. This encroachment was the result of a previous home owner converting an existing carport into an additional attached garage. A building permit application was submitted for this conversion, though it was not approved and the garage construction was completed without a permit. This information, as well as the encroachment of the garage, was not disclosed to the Friede's at the time of purchasing the residence. This information was unknown until it was brought to our attention when submitting for a new building permit for an additional living space above the garage in question.

- i. Section 15, G.2 – Depth of rear yard setback, feet – 25

Asking for a Zoning adjustment for a 3'- 4 ¾" encroachment.

- ii. The encroachment was a result of prior homeowners actions and was not disclosed to the new owners.

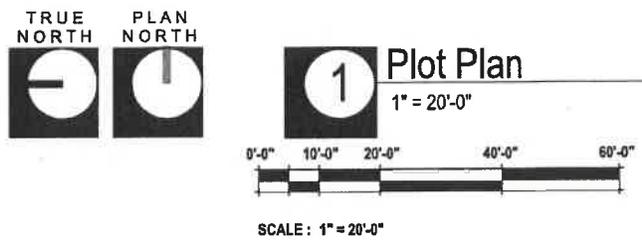
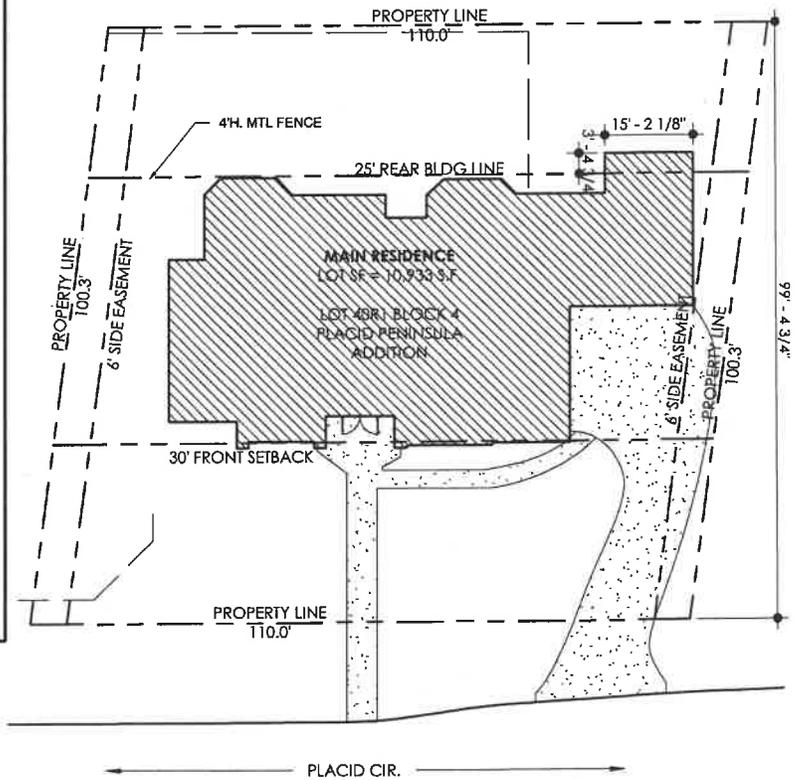
JUN 02 2025
BZA25-03

PLOT PLAN DATA SUMMARY

ITEM:	REQ.	PROVIDED
GENERAL SITE DATA		
ZONING	R7.5	R7.5
LAND USE	SNGL. FAMILY	SNGL. FAMILY
TOTAL LOT AREA (SF)	7,500 S.F. MIN.	10,933 S.F.
1ST FLR. BUILDING FT.PRNT	NO MIN.	3,136 S.F.
TOT. BLDG AREA.	1,200 S.F. MIN.	4,541 S.F.
TOTAL BLDG HT.	35' 2 STORIES	31' A.F.F.
FLOOR AREA RATION?	0.4 (40%)	?
AREA REGULATIONS:		
FRONT YARD	30' (50%) LNDSCL. MIN.	30'
REAR YARD	25' MIN	20'
SIDE YARD	6' MIN.	6'
LOT WIDTH	65' MIN.	110'
LOT DEPTH	10' MIN.	99'-4"
DISTANCE BETWEEN BLDG.	12' MIN.	10'
IMPERVIOUS AREA		
BLDG FTPRINT AREA.	1,200 S.F. MIN.	
AREA OF IMP. FLTWRK.	S.F.	
OTHER IMPEV AREA.	S.F.	
TOTAL OPEN SPACE	40%	
TOTAL IMPERV. AREA.	60%	



VACINITY MAP

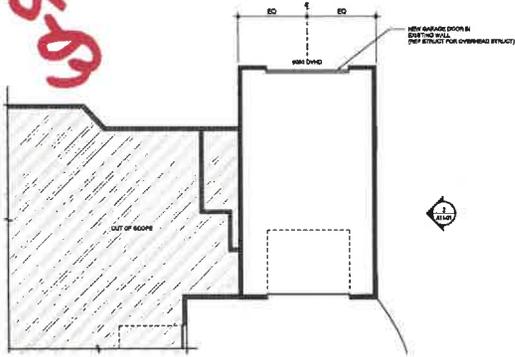


PLOT PLAN
FOR
2837 PLACID CIR.
LOT 40R1 BLOCK 4 PLACID PENINSULA ADDITION
CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS
4,541 S.F.
ZONE: "R-7.5," SINGLE FAMILY RESIDENTIAL DISTRICT
MAY 27, 2025

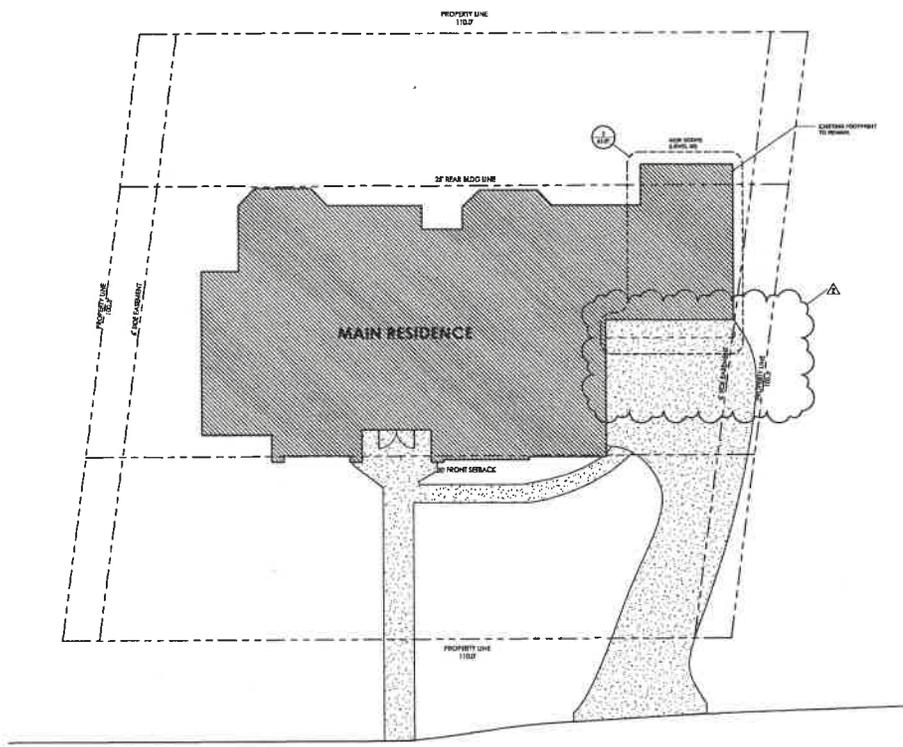
OWNER: KENNY & MORGAN FRIEDE
ADDRESS: 2837 PLACID CIR. GRAPEVINE, TX 76051
CONTRACTOR: BRASHEAR CONSTRUCTION

JUN 02 2025
B7A25-B

JUN 02 2025
 1377A 25-03



2 CONSTRUCTION FLOOR PLAN - LEVEL 01
1/8" = 1'-0"



TRUE NORTH
 PLAN NORTH
1 SITE PLAN
 1/8" = 1'-0"

AREA CALCULATIONS	
EXIST'G FLOOR CONSTRUCTION	3,588 S.F.
NEW ADDITION	800 S.F.
TOTAL TOTAL AREA	4,388 S.F.

ARCHITECTURAL SITE PLAN LEGEND	
	EXISTING CONCRETE SIDEWALK OR PAVING
	EXISTING TO REMAIN
	EXISTING BUILDING FOOTPRINT
	NEW ASPHALT PAVING
	NEWLY SEEDDED OR LANDSCAPED AREA
	PROPERTY LINE
	EASEMENT, BUILDING SETBACK & R.O.M.
	FIRE LANE
	REQUIRED ACCESSIBLE PATH
	NEW PARKING SPACE COUNT
	EXISTING TO REMAIN TREE

Texture Design Studio
 8111 Lyndon B Johnson Fwy #678
 DALLAS, TX 75221
 469-544-2545 (TEL)
 CONTACT: Justin A. Drobek, AIA
 Justri@texture-studio.com

Project
Friede Addition
 2837 Placid Cir.
 Grapevine, TX 76051

Consultants
 ARCHITECT
 Justin A. Drobek, AIA
 2807 Franklin St., Grapevine, TX 76049
 JUSTINDROBEK.COM

ENGINEER
 JEREMY SMITH
 1000 W. CAMPBELL ST., SUITE 100
 FORT WORTH, TX 76102
 JSMITH@JSMITHENGINEERING.COM



ISSUE:		
No.	Description	Date
1	ISSUE FOR PERMIT	06/23/2024
2	REVISED - ADDRESS	06/23/2024

SHEET NO. 20/24/342
A1-01
 SITE PLAN & LEVEL 01 PLAN



ARCHITECT

Justin Drabek, AIA
 8111 Lyndon B Johnson Frwy #678
 DALLAS TX 75251
 CONTACT: Justin A. Drabek, AIA
 469.544.3545 (TEL)
 Justin@texture-studio.com

