



CITY OF GRAPEVINE, TEXAS  
REGULAR JOINT MEETING OF  
CITY COUNCIL AND PLANNING AND ZONING COMMISSION  
TUESDAY, MARCH 19, 2024

GRAPEVINE CITY HALL, COUNCIL CHAMBERS  
200 SOUTH MAIN STREET  
GRAPEVINE, TEXAS

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6:45 p.m.	Dinner – City Council Conference Room
7:15 p.m.	Call to Order of City Council Meeting – City Council Chambers
7:15 p.m.	Executive Session – City Council Conference Room
7:30 p.m.	Joint Regular Meeting – City Council Chambers

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**CALL TO ORDER: 7:15 p.m.** – City Council Chambers

**EXECUTIVE SESSION:**

1. City Council to recess to the City Council Conference Room to conduct a closed session relative to:
  - A. Real property relative to deliberation of the purchase, exchange, lease, sale or value of real property (City facilities, Public Works, and the 185 acres) pursuant to Section 551.072, Texas Government Code.
  - B. Conference with City Manager and Staff to discuss and deliberate commercial and financial information received from business prospects the City seeks to have locate, stay, or expand in the City; deliberate the offer of a financial or other incentive; with which businesses the City is conducting economic development negotiations pursuant to Section 551.087, Texas Government Code.

City Council to reconvene in open session in the City Council Chambers and take any necessary action relative to items discussed in Executive Session.

**REGULAR MEETING: 7:30 p.m.** – City Council Chambers

2. Invocation and Pledge of Allegiance: Council Member Leon Leal

**JOINT PUBLIC HEARINGS**

3. Conditional Use Permit **CU24-02** (Industrial Office/Warehouse) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Josh Edge with Dynamic Engineering requesting a conditional use permit to allow outdoor vehicle storage in conjunction with a proposed 120,000 square foot office/warehouse building. The subject property is

located at 3219 State Highway 360 and is currently zoned “PID”, Planned Industrial Development.

4. Conditional Use Permit **CU24-06** (Meow Wolf) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Kelly Schwartz requesting a conditional use permit to amend the previously approved site plan CU20-17 (Ordinance No. 2000-044) for a planned commercial center in excess of 1,000,000 square feet of gross leasable space. This request is specifically to allow the possession, storage, retail sale of on- and off-premise consumption of alcoholic beverages (beer, wine, and mixed beverages) in conjunction with an existing café inside of Meow Wolf. The subject property is located at 3000 Grapevine Mills Parkway, Suite 253 and is currently zoned “CC”, Community Commercial District.
5. Conditional Use Permit **CU24-07** (RaceTrac) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by David Bond with Spiars Engineering & Surveying requesting a conditional use permit to amend the previously approved site plan CU18-13 (Ordinance No. 2018-043) for a planned commercial center to allow for the possession, storage, retail sale, and off-premise consumption of alcoholic beverages (beer and wine only), outside dining, gasoline service and a monument sign. This request is specifically to revise the site layout to add fueling pumps, fueling canopies, electric vehicle (EV) charging stations, and associated maneuvering area in conjunction with a convenience store. The subject property is located at 3955 Grapevine Mills Parkway and is currently zoned “CC”, Community Commercial District.
6. Conditional Use Permit **CU24-10** (Automotive Film Application Facility) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Karl Crawley with Masterplan requesting a conditional use permit to amend the previously approved site plan CU09-47 (Ordinance No. 2010-003) to establish a planned industrial park. This request is specifically to allow for the application/installation of paint protection film and window film (window tinting) in conjunction with a proposed business. The subject property is located at 1702 Minters Chapel Road, Suite 112 and is currently zoned “LI”, Light Industrial District.
7. Planned Development Overlay **PD24-01** (Reserve at Bear Creek) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Ben Ford with Wright Group Architects - Planners requesting a planned development overlay to deviate from, but not be limited to, minimum lot size, side yard setback, front yard setback, lot width, lot depth, and maximum building height; and to allow front entry garages for lots less than 40-feet in width in conjunction with a townhouse development. The subject property is located at 4201 State Highway 360 and is currently zoned “R-TH”, Townhouse District.

Planning and Zoning Commission to recess to the Planning and Zoning Commission Conference Room, Second Floor, to consider published agenda items.

City Council to remain in session in the Council Chambers to consider published business.

### CITIZEN COMMENTS

8. Any person who is not scheduled on the agenda may address the City Council under Citizen Comments or on any other agenda item by completing a Citizen Appearance Request form with the City Secretary. A member of the public may address the City Council regarding an item on the agenda either before or during the Council's consideration of the item, upon being recognized by the Mayor or upon the consent of the City Council. Citizens will have three (3) minutes to address Council. In accordance with the Texas Open Meetings Act, the City Council is restricted in discussing or taking action during Citizen Comments.

### NEW BUSINESS

9. Consider the purchase of construction remodel services for the practice area and chipping green at the Grapevine Municipal Golf Course from GreenScape Six, and take any necessary action.
10. Consider a contract for a Guaranteed Maximum Price for the renovations of the Municipal Service Center with Sedalco Construction Services, and take any necessary action.
11. Consider **Resolution No. 2024-004** approving the Local Project Advance Funding Agreement with Texas Department of Transportation to establish funding participation levels for the reconstruction of Euless Grapevine Road from State Highway 360 to Hughes Road, **Ordinance No. 2024-022** to appropriate the funds, and take any necessary action.
12. Consider a compensation update for sworn police and fire personnel, and take any necessary action.

### CONSENT AGENDA

Consent items are deemed to need little Council deliberation and will be acted upon as one business item. Any member of the City Council or member of the audience may request that an item be withdrawn from the consent agenda and placed before the City Council for full discussion. Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations.

13. Consider the renewal of an annual contract for interactive voice response system with DivDat, Inc. Chief Financial Officer recommends approval.

14. Consider a three-year contract for insurance consultant services for group health benefits with McGriff Insurance Services, Inc. Human Resources Director recommends approval.
15. Consider the renewal of a professional service contract for employee health clinics with Texas Health Physicians Group. Human Resources Director recommends approval.
16. Consider the renewal of annual contracts for masonry services to Chibli Stone Works, Inc. as the primary vendor and Weatherproofing Services as the secondary vendor. Parks and Recreation Director recommends approval.
17. Consider the renewal of an annual contract for police equipment, accessories and ammunition from Precision Delta Corp. Police Chief recommends approval.
18. Consider the purchase of custom dual-purpose narcotics K9 services from Hill Country Dog Center. Police Chief recommends approval.
19. Consider the purchase of a T-well replacement pump for the Water Treatment Plant from FCX Performance Inc. Public Works Director recommends approval.
20. Consider the purchase of a Xylem replacement pump for the Opryland Lift Station from Xylem Water Solutions, Inc. Public Works Director recommends approval.
21. Consider renewal of the sole source agreement for the purchase and installation of water meters, associated equipment, and manhole monitoring equipment from HydroPro Solutions, LLC and **Ordinance No. 2024-023** appropriating the funds. Public Works Director recommends approval.
22. Consider the minutes of the March 5, 2024 Regular City Council meeting. City Secretary recommends approval.