STRUCTURAL

JEREMY SMITH
 CONTACT: JEREMY SMITH
 (972)948-81192 (TEL)
 JALANSMITH31@YAHOO.COM

MEP

CONTRACTOR

Brashear Construction & Design
 Josh Brashear
 214-404-9738
 josh@brashearconstructiondesign.com

OWNER

Kenny & Morgan Friede
 2837 Placid Cir. Grapevine, TX 76051
 CONTACT: Morgan Friede
 210-771-7680 (TEL)
 morganfriede@gmail.com

Friede Addition

2837 Placid Cir.
 Grapevine, TX 76051

DRAWINGS COMPLETED FOR Brashear Construction
 ISSUE FOR PERMIT | 05/27/2025



05/27/2025
 972-745-0000

CITY
 CITY OF GRAPEVINE
 DEPARTMENT: BUILDING INSPECTION OFFICES
 200 S Main St, Grapevine, TX 76051
 (817) 410-3165 (TEL)

Friede Addition

2837 Placid Cir.
Grapevine, TX 76051

05/27/2025
PROJECT #2505

ISSUE FOR PERMIT

OWNER Kenny & Berger Foods 2837 Placid Cir., Grapevine, TX 76051 254-753-8868 (TEL) CONTACT: Kenny Foods kenny@kennyfoods.com
PROJECT MANAGER Boscher Construction & Design 214-464-8718 (TEL) CONTACT: Josh Boscher josh@boscherconstruction.com
ARCHITECT Justin Drabek, AIA 8111 Lyndon B. Johnson Freeway #102 DALLAS TX 75225 972-344-1715 (TEL) CONTACT: Justin A. Drabek, AIA Justin@texture-studio.com
STRUCTURAL JEREMY SMITH 872546-1131 (TEL) CONTACT: JEREMY SMITH JALSMITH78@GMAIL.COM
CONTRACTOR Boscher Construction & Design 214-464-8718 (TEL) CONTACT: Josh Boscher josh@boscherconstruction.com
CITY OF DALLAS CITY OF DALLAS DEPARTMENT: BUILDING INSPECTION OFFICES 300 MAIN ST., SUITE 1000 DALLAS, TEXAS 75201 (214) 671-4100



Texture Design Studio
8111 Lyndon B. Johnson Freeway #475
DALLAS TX 75225
469-244-2545 (TEL)
CONTACT: Justin A. Drabek, AIA
Justin@texture-studio.com

Project
Friede Addition
2837 Placid Cir.
Grapevine, TX 76051

Consultants
Kenny & Berger Foods
2837 Placid Cir., Grapevine, TX 76051
Project Manager

AREA CALCULATIONS	GENERAL NOTES	PROJECT DATA	SHEET INDEX																																																																																																																																																																																																																																																																																																																		
<p>FIRST FLOOR CONTINUED</p> <p>GRAND TOTAL AREA = 4,841 SF</p>	<ol style="list-style-type: none"> 1. REFER TO COMP. SET OF ISSUED CONTRACT DOCUMENTS FOR APPLICABLE NOTES, ABBREVIATIONS AND SYMBOLS. 2. DO NOT SCALE THE DRAWING. IF DIMENSIONS ARE IN QUESTION, OBTAIN DIMENSIONS FROM THE RESPECTIVE SECTION CORRESPONDING. 3. DIMENSIONS SHOWN ON THE FLOOR PLAN FOR NEW CONSTRUCTION ARE TO THE FACE OF INSULATION, INSULATION WALL, TO CENTER LINE OF COLUMN AND TO FACE OF CONCRETE OR MASONRY PARTS UNLESS OTHERWISE INDICATED. DIMENSIONS IN BRACKETS APPEAR AS MOVE PLUS/FACE OF EXISTING WALLS TO THE FACE OF NEW WALLS UNLESS OTHERWISE INDICATED. 4. REFER TO MEASURE AND COMPARE EVALUATIONS FOR CONCRETE PROVIDED EQUIPMENT AND FINISHINGS. COORDINATE WITH THE CONCRETE DELIVERY AND INSTALLATION OF GYPSUM BOARD. MINIMUM REQUIRED COATING AND ACCESSIBLE ROUTES TO THE WORK AREA SHALL BE COORDINATED WITH THE SUPPLIER. 5. REFER FLOOR ELEVATION TO TOP OF CONCRETE SLAB UNLESS OTHERWISE NOTED. 6. GO TO A SIDE BY ALL CURRENT BUILDING CODES THROUGHOUT DURATION OF THE PROJECT. 7. WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASUREMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. WHERE A NEW PARTITION IS SHOWN AS A CONTINUATION OF A THROUGH PARTITION OF COLUMN AND NOT, THE FACE OF THE GYPSUM BOARD SHALL BE OFFSET AS REGARDS TO PROVIDE FACE ALIGNMENT OF PARTITION AND NOT ON BOTH SIDES. 8. LEVEL TO CURBS TO THAT THEY DO NOT EXCEED A 1/8" VARIANCE AT A 10'-0" PACE. 9. FINISH LOCATED ABOVE GRADE AND INSIDE THE BUILDING SHALL BE CONSIDERED FINISH SPACES WITH THE EXCEPTION OF FINISH IN STAIRWAY, EQUIPMENT ROOMS AND PAPER HOUSE. COORDINATE WITH OTHER TRADES TO PROVIDE TURNING FOR FINISH PANELS IN FINISH AREAS. 10. ALL EXTERIOR STEEL MEMBERS, COLUMN WALLS AND BEAMS SHALL BE GALVANIZED AND PAINTED UNLESS OTHERWISE NOTED. 11. PARTITION TYPES AND FIRE RESISTIVE RATINGS INDICATED ON A WALL ARE TO BE CONTINUOUS FOR THE LENGTH AND WIDTH OF A WALL SECTION. 12. APPROVE FLOOR OUTLET COVERS WITH ARCHITECT AND BUILDING MANAGER PRIOR TO CONSTRUCTION. 13. OPENINGS IN EXISTING WALL, FLOOR, CEILING AND ROOF ASSEMBLIES SHALL BE SEALED WITH A FIRE RESISTANT, GYPSUM BOARD OR PROJECTED WITH A FIRE RATED DOOR. 14. WHERE MATERIALS ARE APPLIED TO OR ARE IN DIRECT CONTACT WITH WORK INSTALLED BY ANOTHER CONTRACTOR, COORDINATE WITH THE OTHER WORKER IN ACCEPTANCE OF THE SUBSTRATE AS SUITABLE FOR THE APPLICATION THERE-ON. 15. SOLARS OR SIMILAR METALS TO PREVENT GALVANIC CORROSION. 16. SEALANTS EXPOSED TO VIEW SHALL BE CUSTOM COLOR AS SELECTED BY THE ARCHITECT. 17. COORDINATE LOCATION OF SEALANT AND COMPATIBILITY OF SEALANTS WITH ADJACENT WORK, INCLUDING MEMBRANES AND OTHER CONTIGUOUS SEALANTS. 18. CAUSE AT JUNCTURE OF INTERIOR FACES OF DOOR FRAMES, VIEW WINDOW FRAMES, EXTERIOR WINDOW FRAMES, AND CABINET WORK WITH ADJACENT MATERIALS, VARNISHES, FINISHES OF CONSTRUCTION, AND GLAZED CABINET PANELS, AND ROYS RECESSED IN FIRE RATED WALL, FLOOR, AND CEILING ASSEMBLIES. 	<p>CODES/LAWS: CITY OF DALLAS 2021 INTERNATIONAL RESIDENTIAL CODE (IRC) AND AMENDMENTS 2020 NATIONAL ELECTRICAL CODE (NEC) AND AMENDMENTS 2021 INTERNATIONAL MECHANICAL CODE AND AMENDMENTS 2021 INTERNATIONAL PLUMBING CODE AND AMENDMENTS 2021 INTERNATIONAL FIRE CODE AND AMENDMENTS</p> <p>OWNER: P. J. JAL RESIDENTIAL - SINGLE FAMILY</p> <p>ADDRESS: FRONT YARD 30 SETBACK BACK YARD 5 SETBACK 25 SETBACK</p> <p>PERMIT: 1. DWELLING UNIT - NO MAXIMUM</p> <p>HEIGHT: MAX. 25'-0"</p> <p>AREA & FOOT COVERAGE: INDICATING</p> <p>CONSTRUCTION TYPE: WALLS - MASONRY; CONSTRUCTION ROOF - ASPHALT SHINGLES, STANDING SEAM ROOF</p> <p>NOTE: THIS PROJECT WAS DESIGNED AS A BUILDER SET. A "BUILDER SET" IS A SET OF PLANS IS INTENDED TO CONVEY DESIGN INTENT AND ALLOW FOR CITY PERMITTING PROCESS, BUT IS NOT INTENDED TO BE A COMPLETE BUILDING SET. CLIENTS AND OWNER SET OF CONSTRUCTION DRAWINGS. A "BUILDER SET" ASSUMES THAT EXISTING DETAILING MATERIAL SELECTIONS, STRUCTURE, AND FINISHES WILL BE LEFT UP TO THE BUILDER'S DISCRETION AND DECISION AFTER THE SET HAS PASSED THROUGH THE PERMIT PROCESS. THE FOLLOWING DRAWINGS PRESENTED IN THE CONSTRUCTION DOCUMENTS ARE NOT UNDER THE CONSTRUCTION DOCUMENT PACKAGE WITHIN THIS PROJECT.</p>	<table border="1"> <thead> <tr> <th>SHEET NUMBER</th> <th>SHEET NAME</th> <th>Discipline</th> </tr> </thead> <tbody> <tr> <td>00-GENERAL</td> <td>COVER SHEET</td> <td>GENERAL</td> </tr> <tr> <td>01-01</td> <td>ROOF OF DRAWINGS</td> <td>GENERAL</td> </tr> <tr> <td>02-02</td> <td>ARCHITECTURAL ABREVIATIONS, SYMBOLS & DETAILS</td> <td>GENERAL</td> </tr> <tr> <td>03-03</td> <td>PLAN</td> <td>GENERAL</td> </tr> <tr> <td>04-04</td> <td>SECTION</td> <td>GENERAL</td> </tr> <tr> <td>05-05</td> <td>SECTION</td> <td>GENERAL</td> </tr> <tr> <td>06-06</td> <td>SECTION</td> <td>GENERAL</td> </tr> <tr> <td>07-07</td> <td>SECTION</td> <td>GENERAL</td> </tr> <tr> <td>08-08</td> <td>SECTION</td> <td>GENERAL</td> </tr> <tr> <td>09-09</td> <td>SECTION</td> <td>GENERAL</td> </tr> <tr> <td>10-10</td> <td>SECTION</td> <td>GENERAL</td> </tr> <tr> <td>11-11</td> 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DETAILS	GENERAL	03-03	PLAN	GENERAL	04-04	SECTION	GENERAL	05-05	SECTION	GENERAL	06-06	SECTION	GENERAL	07-07	SECTION	GENERAL	08-08	SECTION	GENERAL	09-09	SECTION	GENERAL	10-10	SECTION	GENERAL	11-11	SECTION	GENERAL	12-12	SECTION	GENERAL	13-13	SECTION	GENERAL	14-14	SECTION	GENERAL	15-15	SECTION	GENERAL	16-16	SECTION	GENERAL	17-17	SECTION	GENERAL	18-18	SECTION	GENERAL	19-19	SECTION	GENERAL	20-20	SECTION	GENERAL	21-21	SECTION	GENERAL	22-22	SECTION	GENERAL	23-23	SECTION	GENERAL	24-24	SECTION	GENERAL	25-25	SECTION	GENERAL	26-26	SECTION	GENERAL	27-27	SECTION	GENERAL	28-28	SECTION	GENERAL	29-29	SECTION	GENERAL	30-30	SECTION	GENERAL	31-31	SECTION	GENERAL	32-32	SECTION	GENERAL	33-33	SECTION	GENERAL	34-34	SECTION	GENERAL	35-35	SECTION	GENERAL	36-36	SECTION	GENERAL	37-37	SECTION	GENERAL	38-38	SECTION	GENERAL	39-39	SECTION	GENERAL	40-40	SECTION	GENERAL	41-41	SECTION	GENERAL	42-42	SECTION	GENERAL	43-43	SECTION	GENERAL	44-44	SECTION	GENERAL	45-45	SECTION	GENERAL	46-46	SECTION	GENERAL	47-47	SECTION	GENERAL	48-48	SECTION	GENERAL	49-49	SECTION	GENERAL	50-50	SECTION	GENERAL	51-51	SECTION	GENERAL	52-52	SECTION	GENERAL	53-53	SECTION	GENERAL	54-54	SECTION	GENERAL	55-55	SECTION	GENERAL	56-56	SECTION	GENERAL	57-57	SECTION	GENERAL	58-58	SECTION	GENERAL	59-59	SECTION	GENERAL	60-60	SECTION	GENERAL	61-61	SECTION	GENERAL	62-62	SECTION	GENERAL	63-63	SECTION	GENERAL	64-64	SECTION	GENERAL	65-65	SECTION	GENERAL	66-66	SECTION	GENERAL	67-67	SECTION	GENERAL	68-68	SECTION	GENERAL	69-69	SECTION	GENERAL	70-70	SECTION	GENERAL	71-71	SECTION	GENERAL	72-72	SECTION	GENERAL	73-73	SECTION	GENERAL	74-74	SECTION	GENERAL	75-75	SECTION	GENERAL	76-76	SECTION	GENERAL	77-77	SECTION	GENERAL	78-78	SECTION	GENERAL	79-79	SECTION	GENERAL	80-80	SECTION	GENERAL	81-81	SECTION	GENERAL	82-82	SECTION	GENERAL	83-83	SECTION	GENERAL	84-84	SECTION	GENERAL	85-85	SECTION	GENERAL	86-86	SECTION	GENERAL	87-87	SECTION	GENERAL	88-88	SECTION	GENERAL	89-89	SECTION	GENERAL	90-90	SECTION	GENERAL	91-91	SECTION	GENERAL	92-92	SECTION	GENERAL	93-93	SECTION	GENERAL	94-94	SECTION	GENERAL	95-95	SECTION	GENERAL	96-96	SECTION	GENERAL	97-97	SECTION	GENERAL	98-98	SECTION	GENERAL	99-99	SECTION	GENERAL	100-100	SECTION	GENERAL
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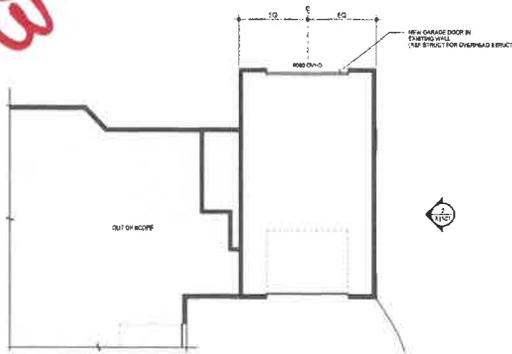
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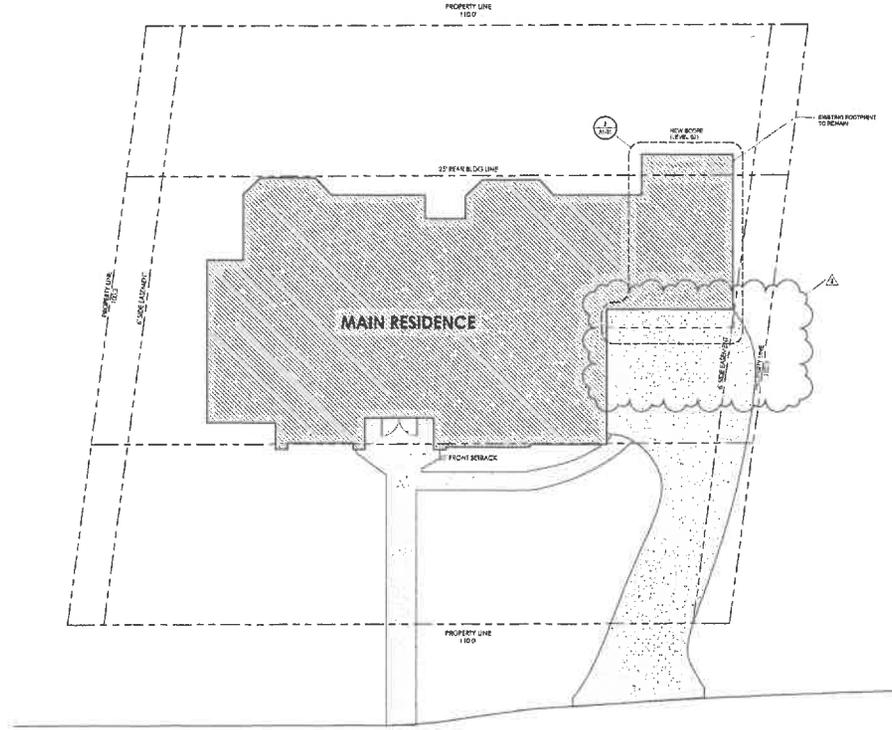
ISSUE:
Rev 1 Date: 05/27/2025
Rev 2 Date: 05/27/2025