Pursuant to the Texas Open Meetings Act, Texas Government Code, Chapter 551.001 et seq, one or more of the above items may be considered in Executive Session closed to the public. Any decision held on such matter will be taken or conducted in open session following conclusion of the executive session.

#### PLANNING AND ZONING COMMISSION RECOMMENDATIONS

23. Conditional Use Permit **CU24-02** (Industrial Office/Warehouse) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2024-024**, if applicable, and take any necessary action.
24. Conditional Use Permit **CU24-06** (Meow Wolf) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2024-025**, if applicable, and take any necessary action.

25. Conditional Use Permit **CU24-07** (RaceTrac) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2024-026**, if applicable, and take any necessary action.
26. Conditional Use Permit **CU24-10** (Automotive Film Application Facility) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2024-027**, if applicable, and take any necessary action.
27. Planned Development Overlay **PD24-01** (Reserve at Bear Creek) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2024-028**, if applicable, and take any necessary action.

### ADJOURNMENT

In accordance with the Open Meetings Law, Texas Government Code, Chapter 551, I hereby certify that the above agenda was posted on the official bulletin boards at Grapevine City Hall, 200 South Main Street and on the City's website on March 15, 2024 by 5:00 p.m.

*Tara Brooks*

Tara Brooks, TRMC, CRM  
City Secretary



If you plan to attend this public meeting and you have a disability that requires special arrangements at the meeting, please contact the City Secretary's Office at 817.410.3182 at least 24 hours in advance of the meeting. Reasonable accommodations will be made to assist your needs.

This meeting can be adjourned and reconvened, if necessary, the following regular business day.



CITY OF GRAPEVINE, TEXAS  
REGULAR PLANNING AND ZONING COMMISSION MEETING  
TUESDAY, MARCH 19, 2024

GRAPEVINE CITY HALL, COUNCIL CHAMBERS  
200 SOUTH MAIN STREET  
GRAPEVINE, TEXAS

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7:00 p.m. Briefing Session - Planning and Zoning Commission Conference Room  
7:30 p.m. Joint Meeting with City Council - City Council Chambers  
7:30 p.m. Regular Session - Planning and Zoning Commission Conference Room

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**CALL TO ORDER: 7:00 p.m.** - Planning and Zoning Commission Conference Room

**BRIEFING SESSION**

1. Planning and Zoning Commission to conduct a briefing session to discuss all items scheduled on tonight's agenda. No action will be taken. Each item will be considered during the Regular Session which immediately follows the Joint Public Hearings.

**JOINT MEETING WITH CITY COUNCIL: 7:30 p.m.** - City Council Chambers

2. Invocation and Pledge of Allegiance: Council Member Leon Leal

**JOINT PUBLIC HEARINGS**

3. Conditional Use Permit **CU24-02** (Industrial Office/Warehouse) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Josh Edge with Dynamic Engineering requesting a conditional use permit to allow outdoor vehicle storage in conjunction with a proposed 120,000 square foot office/warehouse building. The subject property is located at 3219 State Highway 360 and is currently zoned "PID", Planned Industrial Development.
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Planning and Zoning Commission to recess to the Planning and Zoning Commission Conference Room, Second Floor, to consider published agenda items.

City Council to remain in session in the Council Chambers to consider published business.

### CITIZEN COMMENTS

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Act, the City Council is restricted in discussing or taking action during Citizen Comments.

### NEW BUSINESS

9. Conditional Use Permit **CU24-02** (Industrial Office/Warehouse) – Consider the application and make a recommendation to City Council.
10. Conditional Use Permit **CU24-06** (Meow Wolf) – Consider the application and make a recommendation to City Council.
11. Conditional Use Permit **CU24-07** (RaceTrac) – Consider the application and make a recommendation to City Council.
12. Conditional Use Permit **CU24-10** (Automotive Film Application Facility) – Consider the application and make a recommendation to City Council.
13. Planned Development Overlay **PD24-01** (Reserve at Bear Creek) – Consider the application and make a recommendation to City Council.
14. Consider the minutes of the February 20, 2024 Planning and Zoning Commission workshop and regular meeting.

### ADJOURNMENT

In accordance with the Open Meetings Law, Texas Government Code, Chapter 551, I hereby certify that the above agenda was posted on the official bulletin boards at Grapevine City Hall, 200 South Main Street and on the City's website on March 15, 2024 by 5:00 p.m.

  
Tara Brooks, TRMC, CRM  
City Secretary



If you plan to attend this public meeting and you have a disability that requires special arrangements at the meeting, please contact the City Secretary's Office at 817.410.3182 at least 24 hours in advance of the meeting. Reasonable accommodations will be made to assist your needs.

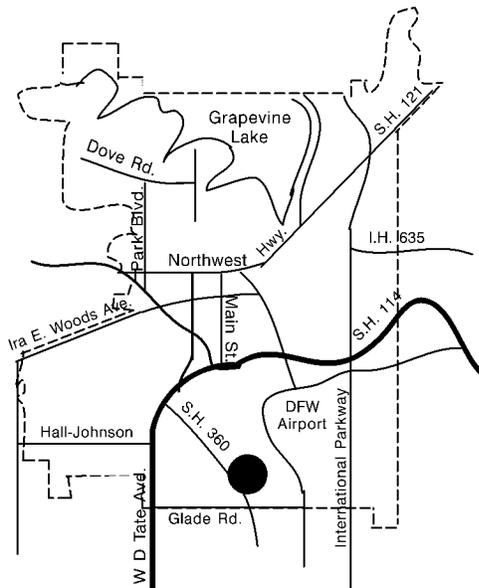
This meeting can be adjourned and reconvened, if necessary, the following regular business day.

TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE  
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
ERICA MAROHNIC, DIRECTOR OF PLANNING SERVICES

MEETING DATE: MARCH 19, 2024

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF  
CONDITIONAL USE APPLICATION CU24-02 INDUSTRIAL  
OFFICE/ WAREHOUSE



APPLICANT: Josh Edge – Dynamic Engineering

PROPERTY LOCATION AND SIZE:

The subject property is located at 3219 State Highway 360 and platted as Block 1, Lot 1, Grapevine SH 360 Substation. The addition contains approximately 9.9 acres and has approximately 1,164 feet of frontage along State Highway 360.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to allow outdoor vehicle storage in conjunction with a proposed 120,000 square foot office/ warehouse building.