FILE NUMBER
G0-01
SERIES OF DRAWINGS

REV 05-03
2025-06-02
JUN 02 2025



2 CONSTRUCTION FLOOR PLAN - LEVEL 01
 3/16" = 1'-0"



1 SITE PLAN
 1/8" = 1'-0"

AREA CALCULATIONS

FIRST FLOOR CONCRETE	3,308 SF
SEAL COATING	10,824 SF
GRAND TOTAL AREA	14,132 SF



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 Justin@texture-studio.com

Project
Friede Addition
 2837 Placid Cir.
 Grapevine, TX 76051

ARCHITECTURAL SITE PLAN LEGEND

- EXISTING CONCRETE SIDEWALK OR PAVING
- EXISTING FC WALKWAY
- EXISTING BUILDING FOOTPRINT
- NEW ASPHALT PAVING
- NEWLY SOWNED OR LANDSCAPED AREA
- PROPERTY LINE
- EXISTING BUILDING SETBACK & F.C.W.
- FIRE LANE
- REQUIRED ACCESSIBLE PATH
- NEW PARKING SPACE COUNT
- EXISTING TO REMAIN TREE

Consultants

Owner
 Cathy & Morgan Friede
 2837 Placid Cir. Grapevine, TX 76051
PROJECT MANAGER
 JAMES
ARCHITECT
 JEREMY SMITH
DATE
 05/27/2025



ISSUE:

NO.	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	05/27/2025
2	REV. 01 - APPROVAL	06/19/2025

A1-01
 SITE PLAN & LEVEL 01 PLAN

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 Justin@texture-studio.com

Project
Friede Addition
 2837 Ploock Cir.
 Grapevine, TX 76051

Consultants
 Owner
 Kern J. Morgan Field
 2827 Ploock Cir. Grapevine, TX 76051
 PROJECT MANAGER

Architect
JEREM SWIFT



DATE
 05/27/2025

ISSUE:
 1. REVISION FOR PERMIT
 2. REVISED APPROVAL

A2-01
 DEMO CONST. PLAN & ROOF PLAN

FLOOR PLAN GENERAL NOTES

1. FLOOR FINISHES ARE TO BE 3/4" TREATED WOOD FLOOR ON ALL WALLS AND G.C.
2. ALL WALLS TO GO ON PROJECT TO BE 5/8" S.D.
3. DIMENSIONS SHOWN ON THE FLOOR PLANS FOR NEW CONSTRUCTION ARE TO FACE UNLESS NOTED OTHERWISE. WALLS TO BE CONCRETE ON EXTERIOR WALLS UNLESS OTHERWISE NOTED. DIMENSIONS FOR EXISTING WALLS TO FACE UNLESS NOTED OTHERWISE. DIMENSIONS FOR NEW WALLS TO FACE UNLESS NOTED OTHERWISE.
4. DOORS TO BE DIMENSIONALLY LOCATED. SHALL BE COVERED BY THE WALL OR A 1/2" MIN. TRIM PARTS COVER.
5. NOTED.
6. PROVIDE BLOCKING AS REQUIRED AT ALL AREAS NOTED, INCLUDING NOTED WALLS. WALLS IDENTIFIED TO BE TYPICAL BROWNS AND WALLS UNLIMITED CABINETS.
7. MATERIALS IDENTIFIED AS BROWN WOOD SHALL BE FOR FINISH. IDENTIFY TO A 1/2" MIN. TRIM OR 1/2" MIN. TRIM FOR FINISH AND CEILING IDENTIFIED.
8. NOTED.
9. ALL AREAS TO RECEIVE APPROX. 5% FALLOUT. (RESPECTION & NET AREA) TO BE TILE MATCH ADJACENT FLOOR.

FLOOR PLAN LEGEND

ROOM TAG ROOM NAME FLOOR FINISH

- NEW WALL PARTITION (5/8" S.D.) STUD 3/4" 3/4" W.D. G.
- EXISTING WALL TO REMAIN (5/8" S.D.) STUD 3/4" 3/4" W.D. G.
- NEW WALL PARTITION FINISH (5/8" S.D.) STUD 3/4" 3/4" W.D. G.
- INTERIOR ELEVATION (5/8" S.D.)
- FIELD VENT
- WINDOW TAG REF. ASSOCIATED SCHEMATIC
- DOOR TAG REF. ASSOCIATED DOOR SCHEMATIC
- PARTITION TAG REF. ASSOCIATED FLOOR FINISH
- ENLARGED ROOM TAG
- FINISH TO BE MAINTAINED BY THE USER. ADDITIONAL WORK IN THIS AREA
- INDICATES FINISH FOR CEILING (5/8" S.D.) TO A 1/2" MIN. TRIM OR 1/2" MIN. TRIM FOR FINISH AND CEILING IDENTIFIED.

POWER GENERAL NOTES

1. DO NOT PLACE OUTLETS IN ALL 90 DEGREE CORNERS OR SPACES FOR CHANNEL MOUNTING. CHECK DIMENSIONS FOR ALL SWITCHES.
2. ALL DATA SHALL INDICATE TO THE G.C. (5/8" S.D.) 5/8" S.D.
3. CHECK ALL ACCESS POINTS SHALL BE MAINTAINED BY THE USER. (5/8" S.D.)
4. COORDINATE ALL EQUIPMENT REQUIREMENTS WITH OWNER.

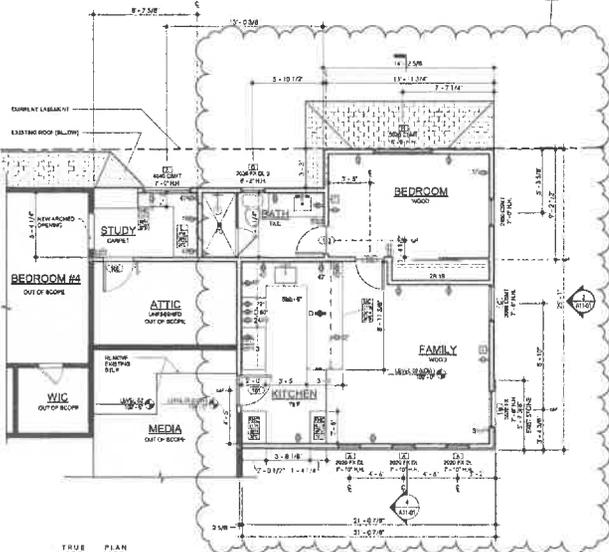
POWER PLAN LEGEND

EXT. 0 - EXTERIOR GRADE OF DEDICATED OUTLET POWER OUTLET (BY INDICATES ROOM #) OUTLET BY APPL. NO.

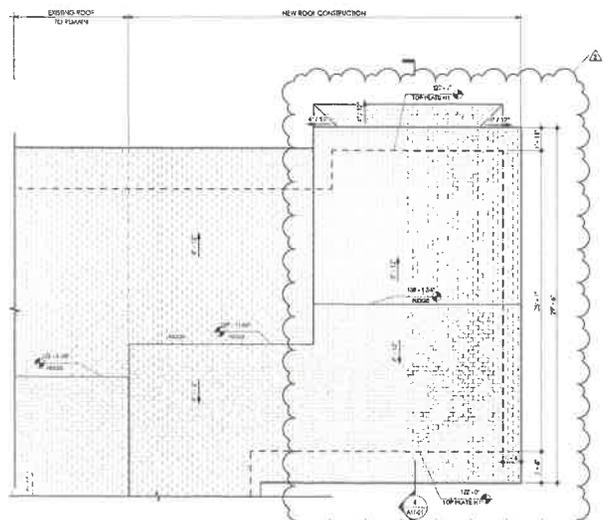
- 0 - 0V0 OUTLET
- 200 - 200V GROUND POWER OUTLET
- 1 - FLOOR POWER OUTLET
- 2 - TELEPHONE JACK OUTLET
- 3 - ELECTRICAL SWITCH (M.T. AT 48 AFF. 0V0)
- 4 - 3-WAY SWITCH OUTLET
- 5 - 4-WAY SWITCH OUTLET
- 6 - 5-WAY SWITCH (M.T. UNL. ALL VOLT. 0) POWER OUTLET = 120V DATA OUTLET
- 7 - CARBON MONOXIDE ALARM - DIRECTLY WIRED INTO ELEC. SYSTEM
- 8 - IONIZATION SMOKE ALARM - DIRECTLY WIRED INTO ELEC. SYSTEM

FLOOR PLAN NOTES BY NUMBER

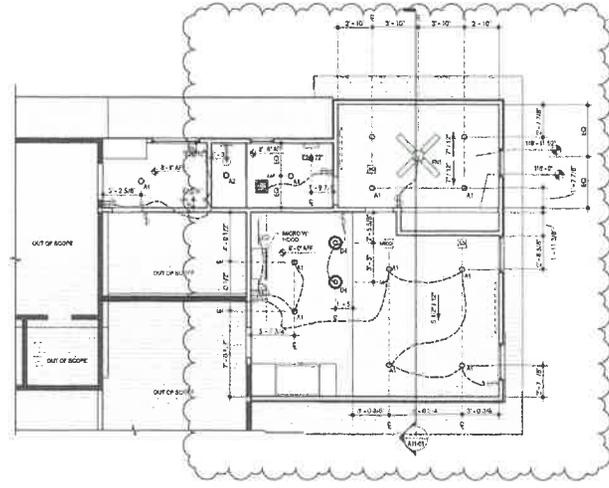
- 1 - [Symbol] Indicates Sheet Keynote on Plan
- 2 - [Symbol] INDICATE EXISTING FLOOR FINISH (5/8" S.D.) 5/8" S.D. FLOOR FINISH
- 3 - [Symbol] INDICATE EXISTING FLOOR FINISH (5/8" S.D.) 5/8" S.D. FLOOR FINISH
- 4 - [Symbol] INDICATE EXISTING FLOOR FINISH (5/8" S.D.) 5/8" S.D. FLOOR FINISH
- 5 - [Symbol] INDICATE EXISTING FLOOR FINISH (5/8" S.D.) 5/8" S.D. FLOOR FINISH



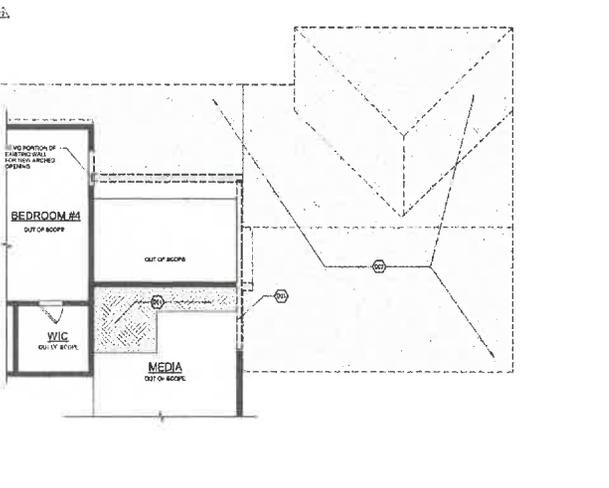
2 CONSTRUCTION FLOOR PLAN - LEVEL 02
 1/4" = 1'-0"



4 ROOF PLAN - NEW ADDITION
 1/4" = 1'-0"



3 REFLECTED CEILING PLAN - LEVEL 02-Low
 1/4" = 1'-0"



1 DEMOLITION FLOOR PLAN - LEVEL 02 - Low
 1/4" = 1'-0"

ROOF PLAN GENERAL NOTES

1. REFER TO GENERAL CONTRACTOR FOR MECHANICAL, PLUMBING, AND ELECTRICAL FOR LOCATIONS OF RIDING CURBS, VENTS, DUCTS, FANS, AND OTHER ITEMS ON THE ROOF SURFACE.
2. A NEW ASPHALT SHINGLES TO MATCH EXISTING ASPHALT SHINGLES IN SEE DIRECTION AND PATTERN.
3. ALL ROOF COVERINGS TO BE 1/8" FROM EDGE OF GUTTER WALL 1/8" D.
4. ALL ROOF FLASHINGS TO BE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
5. SET THE 2" ELEVATION ON ALL SLOPES FOR EXISTING FINISH MATERIAL LEGEND.

ROOF PLAN LEGEND

- 1 - [Symbol] SLOPE FOR NEW ROOF FINISH HOW TO DRAIN UNLESS NOTED OTHERWISE
- 2 - [Symbol] TOP OF STAIR OR TOP PLATE ELEVATION (OUTSIDE OF TOP OF ROOF ELEVATION)

ROOF PLAN NOTES BY NUMBER

[Empty space for notes]

RCP GENERAL NOTES

1. ALL CEILING TO BE FINISHED WITH G.C.
2. SPECIFIC DIMENSIONS SHOWN IN SPECIFIC ROOMS DO TO SELECT & INSTALL ALL OTHER SHALL BE YOURS.
3. VENT TO ROOF TRANSDUCERS TO BE INSTALLED INSIDE ADJACENT CABINETS TO SPECIFIC LIGHT FIXTURES.
4. ALIGN ALL CEILING BEAMS AND CHIMNEY FROM ROOM TO BE CEILING WHEN POSSIBLE. THE TO BE CEILING BUT NOT UNDER TOO LIGHT FIXTURES, SMOKE DETECTORS, DIFFUSERS, CARBON MONOXIDE DETECTORS.
5. ALL LIGHTS NOT IDENTIFIED SHOULD BE ORIGINATED TO SINGLE SWITCH IN ROOM.
6. RELOCATE BURNER (ORANGE) FROM ROOM TO BE CEILING WHEN POSSIBLE. RELOCATE TO BE CEILING WHEN POSSIBLE.
7. ALL CEILING SHALL BE 5/8" OR 1/2" W.D. G. TO BE MAINTAINED BY THE USER.
8. ALL LIGHTS TO BE SELECTED & FINISHED BY GC.