The applicant intends to construct a four-story, 43-foot-tall, 120,000 square foot building for office/ warehouse purposes. The proposed use classified as warehousing within a completely enclosed building is permitted when the Standard Development option for development is utilized in the “PID”, Planned Industrial Development in the Zoning Ordinance. Standard Development adheres to the same restrictions as applied in the “LI”, Light Industrial District. The purpose of this development is to allow for businesses that will have vehicles including over the road trucks stored onsite. The placement of these commercial vehicles is considered outdoor storage and therefore, Subsection 31.C.4., *Conditional Uses* of Section 31, “LI”, Light Industrial District Regulations of the Zoning

Ordinance applies. If approved, outdoor storage shall be screened consistent with Section 31.C., provided that such storage shall be screened in accordance with Section 50, Alternates A, C or E.”

The commercial vehicles parked onsite will be fully screened from surrounding properties to the north and west with a retaining wall, to the east by trees and shrubs, and to the south by the proposed office/ warehouse building. All passenger vehicles will be in a lot parked between State Highway 360 and the front/ south side of the proposed building. The truck maneuvering area is proposed to be located behind the proposed building.

Access to the site will be provided by two new driveways on State Highway 360 which has preliminary approval from TxDot. The total number of parking spaces required is 99. The proposed number of parking spaces is 134. Out of these proposed spaces, 16 are oversized, with dimensions of 12 feet in width and 55 feet in depth. This is larger than the typical parking stall, which measures 9 feet in width and 18 feet in depth. Additionally, around 42 spaces are planned for future parking, which will not interfere with the maximum impervious or minimum open space requirements.

#### PRESENT ZONING AND USE:

The property is currently zoned “PID”, Planned Industrial Development and is undeveloped.

#### HISTORY OF TRACT AND SURROUNDING AREA:

The subject site was zoned “C-W”, Commercial Warehouse District prior to the 1984 City-wide Rezoning.

- On June 17, 1980, City Council approved Z80-24 (Ord. 1980-034) to rezone 54.427 acres from “R-1”, Single Family Dwelling District to “SP”, Specific Use Permit.
- On July 19, 2005, City Council approved MP05-01 (Ord. 2005-057) to amend the future land use plan designation on this site along State Highway 360 frontage from “I/C”, Industrial/ Commercial Use to “CO”, Commercial Use.

#### SURROUNDING ZONING AND EXISTING LAND USE:

NORTH: “PID”, Planned Industrial District – Pavestone

SOUTH: “GU”, Governmental Use District – Bear Creek Park and Bear Creek Baseball and Softball Fields

EAST: “LI”, Light Industrial District – Gas well drilling and production, Westport Business Park; freight-forwarding, Game Stop and vacant.

WEST: "PID", Planned Industrial Development – State Highway 360

AIRPORT IMPACT:

The subject property is located within "Zone A" Zone of Minimal of Effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map. Few activities will be affected by aircraft sounds in "Zone A" except for sound sensitive activities such as auditoriums, churches, schools, hospitals, and theaters. The applicant's proposal is an appropriate use in this noise zone.

MASTER PLAN APPLICATION:

Map 2: Land Use Plan of the Comprehensive Master Plan designates the subject property for Commercial (CO) land uses. The request is not compliant with the Master Plan.

THOROUGHFARE PLAN APPLICATION:

The City of Grapevine's Thoroughfare Plan does not designate State Highway 360 as a local thoroughfare with a width determined by TxDOT.

/ng

CC ITEM #3, 28  
PZ ITEM #3, 9  
WESTPORT  
BUSINESS  
PARK  
46282A

PAVESTONE  
INDUSTRIAL  
31892  
1R

1R1A

SUBJECT  
PROPERTY

GRAPEVINE  
SH 360  
SUBSTATION  
16074P

2

3R  
11.878 @

LI

1  
9.907 @

PID

2  
3.240 @

29.76 AC  
TR 2

SH 360 SB SH 360

SH 360 FR NB

SH 360 NB

SH 360 FR SB

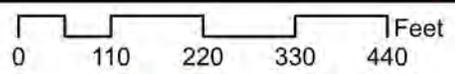
.0914 AC  
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TR 2A

DRAINAGE ESMT

D

FR RUN



### CU24-02; Industrial Office/ Warehouse 3219 State Highway 360

Date Prepared: 3/5/2024

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

CONDITIONAL USE PERMIT APPLICATION  
AND SITE PLAN SET CHECKLISTS

Current or if unplatted, proposed subdivision name(s),  
block(s), & lot(s)  
HCB Addition, Block 1, Lot 1

Gross area of parcel (to nearest tenth of  
acre)  
9.9

Street frontage & distance to nearest cross street  
1,157 ft of street frontage

Describe the Proposed Use  
Industrial Building

Proposed Zoning  
Planned Industrial Development

Existing Zoning  
Planned industrial development

Future Land Use Designation  
n/a

Subject Property Address  
3220 SH 360, Grapevine TX

**All Conditional Use Permit Requests are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of staff. Based on the size of the agenda, your application may be scheduled to a later date.**

**All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.**

**Any changes to a site plan approved with a conditional use permit request can only be approved by City Council through the public hearing process.**

**Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four-month period.**

**I have read and understand all of the requirements as set forth by the application for a conditional use permit request and acknowledge that all requirements of this application have been met at the time of submittal.**

Owner Name Robert Schlegel Owner Phone Number \_\_\_\_\_

Company SP Grapevine, LLC

Address 2501 North Harwood Street, Suite 2600

City Dallas State TX Zip Code 75201

Email [REDACTED]

20-5010

U24-02

CONDITIONAL USE PERMIT APPLICATION  
AND SITE PLAN SET CHECKLISTS

Project Representation (check one):

- I will represent the application myself; OR
- I hereby designate Joshua Edge (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this request. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this request.

I hereby certify that I am the property owner of the property and further certify that the information provided on this development application is true and correct. I have selected the above submittal type and representation of my own volition and not at the request of the City of Grapevine.

Property Owner's Signature [Signature] Date 12/14/23

STATE OF: TEXAS  
COUNTY OF: DALLAS 12/14/23

BEFORE ME, a Notary Public, on this day personally appeared Robert J. Schlegel (printed property owner's name) the above signed, who, under oath, stated the following: "I hereby certify that I am the property owner for the purposes of this application; that all information submitted herein is true and correct."

SUBSCRIBED AND SWORN TO before me, this the 14<sup>th</sup> day of DECEMBER, 2023

[Signature: Michael Bentley]

NOTARY PUBLIC in and for the State of Texas



JAN 02 2024

CU24-02

[Handwritten Signature]

CONDITIONAL USE PERMIT APPLICATION  
AND SITE PLAN SET CHECKLISTS

Project Representative Information (complete if designated by owner)

Engineer  Purchaser  Tenant  Preparer  Other (specify) \_\_\_\_\_

Name Joshua Edge Company Dynamic Engineering Consultants, PC

Address 714 S. Greenville Ave, Suite 100

City Allen State TX Zip Code 75002

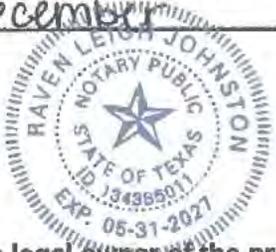
Phone 972-534-2100 Email [REDACTED]

Applicant's Signature [Signature] Date 12/14/23

STATE OF: Texas  
COUNTY OF: Collin

BEFORE ME, a Notary Public, on this day personally appeared Josh T. Edge  
(~~printed property owner's name~~) the above signed, who, under oath, stated the following: "I hereby certify that I am the applicant for the purposes of this application; that all information submitted herein is true and correct."

SUBSCRIBED AND SWORN TO before me, this the 11 day of  
December, 20 23



[Signature]  
NOTARY PUBLIC in and for the State of Texas

If the legal owner of the property is a corporation, company, partnership, or Limited Liability Company, provide a copy of a legal document attached with this application showing that the individual signing this document is a duly authorized partner, officer, or owner of said corporation, partnership, or Limited Liability Company.

For any individual or organization who consents to act as an agent for the entity for purposes of receiving any process, notice or demand:

Entity Name or File Number: \_\_\_\_\_

Provide a most recent public information report that includes:

1. All general partners
2. File Number
3. Registered agent name
4. Mailing address

JAN 02 2024

(You may order a copy of a Public Information Report from [open.records@cpa.texas.gov](mailto:open.records@cpa.texas.gov) or Comptroller of Public Accounts, Open Records Section, PO Box 13528, Austin, Texas 78711 or go to <https://mycpa.cpa.state.tx.us/coa/search.do>)

CU24-02

### PLATTING VERIFICATION

This verification statement must be signed prior  
To the submittal of this conditional use application

  X   It has been determined that the property described below does **require platting or replatting** and the applicant has been instructed on this procedure.

       It has been determined that the property described below is **currently platted or does not require platting or replatting** at this time.

Address of subject property 3220 SH 360 Grapevine, TX

Legal description of subject property GRAPEVINE SH 360 SUBSTATION Block 1 Lot 1

*Justin Turner*  
Public Works Department

11-27-2023  
Date

**This form must be signed by the public works department and submitted along with a completed application to the planning services department**

JAN 02 2024

CU24-02



Property Address:

3220 State Highway 360 Grapevine, TX

Description:

9.907-acre tract of land situated in the G.M. Bell Survey, abstract number 234, City of Grapevine, Tarrant County, Texas, being all of Lot 1, Block 1, Grapevine SH 360 Substation Addition, as recorded under Cabinet A, Slide 12702, Plat Records of Tarrant County, Texas.



1000 ft



3220 TX-360

Google Earth





CC ITEM #3, 23  
PZ ITEM #3, 9

Dynamic Engineering Consultants, PC  
714 S. Greenville Avenue, Suite 100  
Allen, TX 75002  
T. 972-534-2100

Date: January 4, 2024

City of Grapevine  
200 S. Main St.  
Grapevine, TX 76051

Attn: Planning Department

**RE: Project Narrative Letter  
3220 State Highway-360  
Block 1, Lot 1  
City of Grapevine, Tarrant County, TX  
City Plan # CU24-02**

Dear Planning Department,

The project in question is specifically identified as Block 1, Lot 1, of the Grapevine SH 360 Substation Addition, located at 3220 SH 360 in the City of Grapevine, Tarrant County, Texas. The 9.907-acre lot is presently undeveloped and is currently zoned as PID-Planned Industrial Development. Our client would like to develop the parcel into a 120,000 square foot Industrial Building with truck trailer parking. While the industrial building is an allowed use within the current zoning, we understand the trailer parking is considered outdoor storage and therefore requires a conditional use request.

Should you have any questions or require additional information, please do not hesitate to contact the undersigned.

Sincerely,

**DYNAMIC ENGINEERING CONSULTANTS, PC**

A handwritten signature in blue ink that reads 'Josh T. Edge'.

Josh T. Edge, P.E.  
Texas Regional Manager/Principal

[www.dynamiccec.com](http://www.dynamiccec.com)

Lake Como, NJ • Chester, NJ • Toms River, NJ • Newark, NJ • Newtown, PA • Philadelphia, PA  
Bethlehem, PA • Allen, TX • Houston, TX • Austin, TX • Delray Beach, FL • Annapolis, MD

ORDINANCE NO. 2024-024

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS ISSUING CONDITIONAL USE PERMIT CU24-02 TO ALLOW OUTDOOR VEHICLE STORAGE IN CONJUNCTION WITH A PROPOSED 120,000 SQUARE FOOT OFFICE/WAREHOUSE BUILDING FOR BLOCK 1, LOT 1, GRAPEVINE SH 360 SUBSTATION (3219 STATE HIGHWAY 360) IN A DISTRICT ZONED "PID", PLANNED INDUSTRIAL DEVELOPMENT ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on

the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU24-02 to allow outdoor vehicle storage in conjunction with a proposed 120,000 square foot office/warehouse building in a district zoned "PID", Planned Industrial Development within the following described property: Block 1, Lot 1, Grapevine SH 360 Subdivision (3219 State Highway 360) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. That the City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safely from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. That this ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. That any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum

not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. That this ordinance shall become effective from and after the date of its final passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of March, 2024.