RCP LEGEND

- [Symbol] SUPPLY AIR GRILLE REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- [Symbol] RETURN AIR GRILLE REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- [Symbol] EXHAUST AIR GRILLE REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- [Symbol] SUPPLY AIR GRILLE REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- [Symbol] CONTROL POINT
- [Symbol] CEILING DIMENSION SECTION TAG
- [Symbol] CEILING HEIGHT DESIGNATION PER AREA
- [Symbol] GYP-SM BOARD CEILING
- [Symbol] UNPAINTED GYP-SM
- [Symbol] SMOKE DETECTOR - HARD WIRED INTO ELEC. SYSTEM
- [Symbol] CARBON MONOXIDE - HARD WIRED INTO ELEC. SYSTEM
- [Symbol] RECESSED CAN LIGHT - GC SPECIFIED
- [Symbol] CEILING FAN WITH INTEGRAL KIT

LIGHT FIXTURE SCHEDULE

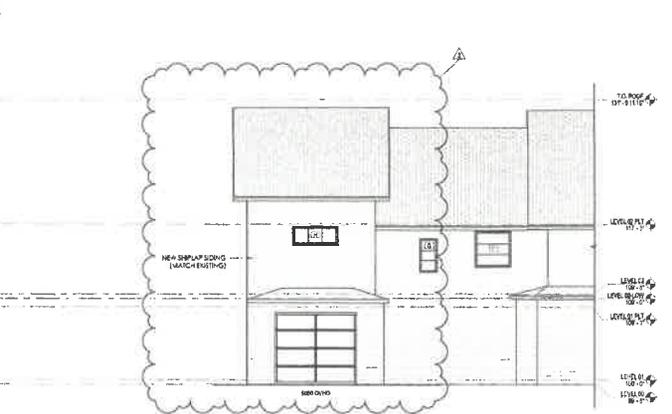
Type	Mark	Comments
M	1	RECESSED CAN LIGHT - GC SPECIFIED
M	2	RECESSED CAN LIGHT - GC SPECIFIED
M	3	RECESSED CAN LIGHT - GC SPECIFIED
M	4	RECESSED CAN LIGHT - GC SPECIFIED
M	5	RECESSED CAN LIGHT - GC SPECIFIED
M	6	RECESSED CAN LIGHT - GC SPECIFIED
M	7	RECESSED CAN LIGHT - GC SPECIFIED
M	8	RECESSED CAN LIGHT - GC SPECIFIED
M	9	RECESSED CAN LIGHT - GC SPECIFIED
M	10	RECESSED CAN LIGHT - GC SPECIFIED

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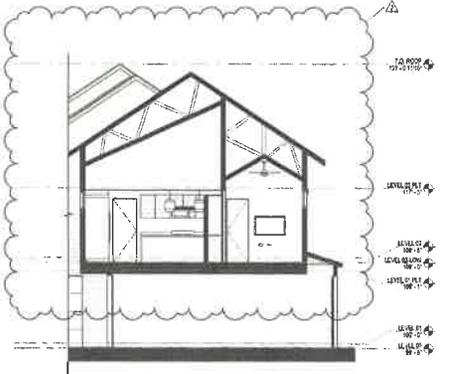
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WINDOW SCHEDULE						
WINDOW TYPE	COUNT	WIDTH	HEIGHT	GLASS HEIGHT	DESCRIPTION	COMMENTS
A	2	2'-0"	2'-0"	19'-0"	FIXED	
B	1	2'-0"	2'-0"	19'-0"	FIXED	
C	1	2'-0"	6'-0"	17'-0"	OPTIONAL - CASHEM	
D	1	2'-0"	6'-0"	17'-0"	OPTIONAL - CASHEM	
E	1	4'-0"	2'-0"	17'-0"	OPTIONAL - CASHEM	
F	1	2'-0"	2'-0"	17'-0"	OPTIONAL - CASHEM	
G	1	2'-0"	2'-0"	17'-0"	OPTIONAL - CASHEM	
H	1	2'-0"	2'-0"	17'-0"	OPTIONAL - CASHEM	

DOOR SCHEDULE						
DOOR NO.	ROOM NAME	WIDTH	HEIGHT	SWING	DESCRIPTION	REMARKS
100	FRONT PORCH	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
101	REAR PORCH	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
102	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
103	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
104	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
105	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
106	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
107	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
108	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
109	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
110	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
111	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
112	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
113	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
114	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
115	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
116	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
117	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
118	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
119	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
120	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
121	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
122	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
123	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
124	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
125	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
126	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
127	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
128	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
129	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
130	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
131	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
132	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
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150	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
151	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
152	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
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185	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
186	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
187	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
188	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
189	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
190	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
191	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
192	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
193	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
194	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
195	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
196	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
197	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
198	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	
199	BEDROOM	2'-0"	2'-0"	L	GLASS DOOR WITH FULL GLASSITE PANEL	
200	BEDROOM	2'-0"	2'-0"	R	GLASS DOOR WITH FULL GLASSITE PANEL	



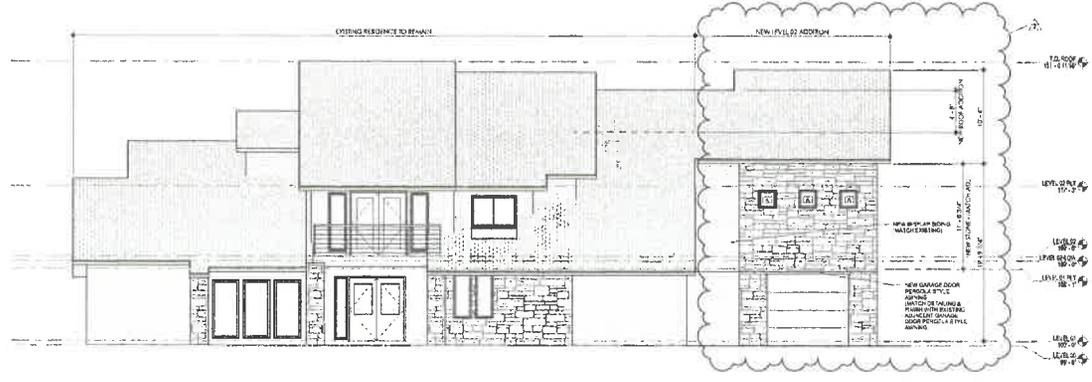
3 EXTERIOR ELEVATION - BACK
3/16" = 1/4"



4 BUILDING SECTION
3/16" = 1/4"



2 EXTERIOR ELEVATION - SIDE
3/16" = 1/4"



1 EXTERIOR ELEVATION - FRONT
3/16" = 1/4"

EXTERIOR ELEVATION GENERAL NOTES

1. MATERIAL SPECIFICATIONS ELEVATIONS ARE TO CORNER BY 2' EXTENT OF THE MATERIAL ONLY. DIMS ARE NOT TO SCALE.
2. ALL NEW FINISHES SHALL MATCH EXISTING FINISHES. COORDINATE WITH OWNER.

EXTERIOR ELEVATION LEGEND

- EXTERIOR GLAZING OPENING TYPE RE. AREA
- BUILDING FINISH OR FIN. RE. AREA
- MASONRY FINISH JOINT MATCH EXISTING COLOR



Texture Design Studio
811 Lyndon B Johnson Freeway #678
DALLAS TX, 75251
469.544.3845 (TEL)
CONTACT: JUSTIN A. DRISBOL, AIA
Justin@texture-studio.com

Project
Friede Addition
2837 Placid Cir.
Grapevine, TX 74051

Consultants
OWNER
Gerry & Morgan Price
2837 Placid Cir. Grapevine, TX 76049
PROJECT NUMBER

DATE
PROJECT
PREPARED BY
CHECKED BY
DATE
CONTRACTOR
Stewart Construction & Design



ISSUE:
NO. 1
DATE: 05/27/2025
BY: Justin A. Drisbol

JUN 02 2025
BZAS-03

11-11-2025
A11-01
EXTERIOR ELEVATIONS, DOOR & WINDOW SCHEDULE



Texture Design Studio
 8111 Lyndon B Johnson Fwy #678
 DALLAS TX 75225
 469.244.2545 (TEL)
 CONTACT: Justin A. Drubel, AIA
 Justin@texture-studio.com

Project
Friede Addition
 2837 Plovid Cir,
 Grapevine, TX 76021

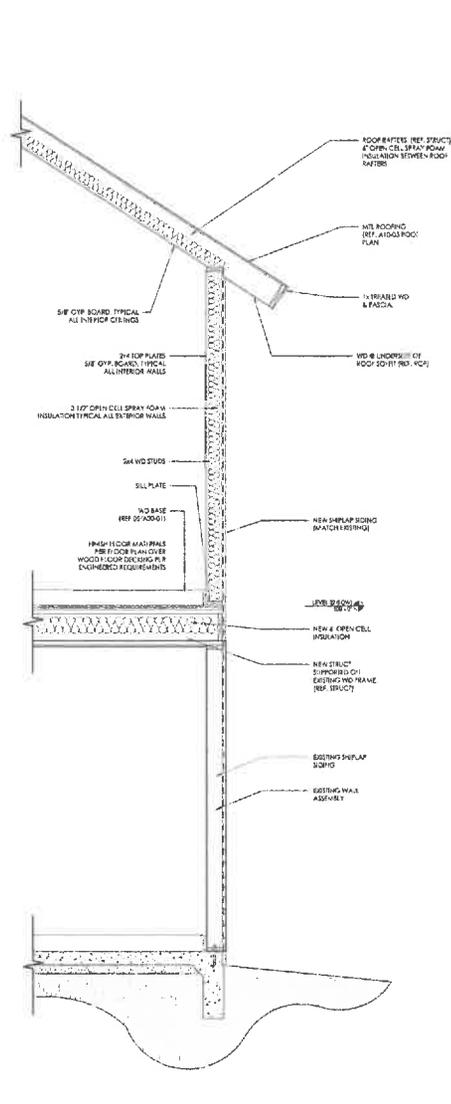
Consultants
 Sany & Biggs Profs
 3027 West Ck, Austin, TX 78741