APPROVED:

---

William D. Tate  
Mayor

ATTEST:

---

Tara Brooks  
City Secretary

APPROVED AS TO FORM:

---

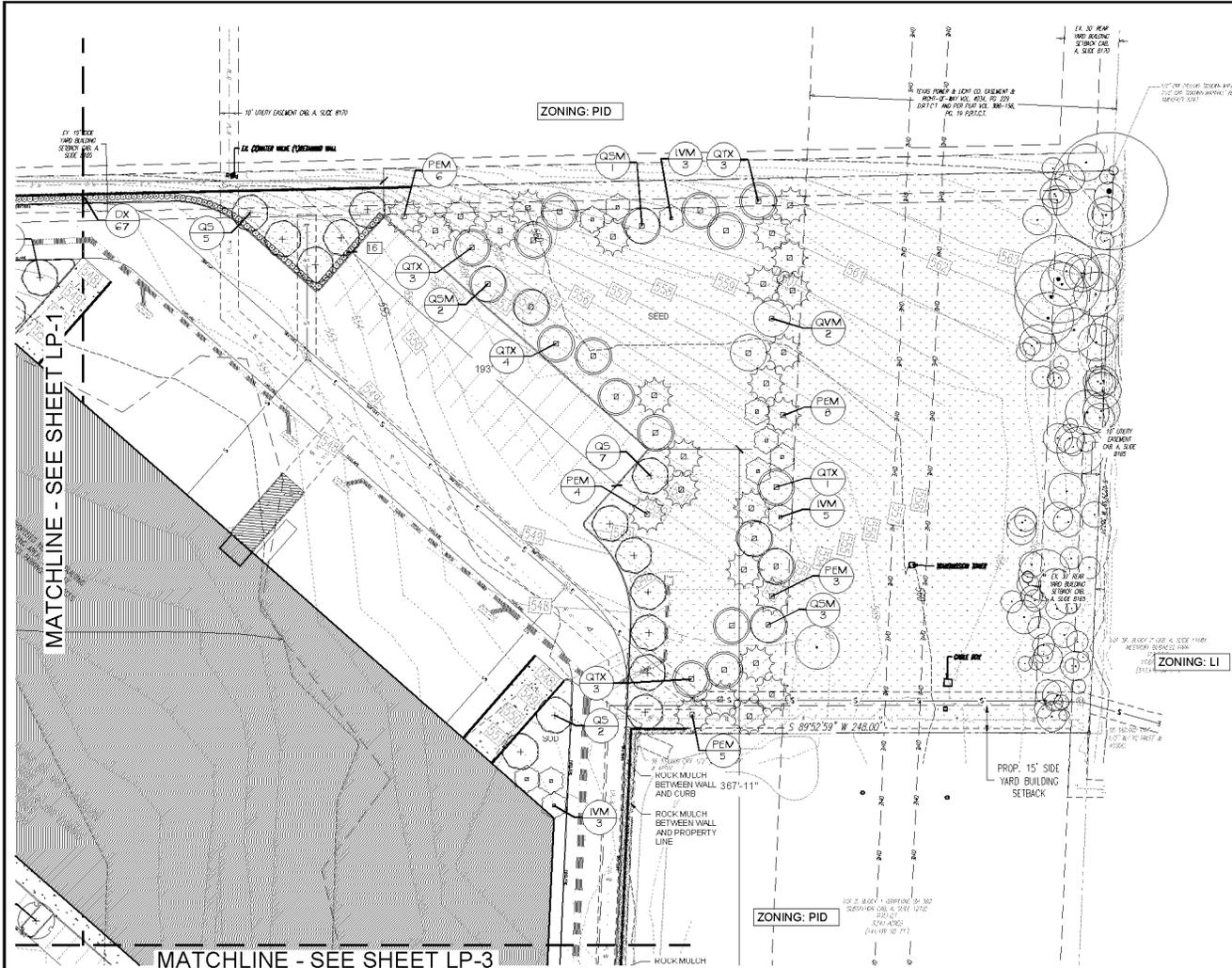
Matthew C.G. Boyle  
City Attorney







SEE SHEET LP-4  
FOR LANDSCAPE  
SCHEDULE



MATCHLINE - SEE SHEET LP-1

MATCHLINE - SEE SHEET LP-3



**LANDSCAPE CALCULATIONS**

TOTAL SITE AREA	431,588 SF
LANDSCAPE AREA REQUIRED	64,735 SF (15% OF SITE AREA)
TOTAL LANDSCAPE AREA PROVIDED	172,070 SF (40% OF SITE AREA)
NON-VEHICULAR OPEN SPACE PROVIDED	147,173 SF (34.1% OF SITE AREA)
LANDSCAPE AREA PROVIDED IN FRONT YARD	32,864 SF (80% OF REQUIRED LANDSCAPE)
LANDSCAPE AREA PROVIDED IN PERIMETER YARD	64,246.9 SF (89.8% OF REQUIRED LANDSCAPE)
TOTAL TREES REQUIRED	149 TREES
TOTAL TREES PROVIDED	240 TREES (145 PROPOSED, 95 TO REMAIN)

**NON-VEHICULAR OPEN SPACE**

TREES REQUIRED IN REQUIRED LANDSCAPE	46 TREES (1 TREE PER 3000 SF)
TREES PROVIDED	95 EXISTING TREES TO REMAIN

**VEHICULAR USE AREAS**

PARKING SPACES	134 SPACES (42 FUTURE SPACES)
GROSS PARKING AREA	95,986 SF
LANDSCAPE AREA REQUIRED	9,808 SF (10% OF VUA)
LANDSCAPE AREA PROVIDED	13,796.7 SF
TREES REQUIRED IN INTERIOR PARKING AREAS	24 TREES (1 TREE PER 50 LF - 3,350.82 LF)
TREES PROVIDED IN INTERIOR PARKING AREAS	24 TREES
PERIMETER HEDGE REQUIRED	CONTINUOUS 30" HEIGHT AT PLANTING
PERIMETER HEDGE PROVIDED	AS REQUIRED
TREES REQUIRED IN PERIMETER PARKING AREAS	68 TREES (1 TREE PER 50 LF - 3,350.82 LF)
TREES PROVIDED IN PERIMETER PARKING AREAS	68 TREES (66 PROPOSED, 2 EXISTING TO REMAIN)

**MULCH AND TREES**

TREES INTERESTED FOR REPLACEMENT	388"
TREES INCHES PROVIDED	388"

**Landscape Plan Data Summary Table**

Item	Required	Proposed
Landscape Area		
Landscape Perimeter Area (SF)	11,130	11,130
Interior Landscape Area - Parking Lot Landscaping (SF)	13,679	13,727
Additional Interior Landscape Area	0	0
Other Landscape Area within the lot (SF)	39,926	147,143
<b>Total Landscape Area</b>	<b>64,735</b>	<b>172,070</b>
Impervious Area		
Building Footprint Area (SF)		130,000
Area of Sidewalks, Pavement & other impervious flatwork (SF)		139,458
Other Impervious Area		
<b>Total Impervious Area (SF &amp; percentage)</b>	<b>269,458 SF (62%)</b>	<b>269,458 SF (62.0%)</b>
<b>Total Open Space (SF &amp; percentage)</b>	<b>162,130 SF (38%)</b>	<b>162,130 SF (38.0%)</b>