ARCHITECT
 JOSHUA SMITH
 05/27/2025

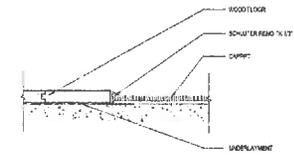


ISSUE:
 NO. 1 Description: BASIC PLAN SET

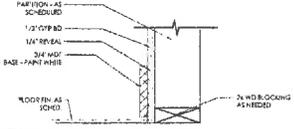
A30-01
 ARCHITECTURAL SECTION &
 DETAILS



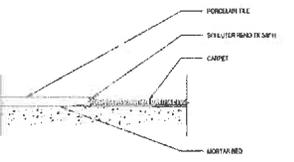
2 TYPICAL SECTION DETAIL
 1/8" = 1'-0"



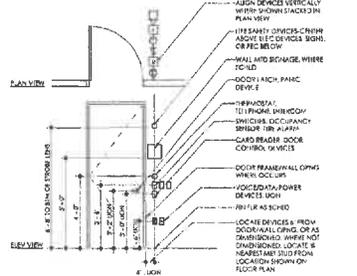
4 WOOD FLOOR TO CARPET
 2" = 1'-0"



5 TYPICAL APPLIED BASE DETAIL
 2" = 1'-0"



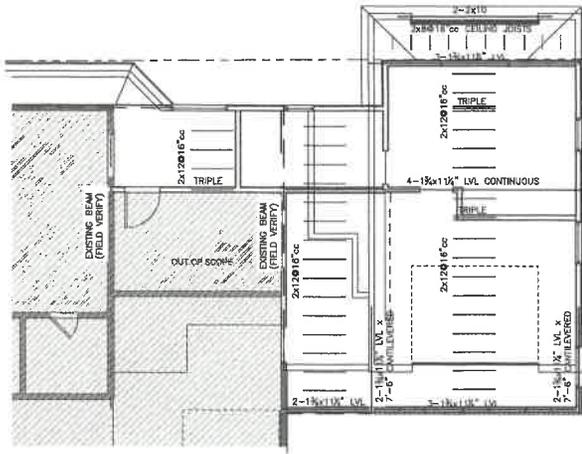
3 PORCELAIN TILE TO CARPET
 2" = 1'-0"



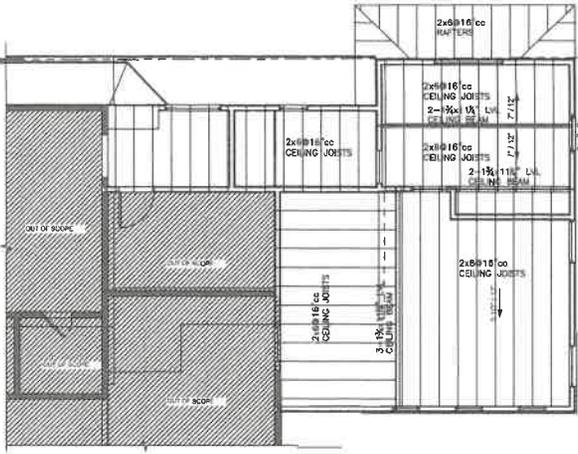
1 ELECTRICAL DEVICE MOUNTING DIAGRAM
 3/8" = 1'-0"

JUN 02 2025
 BZADS-03

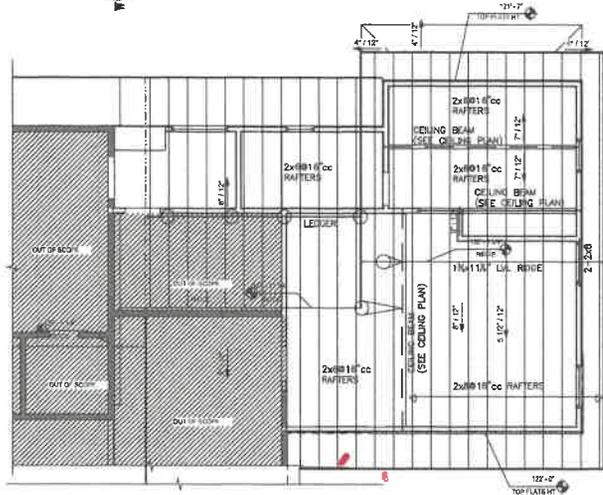
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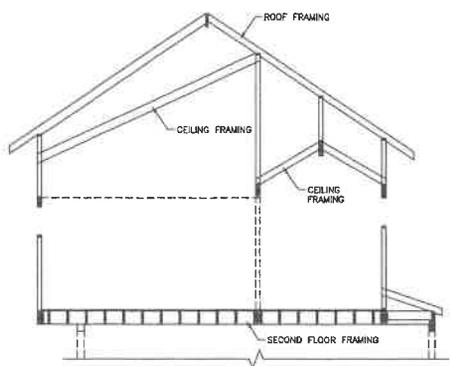
1 SECOND FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"



2 CEILING FRAMING PLAN
SCALE: 1/4"=1'-0"



3 ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"



4 FRAMING SECTION
SCALE: 1/4"=1'-0"

GENERAL

1. ROOF: ROOF SLOPE 1/4" PER FT. 20 PSF
2. FLOOR: RESIDENTIAL 40 PSF
3. WIND LOADS (07-107) 15 TO 30 PSF
4. TRUSSES MAX TOTAL LOAD 100 PSF
5. ALL WORK TO CONFORM TO CITY BUILDING CODES, 2018 IRC/BC AND OSHA REGULATIONS.
6. CONTRACTOR TO PREPARE SHOP DRAWINGS FOR STRUCTURAL FRAMING DETAILS AND SITE CONDITIONS FOR REVIEW BY ENGINEER.
7. FIELD MEASURE EXISTING SITE CONDITIONS TO VERIFY DIMENSIONS BEFORE CONSTRUCTION COMMENCEMENT.