**OWNER**  
EASTON REALTY PARTNERS, LLC  
JULIE W. WHITMAN  
2011 NORTH WARDWOOD STREET, SUITE 200  
DALLAS, TX 75201  
EMAIL: JWHITMAN@EASTONREALTYPARTNERS.COM

**ARCHITECT**  
ALANICE ARCHITECTS  
THOMAS MARSHALL  
16101 COLLINS BOULEVARD, SUITE 100  
RICHARDSON, TX 75080  
EMAIL: THOMAS@ALANICEARCH.COM

**LANDSCAPE ARCHITECT**  
EVERGREEN DESIGN GROUP  
RODNEY MORGAN  
1565 DALLAS PARKWAY, SUITE 600  
ADDICKS, TX 75001  
1-800-888-8111  
1-972-424-2700  
EMAIL: JED@EVERGREENDESIGN.COM

**LANDSCAPE PLAN**  
FOR  
PROPOSED INDUSTRIAL BUILDING  
LOT 1, BLOCK 1, GUNFERRY 50-300 SUBSTATION  
GM. BELL COUNTY ABSTRACT NUMBER 214  
1/11 OF GUNFERRY, HANCOCK COUNTY, TEXAS  
1,587 ACRES OR LESS OR IT.  
JOB #170 PLANNED INDUSTRIAL USES  
DATE OF PREPARATION: DECEMBER 29, 2023

CASE NAME: INDUSTRIAL OFFICE / WAREHOUSE BUILDING  
CASE NUMBER: CU24-02  
LOCATION: 3219 SH 360

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: 4 OF 20

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

PLANNING SERVICES DEPARTMENT

NO.	REV.	DATE	COMMENTS

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: PROPOSED INDUSTRIAL WAREHOUSE  
BLOCK 1, LOT 1, GUNFERRY 50-300 SUBSTATION  
CITY OF DALLAS, HANCOCK COUNTY, TX

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TRAFFIC + SURVEY + PLANNING + DESIGN  
ELECTRICAL ENGINEERING + MECHANICAL ENGINEERING  
1715 S. SHOCKLEY AVENUE  
SUITE 100, ARLING, TX 75002  
972.524.1100  
www.dynamiceng.com



DATE: 02/08/2024

TITLE: LANDSCAPE PLAN

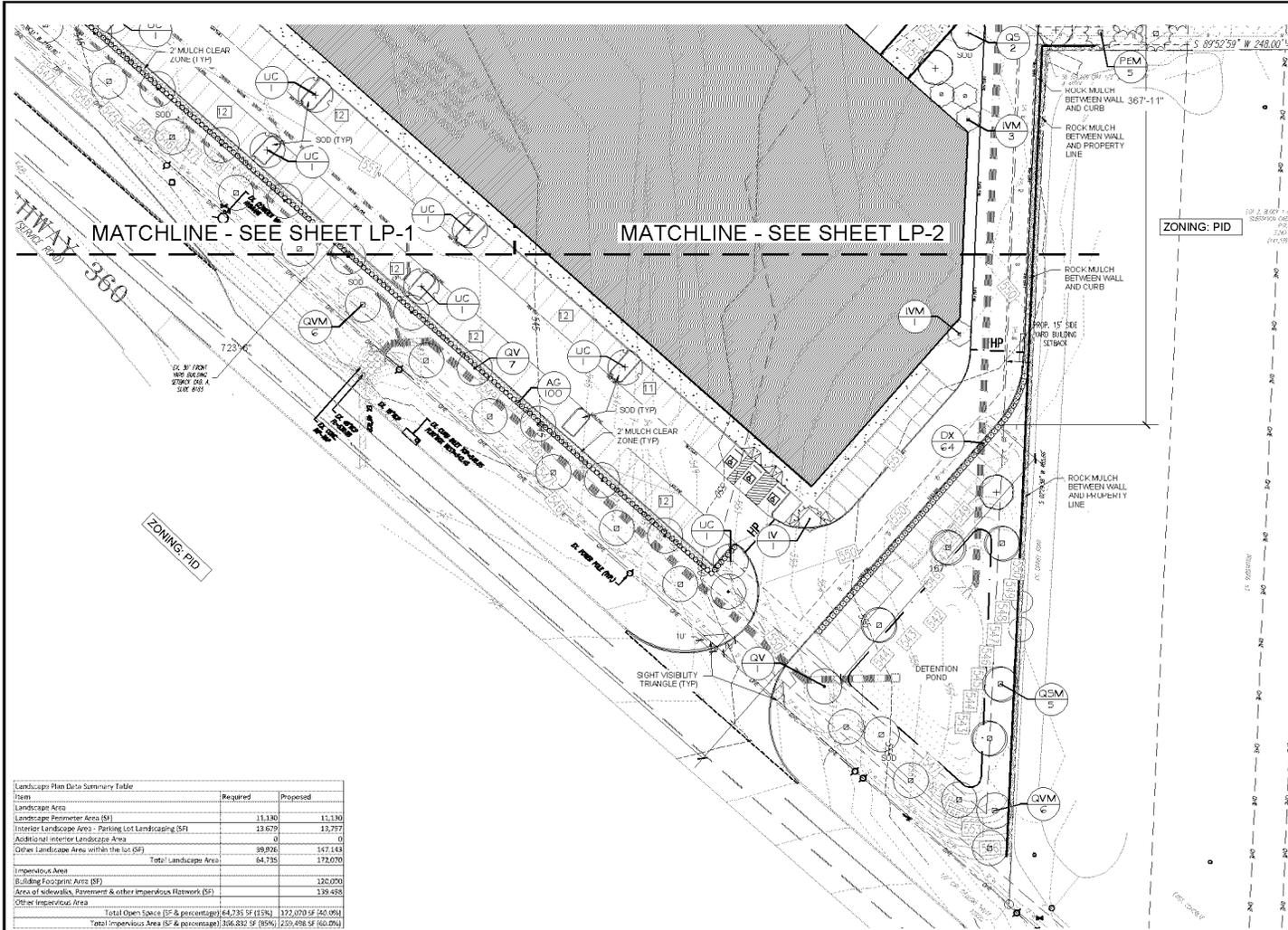
DATE: 02/08/2024

PROJECT NO: 4137-99-001

SHEET NO: LP-2

OF 20

DATEPLOT: 02/13/2024 9:30:01 AM, BY: jmm@eg.com, PLOT: 02/13/2024 9:30:01 AM, PLOT: 02/13/2024 9:30:01 AM, PLOT: 02/13/2024 9:30:01 AM



SEE SHEET LP-4  
FOR LANDSCAPE  
SCHEDULE



NO.	REV.	DATE	COMMENTS

THIS PLAN IS FOR PERMITTING PURPOSES ONLY  
AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: PROPOSED INDUSTRIAL WAREHOUSE  
BLOCK 1, LOT 1, OFFSHORE SH 300 SUBSTATION  
CITY OF DALLAS, TARRANT COUNTY, TX

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Suite 100, Allen, TX 75002  
972.364.1100  
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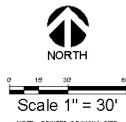
02/13/2024

TITLE: LANDSCAPE PLAN

DATE: 02/08/2024  
PROJECT NO: 4137-09-001  
SHEET NO: LP-3  
OF 3

Item	Required	Proposed
Landscape Area	11,130	11,130
Landscape Perimeter Area (SA)	13,679	13,757
Interior Landscape Area - Parking Lot Landscaping (SA)	0	0
Additional Interior Landscape Area	99,976	147,143
Other Landscape Area within the lot (SA)	64,735	172,070
<b>Total Landscape Area</b>		
Impervious Area	120,070	120,070
Building Footprint Area (SF)	139,458	139,458
Area of sidewalks, pavement & other impervious flatwork (SF)	139,458	139,458
Other Impervious Area	139,458	139,458
<b>Total Open Space (SF &amp; percentage)</b>		
Total Open Space (SF & percentage)	44,733 SF (15%)	122,070 SF (40.0%)
<b>Total Impervious Area (SF &amp; percentage)</b>		
Total Impervious Area (SF & percentage)	356,322 SF (95%)	220,478 SF (60.0%)

TOTAL SITE AREA	431,598 SF
LANDSCAPE AREA REQUIRED	64,735 SF (15% OF SITE AREA)
TOTAL LANDSCAPE AREA PROVIDED	172,070 SF (40% OF SITE AREA)
NON-VEHICULAR OPEN SPACE PROVIDED:	147,143 SF (34.1% OF SITE AREA)
LANDSCAPE AREA REQUIRED IN FRONT YARD:	32,869 SF (80% OF REQUIRED LANDSCAPE)
LANDSCAPE AREA PROVIDED IN FRONT YARD:	64,246.9 SF (69.8% OF REQUIRED LANDSCAPE)
TOTAL TREES REQUIRED:	149 TREES
TOTAL TREES PROVIDED:	240 TREES (145 PROVIDED, 95 TO REMAIN)
<b>NON-VEHICULAR OPEN SPACE</b>	
TREES REQUIRED IN REQUIRED LANDSCAPE:	46 TREES (1 TREE PER 3000 SF)
TREES PROVIDED:	95 EXISTING TREES TO REMAIN
<b>VEHICULAR USE AREAS</b>	
PARKING SPACES:	134 SPACES (42 FUTURE SPACES)
GROSS PARKING AREA:	95,986 SF
LANDSCAPE AREA REQUIRED:	9,605 SF (10% OF VUA)
LANDSCAPE AREA PROVIDED:	13,796 SF
TREES REQUIRED IN INTERIOR PARKING AREAS:	24 TREES (1 HIGH ALB SH REQUIRED LANDSCAPE)
TREES PROVIDED IN INTERIOR PARKING AREAS:	24 TREES
PERIMETER HEDGE REQUIRED:	CONTINUOUS 30" HEIGHT AT PLANTING
PERIMETER HEDGE PROVIDED:	AS REQUIRED
TREES REQUIRED IN PERIMETER PARKING AREAS:	68 TREES (1 PER 50 LF - 3,356.82 LF)
TREES PROVIDED IN PERIMETER PARKING AREAS:	68 TREES (68 PROPOSED, 0 EXISTING TO REMAIN)
<b>MILKHAHION TREES</b>	
TREES INCHES REQUIRED FOR REPLACEMENT:	388"
TREES INCHES PROVIDED:	388"



CASE NAME: INDUSTRIAL OFFICE / WAREHOUSE BUILDING  
CASE NUMBER: CU24-02  
LOCATION: 3219 SH 360

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: 3 OF 20

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

PLANNING SERVICES DEPARTMENT

OWNER:  
EASTON REALTY PARTNERS, LLC  
JUDY W. WHELAN  
2011 NORTH HAWKWOOD STREET, SUITE 200  
DALLAS, TX 75201  
EMAIL: JWHITMAN@EASTONREALTYPARTNERS.COM

ARCHITECTS:  
ALAN WELLS  
THOMAS MAXWELL  
ROBIN COLLINS BOLLARD, SUITE 100  
RICHARDSON, TX 75080  
EMAIL: THOMAS@ALANWELLSARCH.COM

ENGINEER:  
DYNAMIC ENGINEERING CONSULTANTS, PC  
JOSHUA DEE, PE  
7145 GREENMILL AVENUE, SUITE 100  
ALLEN, TX 75012  
1-754-242-7000  
EMAIL: JED@DYNAMIC.COM

LANDSCAPE ARCHITECT:  
EVERGREEN DESIGN GROUP  
RODNEY MORGAN  
1565 DALLAS PARKWAY, SUITE 800  
ADDICKS, TX 75001  
1-800-848-8211  
EMAIL: RODNEY@EVERGREENDESIGNGROUP.COM

LANDSCAPE PLAN  
FOR:  
PROPOSED INDUSTRIAL BUILDING  
LOTS 1, BLOCK 1, OFFSHORE SH 300 SUBSTATION  
GM. BELLSHIREY ABSTRACT NUMBER 214  
CITY OF DALLAS, TARRANT COUNTY, TEXAS  
1.587 ACRES OR LESS OR IT.  
ZONE: "I10" PLANNED INDUSTRIAL USE DISTRICT  
DATE OF PREPARATION: DECEMBER 29, 2023