WOOD FRAMING NOTES

1. ALL FLOOR AND ROOF FRAMING MEMBERS SHALL BE #2 K.D. SOUTHERN PINE OR STANDARD GRADE DOUGLAS FIR HAVING AN ALLOWABLE EXTREME FIBER STRESS IN BENDING OF 875 TO 1800 P.S.I. (2x12 THRU 2x4) UNLESS NOTED OTHERWISE ON PLANS. #1 K.D. FRAMING MEMBERS SHALL HAVE ALLOWABLE BENDING STRESS OF 1250 TO 1850 P.S.I. (2x12 THRU 2x4).
2. PLACE A PLATE AT THE BOTTOM AND A DOUBLE PLATE AT THE TOP OF ALL STUD WALLS. STILL PLATES SHALL BE BOLTED OR SHOT TO THE FOUNDATION BEAM AT A MAXIMUM OF 48" O.C. FOR 2x4 ANCHOR BOLTS, AND 18" O.C. FOR POWER DRIVEN NAILS. INSTALL 2x8" AT 2'-0" O.C. ANCHOR BOLTS AT SILL PLATES ON TOP OF BASEMENT WALLS. INSTALL BOLTS AT 2'-0" E/W AT BASEMENT WALLS.
3. ALL STUDS SHALL BE #2 DOUGLAS FIR OR FINGER JOINTED #2 SOUTHERN YELLOW PINE WITH AN ALLOWABLE FLEXURAL STRESS OF 875 PSI. FOR BEARING WALLS, INSTALL 2x4 STUDS TO 10' HEIGHT, 2x8 STUDS TO 14' HEIGHT, 2x8 STUDS TO 18' HEIGHT, AND 2x8 STUDS TO 24' HEIGHT. STUDS SHALL BE INSTALLED AT A SPACING OF 18" O.C. AND STUDDING SHALL BE DOUBLED AT ALL ANGLES, CORNERS, AND AROUND ALL OPENINGS.
4. INSTALL 3 OR MORE JOISTS BELOW ALL WALLS RUNNING PARALLEL TO SPAN. FOUR OR MORE JOISTS SHALL BE INSTALLED AT ALL LOCATIONS SUPPORTING SIGNIFICANT UPPER FLOOR OR ROOF LOADS. INSTALL BLOCKING BETWEEN JOISTS AT LOAD BEARING WALLS. INSTALL CONTINUOUS BEAMS WITH STAGGERED SPLICES OVER SUPPORTS.
5. WOOD LINTELS LOADED OVER OPENINGS 4'-0" OR LESS SHALL BE DOUBLE 2x8 HEADERS, DOUBLE 2x12 HEADERS FOR SPANS FROM 4'-0" TO 7'-0", 3.5"x11.25" PARALLAMS FOR OPENINGS UP TO 8'-0", AND HAVE NOT LESS THAN 3" BEARING AT EACH END OF LINTEL.
6. FLOOR AND ROOF JOIST CONNECTIONS TO SUPPORTING BEAMS (FLUSH TYPE CONNECTIONS) USE TYPE "LJ" JOIST HANGERS AS MANUFACTURED BY THE SIMPSON COMPANY OR TYPE "TM" JOIST HANGERS AS MANUFACTURED BY ALPHE ENGINEERED PRODUCTS, INC. THE HANGER SIZE USED SHALL BE AS RECOMMENDED BY THE MANUFACTURER PER JOIST SIZE.
7. PROVIDE 1x4 BRIDGING IN ALL SPANS OVER 8'-0". MAXIMUM DISTANCE BETWEEN BRIDGING AND BEARING SHALL BE 4'-0". INSTALL TREATED PLATES ON CONCRETE OR EXPOSED SOIL.
8. ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS SHALL BE BRACED AT EACH END AND AT 20'-0" O.C. WITH A DIAGONAL 1x4 LET INTO OUTSIDE EDGE.
9. ALL EXTERIOR AND INTERIOR CORNERS AND CONTINUOUS EXTERIOR WALLS SHALL BE PLYWOOD BRACED WITH CONTINUOUS 4'x8'x1/2" SHEETS OF EXTERIOR GRADE PLYWOOD, CONTINUOUS FROM FOUNDATION TO ROOF. INSTALL ON EXTERIOR FACE. SEE PLAN FOR ADDITIONAL LOCATIONS OF PLYWOOD WALL SHEATHING. NAIL WITH 8d 84" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORT MEMBERS.
10. PLACE SIMPSON HOLDOWN ANCHORS, TYPE "HTD" WITH BOLTS 1/2" MIN. OR EQUAL AT THE CORNERS OF ALL EXTERIOR WALLS AND AT THE ENDS OF ALL BRACED OR SHEAR WALLS. SECURELY NAIL ANCHORS TO 4x4 OR 4x6 END STUDS. INSTALL ADDITIONAL RAMMED POWER DRIVEN NAILS THROUGH WASHERS AT 2'-0" CENTERS ALONG WOOD BASE PLATES WITH 1" PENETRATION BY THE 0.140" DIAMETER FASTENERS. INSTALL H2.5A CLIPS @ 4'-0" O.C. TO THE RAFTERS TO STUDS.
11. GYPSUM WALLBOARD DIAPHRAGMS AS LOCATED ON THESE DRAWINGS SHALL BE FASTENED AT ALL STUDS, TOP AND BOTTOM PLATES WITH 5d COOLER NAILS @ 7" O.C. GLUE AND SCREW CURVED WALLS.
12. AT THREE STORY BUILDINGS, GROUND FLOOR SHALL HAVE 2x8 OR 3x4 STUDS @ 18" O.C. WITH SECOND FLOOR TRUSSES DIRECTLY ABOVE WALL STUDS.
13. FLITCH BEAMS SHALL BE BOLTED TOGETHER WITH TWO 3/4" BOLTS PLUS 4 - 4" SHEAR PLATES @ 8" GAGE AND LOCATED 4" FROM EACH END OF BEAM. MINIMUM OF 3-1/2" STUDS SHALL BE PLACED BELOW FLITCH BEAM AT ALL SUPPORTS OR AS NOTED OTHERWISE ON THESE DRAWINGS.
14. WHERE MULTIPLE TRUSSES OR JOISTS OCCUR, A STUD SHALL SUPPORT EACH MEMBER OF THE BEAM CONTINUOUS TO FOUNDATION.
15. MULTIPLE WOOD BEAMS CONSISTING OF 3 OR MORE MEMBERS SHALL BE BOLTED WITH 3/4" BOLTS TOP AND BOTTOM OVER SUPPORTS, AND 1/2" BOLTS AT 2'-0" O.C. STAGGERED TOP AND BOTTOM. ALL BOLTS SHALL HAVE HEAVY DUTY WASHERS.
16. ALL PLYWOOD SHEATHING SHALL BE 1/2" PLYWOOD (C-D EXTERIOR GLUE, A.P.A.) ATTACHED DIRECTLY TO THE EXTERIOR FACE OF STUD WALLS WITH 8d GALVANIZED BOX NAILS @ 4" O.C. ALONG PLYWOOD PANEL EDGES AND 12" O.C. @ INTERMEDIATE FRAMING MEMBERS. SHEATHING SHALL BE CONTINUOUS FROM FOUNDATION TO ROOF.
17. PLYWOOD WALL DIAPHRAGM TO BE INSTALLED WITH 8" LENGTH HORIZONTAL STAGGER JOINTS, WITH 2x BLOCKING & CONTINUOUS TOP & BOTTOM PLATES.
18. GULBARS, MICROSLABS AND PARALLAMS SHALL HAVE ALLOWABLE EXTREME FIBER STRESS IN BENDING OF 2,400 PSI, 2,600 PSI AND 2,900 PSI, RESPECTIVELY.
19. INSTALL SOLID BLOCKING BELOW LOAD BEARING JAMBS. INSTALL 3/4"x6"x8" STEEL SHIMS IN PLACE OF PLYWOOD AT HEAVILY LOADED JAMBS.
20. MULTIPLE WOOD BEAMS SHALL BE CONTINUOUS OVER TWO OR MORE SPANS WITH STAGGERED SPLICES OVER SUPPORTS.
21. RIM JOISTS OR 2x HEADERS SHALL BE INSTALLED AROUND THE FRAMING PERIMETER.
22. UNLESS SPECIFIC HEADER DEFLECTION LIMITS HAVE BEEN PROVIDED BY THE BUILDER, ARCHITECT, OR OWNER'S REPRESENTATIVE, AT THE TIME OF DESIGN, ALL WINDOW, DOOR AND SLIDING DOOR HEADERS HAVE BEEN SIZED FOR AN ALLOWABLE DEFLECTION OF L/360 (L=HEADER SPAN IN INCHES). ROUGH OPENING HEIGHTS SHALL BE ADJUSTED ACCORDINGLY TO ACCOMMODATE THE ALLOWABLE HEADER DEFLECTION AND ANY MANUFACTURER MINIMUM HEAD CLEARANCE REQUIREMENTS FOR WINDOW, DOOR, OR SLIDING DOORS.

PLYWOOD DECK NOTES:

1. ROOF DECK SHALL BE 5/8" PLYWOOD (C-D EXTERIOR GLUE, A.P.A.) WITH A PANEL SPAN RATING OF 24'18" AND PANEL CLIP EDGE SUPPORTS BETWEEN EACH SUPPORT MEMBER. NAIL WITH 8d @ 4" O.C. AT PANEL EDGES AND @ 12" O.C. AT INTERMEDIATE SUPPORT MEMBERS.
2. FLOOR DECK SHALL BE 1/2" PLYWOOD (STURD-FLOOR, A.P.A.) WITH TONGUE & GROOVE EDGE SUPPORTS. NAIL WITH 8d DEFORMED SHANK NAILS @ 8" O.C. AT DIAPHRAGM BOUNDARIES AND WITH 8d DEFORMED SHANK NAILS @ 12" O.C. AT ALL OTHER PANEL EDGES AND INTERIOR FRAMING MEMBERS. A BEAD OF GLUE SHALL BE PLACED ON FRAMING MEMBERS PRIOR TO APPLYING PLYWOOD DECK. ARCHITECT SHALL CONFORM WITH A.P.A. SPECIFICATION "AFC-01" (OR 3/4" x 3/4" PLYWOOD).
3. ALL PLYWOOD DECKING SHALL BE INSTALLED WITH FACE GRAIN ACROSS FRAMING MEMBERS AND CUT SUCH THAT ENDS OF SHEETS ARE CENTERED OVER FRAMING MEMBERS. OFFSET HORIZONTAL JOINTS BETWEEN ADJACENT SHEETS.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY: JEREMY A. SMITH, P.E. 107748 ON MAY 28, 2025.

ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



SECOND FLOOR, CEILING, & ROOF FRAMING PLANS					
2837 PLACID CIR.					
JEREMY SMITH, PE					
972-848-6192 jasmith@jasmith.com					
GRAPEVINE, TEXAS					
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE NO.
JS	JS	05/28/25			2538 S1

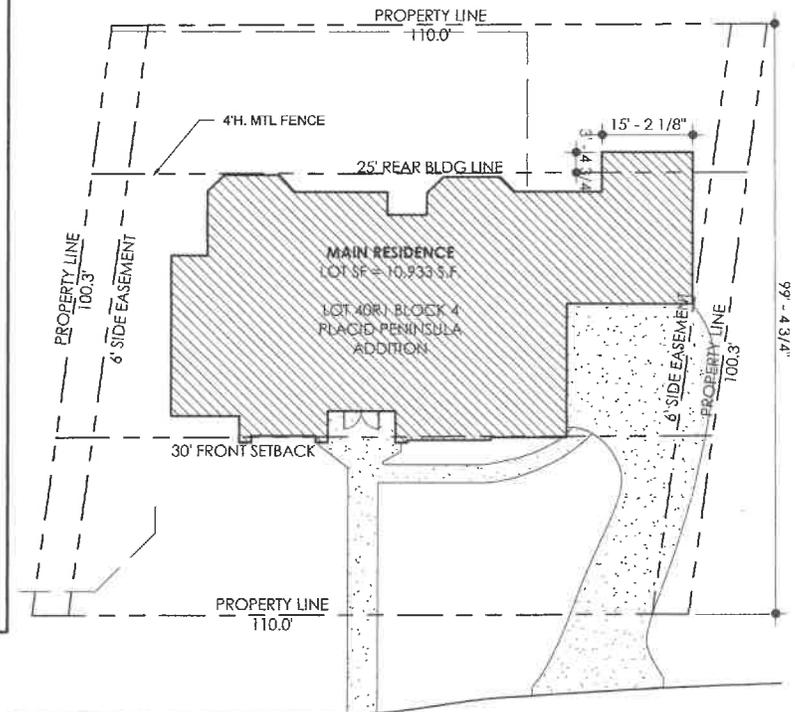
JUN 10 2025
B7725-03

PLOT PLAN DATA SUMMARY

ITEM:	REQ.	PROVIDED
GENERAL SITE DATA		
ZONING	R7.5	R7.5
LAND USE	SNGL. FAMILY	SNGL. FAMILY
TOTAL LOT AREA (SF)	7,500 S.F. MIN.	10,933 S.F.
1ST FLR. BUILDING FT.PRNT	NO MIN.	3,136 S.F.
TOT. BLDG AREA.	1,200 S.F. MIN.	4,541 S.F.
TOTAL BLDG HT.	35' 2 STORIES	31' A.F.F.
FLOOR AREA RATION [?]	0.4 (40%)	?
AREA REGULATIONS:		
FRONT YARD	30' (50%) LNDSCL. MIN.	30'
REAR YARD	25' MIN	20'
SIDE YARD	6' MIN.	6'
LOT WIDTH	65' MIN.	110'
LOT DEPTH	10' MIN.	99'-4"
DISTANCE BETWN. BLDG.	12' MIN.	10'
IMPERVIOUS AREA		
BLDG FTPRINT AREA.	1,200 S.F. MIN.	
AREA OF IMP. FLTWRK.	S.F.	
OTHER IMPEV AREA.	S.F.	
TOTAL OPEN SPACE	40%	
TOTAL IMPERV. AREA.	60%	



VACINITY MAP



← PLACID CIR. →



1 Plot Plan
1" = 20'-0"

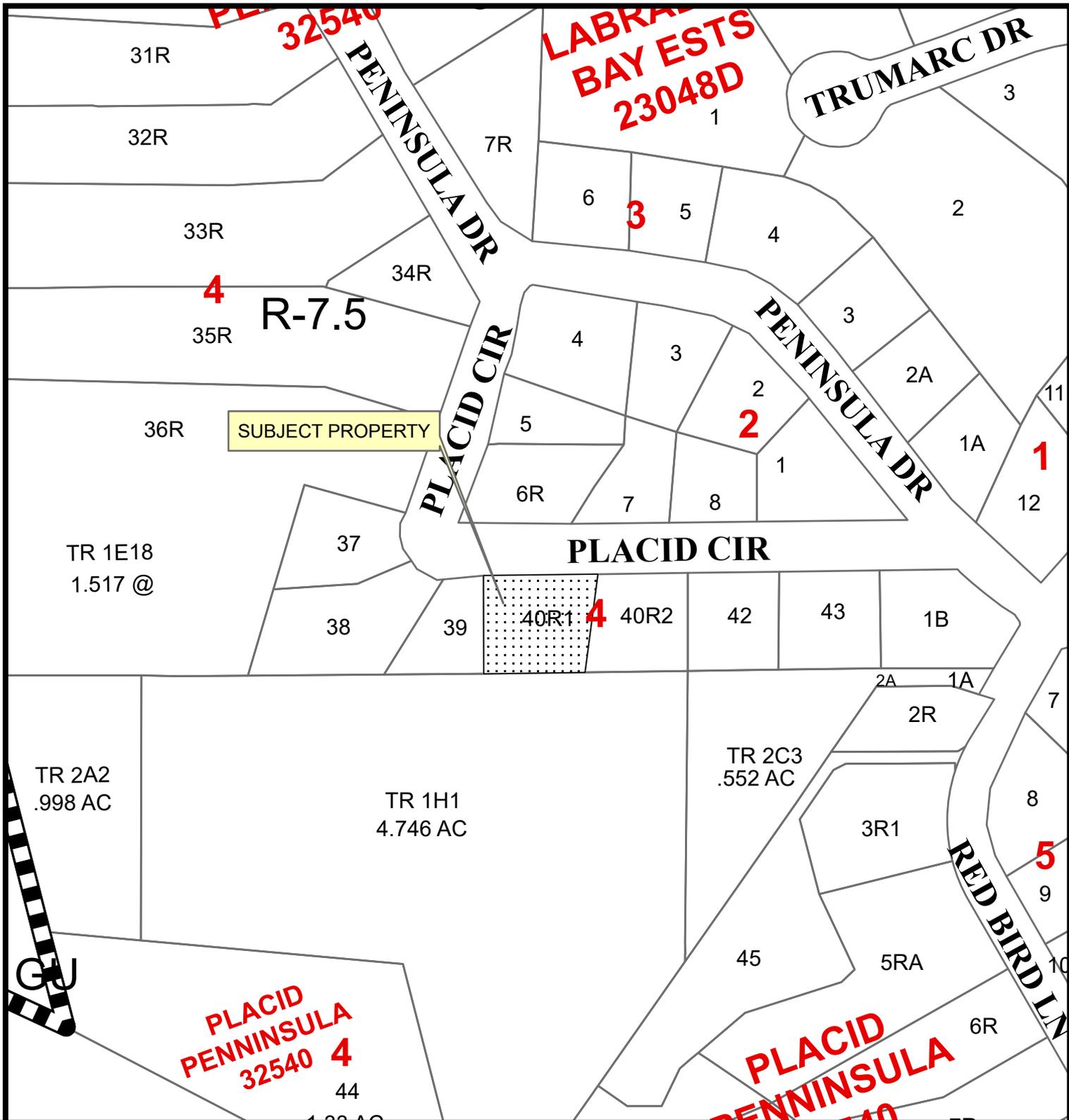


SCALE: 1" = 20'-0"

PLOT PLAN
FOR
2837 PLACID CIR.
LOT 40R1 BLOCK 4 PLACID PENINSULA ADDITION
CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS
4,541 S.F.
ZONE: "R-7.5," SINGLE FAMILY RESIDENTIAL DISTRICT
MAY 27, 2025

OWNER: KENNY & MORGAN FRIEDE
ADDRESS: 2837 PLACID CIR. GRAPEVINE, TX 76051
CONTRACTOR: BRASHEAR CONSTRUCTION

JUN 02 2025
B7725-03



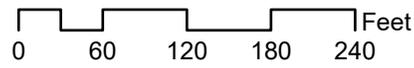
SUBJECT PROPERTY

R-7.5

PLACID CIR

PLACID PENNINSULA 32540 4

PLACID PENNINSULA 32540 4



BZA25-03; 2837 Placid Circle

Date Prepared: 6/25/2025

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.



CITY OF GRAPEVINE, TEXAS
BOARD OF ZONING ADJUSTMENT MEETING MINUTES
MONDAY, MAY 5, 2025

GRAPEVINE CITY HALL, COUNCIL CHAMBERS
200 SOUTH MAIN STREET
GRAPEVINE, TEXAS

5:45 p.m. Briefing Session – Planning and Zoning Conference Room
6:15 p.m. Public Hearing – City Council Chambers

The Board of Zoning Adjustment for the City of Grapevine, Texas, met on Monday evening, May 5, 2025, at 5:45 P.M. in the Planning and Zoning Conference Room, 2nd Floor, 200 South Main Street, Grapevine, Texas for a Briefing Session with the following members present to wit:

John Sheppard	Chairman
Andrew Muras	Member
John Borley	Member
Doug Anderson	Member
Jack Townsend	Member

With Jonathan Gaspard absent, constituting a quorum. Also present was City Council Representative Sharron Rogers and the following City Staff:

Matthew Boyle	City Attorney
Erica Marohnic	Director
Albert Triplett	Planner II
Lindsay Flores	Planner I

CALL TO ORDER: 5:45 P.M. – Planning and Zoning Conference Room

Chairman Sheppard called the Briefing Session of the Board of Zoning Adjustment to order at approximately 5:45 P.M.

BRIEFING SESSION

1. Roll Call
2. Board of Zoning Adjustment to conduct a briefing session to discuss items scheduled to be heard at the May 5, 2025 public hearing.

Albert Triplett briefed the Board on the case listed on their regular meeting agenda and took questions.

ADJOURNMENT OF BRIEFING SESSION

With no further discussion, Sheppard made a motion to adjourn the Briefing Session.

The Briefing Session was adjourned at approximately **6:03 P.M.**

Public Hearing

3. Call to Order – Sheppard called meeting to order at **6:15 P.M.**
4. Pledge of Allegiance

CITIZEN COMMENTS

5. There was no one wishing to speak during citizen comments.

OLD BUSINESS

6. None

NEW BUSINESS

7. Board of Zoning Adjustment to conduct a public hearing relative to Board of Zoning Adjustment case BZA25-01 submitted by Robert and Kelly Freedman for property located at 839 East Worth Street and consideration of the same.

Albert Triplett presented the proposed plan and answered questions from the Board.

BZA25-01 owner, Robert Freedman, presented and answered questions from the Board.

Chairman Sheppard closed the public hearing.

Motion was made to **approve** BZA application **BZA25-01, a special exception for the following:**

Grapevine Comprehensive Zoning Ordinance 82-73: **Subsection 14.G.3, *Width of side yard on each*** of Section 14, “R-7.5”, *Single-Family District* requires that each lot have a side yard setback of 8 feet. The existing residential structure is approximately 4-feet from the west property line and encroaches approximately 4-feet into the required side yard setback as shown on the plot plan.

Motion: Muras

Second: Townsend

Ayes: Borley, Sheppard, Anderson

Nays: None

Approved: 5 – 0

8. Board of Zoning Adjustment to conduct a public hearing relative to Board of Zoning Adjustment case BZA25-02 submitted by Rita Johnson for property located at 2918 Cardinal Drive and consideration of the same.

Albert Triplett presented the proposed plan and answered questions from the Board.

BZA25-02 owner, Rita Johnson, and applicant representative, David Johnson, presented and answered questions from the Board.

Chairman Sheppard closed the public hearing.

Motion was made to **approve** BZA application **BZA25-02, a special exception for the following:**

the Grapevine Comprehensive Zoning Ordinance 82-73: Subsection 43.E.3, Nonconforming Uses and Structures, which allows the Board of Zoning Adjustment to approve the remodeling and/or enlargement of a nonconforming use. The applicant is requesting a special exception to allow the existing secondary structure to remain as developed with a 2-foot encroachment into the required side yard setback adjacent to south property line as shown on the plot plan.

Motion: Muras
Second: Borley
Ayes: Sheppard, Anderson, Townsend
Nays: None
Approved: 5 – 0

Motion was made to **approve** the November 11, 2024 minutes briefing session and public hearing:

Motion: Muras
Second: Borley
Ayes: Sheppard, Townsend
Nays: None
Approved: 4 – 0 – 1
Abstained: Anderson

Adjournment

Motion was made to adjourn the meeting at **6:47 P.M.**

Motion: Anderson
Second: Townsend
Ayes: Muras, Borley, Sheppard
Nays: None
Approved: 5 - 0

PASSED AND APPROVED BY THE BOARD OF ZONING ADJUSTMENT OF THE CITY OF GRAPEVINE, TEXAS, ON THE 7th DAY OF JULY 2025.

APPROVED:

CHAIRMAN

ASHLEE MOSLEY
PLANNING TECHNICIAN