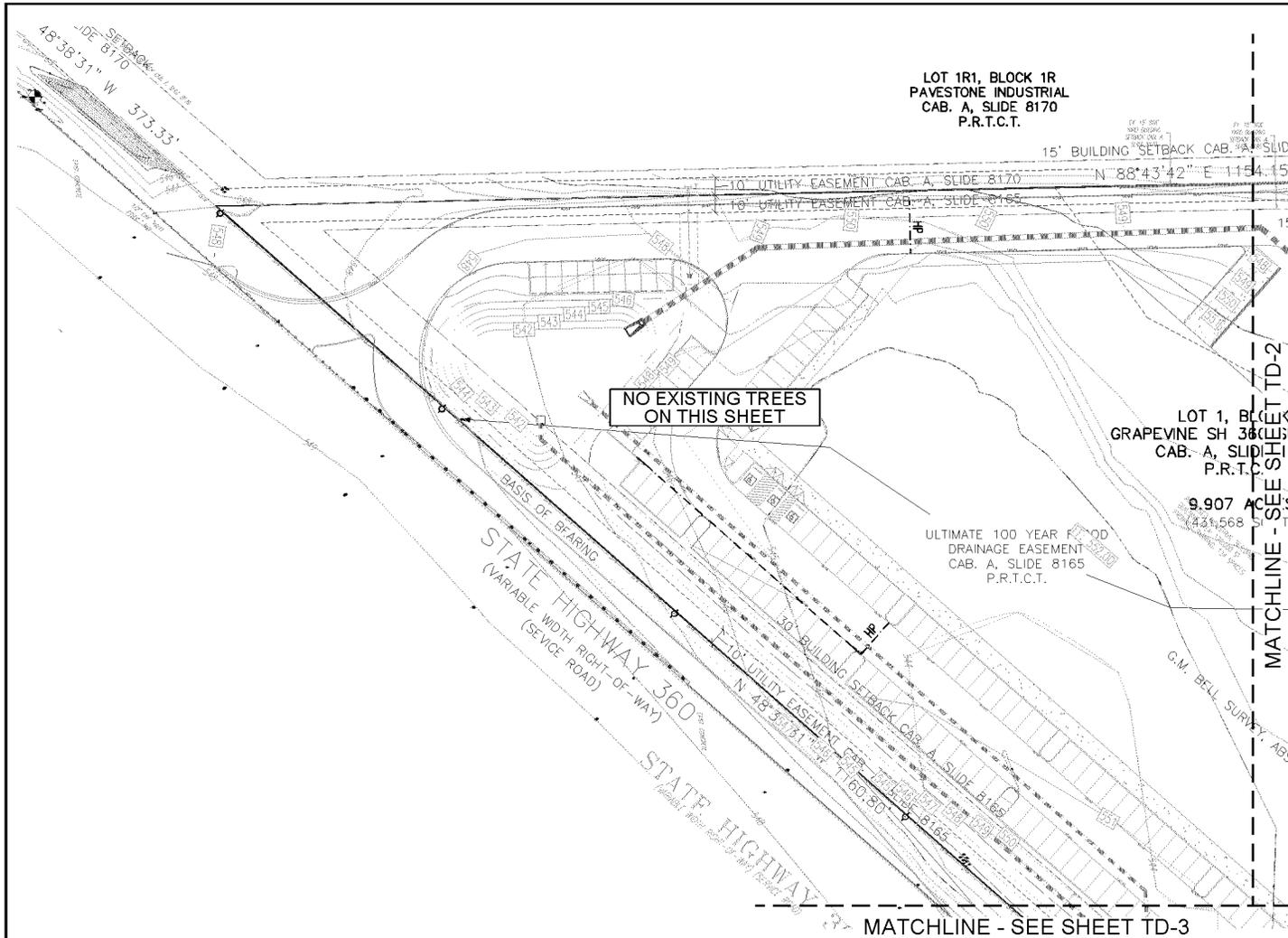
THE BOUNDARY OF QUAD 45 IS SHOWN OUTSIDE QUAD 45 IN CONJUNCTION WITH THE DEVELOPMENT OF A LABORATORY BUILDING, 1001 INDUSTRIAL OFFICE WAREHOUSE BUILDING.

PROJECT: 02/08/2024 - 12009 AM, PM, 10:00 PM  
FILE: C:\Users\rodneym\OneDrive\Documents\Projects\02-08-2024\02-08-2024\02-08-2024.dwg





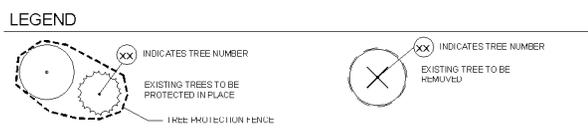




SEE SHEET TD-4  
FOR TREE  
INVENTORY  
CHART



NO EXISTING TREES  
ON THIS SHEET



OWNER:  
EASTON REALTY PARTNERS, LLC  
JUST BY WHITMAN  
2501 NORTH HAWKWOOD STREET, SUITE 2000  
DALLAS, TX 75201  
EMAIL: JWHITMAN@EASTONREALTYPARTNERS.COM

ARCHITECTS:  
ALLIANCE ARCHITECTS  
THOMAS MAXWELL  
1601 N. COLLINS BULLEWARD, SUITE 100  
RICHARDSON, TX 75080  
EMAIL: THOMAS@ALLIANCEARCH.COM

ENGINEER:  
DYNAMIC ENGINEERING CONSULTANTS, P.C.  
JOSHUA EDGE, PE  
714 S. GREENMILL AVENUE, SUITE 100  
AUSTIN, TX 78704  
1-737-454-2700  
EMAIL: JEDGE@DYNAMICCES.COM

LANDSCAPE ARCHITECT:  
EVERGREEN DESIGN GROUP  
RODNEY MCMANUS  
1565 DALLAS PARKWAY, SUITE 600  
AUSTIN, TX 78701  
1-800-848-8411  
EMAIL: RODNEY@EVERGREENDESIGNGROUP.COM

CASE NAME: INDUSTRIAL OFFICE / WAREHOUSE BUILDING  
CASE NUMBER: CU24-02  
LOCATION: 3219 SH 360

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: 3 OF 20

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

PLANNING SERVICES DEPARTMENT

TREE DISPOSITION PLAN  
FOR:  
PROPOSED INDUSTRIAL BUILDING  
LOTS 1, BLOCK 1, GRAPEVINE SH 360 SUBSTATION  
GM BELL SURVEY ABSTRACT NUMBER 214  
011 OF GREENWALD, HANCOCK COUNTY, TEXAS  
1.587 ACRES OR LESS OR 10 FT.  
ZONE: "T10" PLANNED TOWNHOMES LOTS 1-12  
DATE OF PREPARATION: DECEMBER 29, 2023

THE PURPOSE OF CURBIES IS TO ALLOW OUTDOOR STORAGE IN CONJUNCTION WITH THE DEVELOPMENT OF A LABORED SQUARE FOOT INDUSTRIAL OFFICE / WAREHOUSE BUILDING.

NO.	REV.	DATE	COMMENTS

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: PROPOSED INDUSTRIAL WAREHOUSE  
BLOCK 1, LOT 1, GRAPEVINE SH 360 SUBSTATION  
CITY OF DALLAS, HANCOCK COUNTY, TX

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www.dynanmic.com

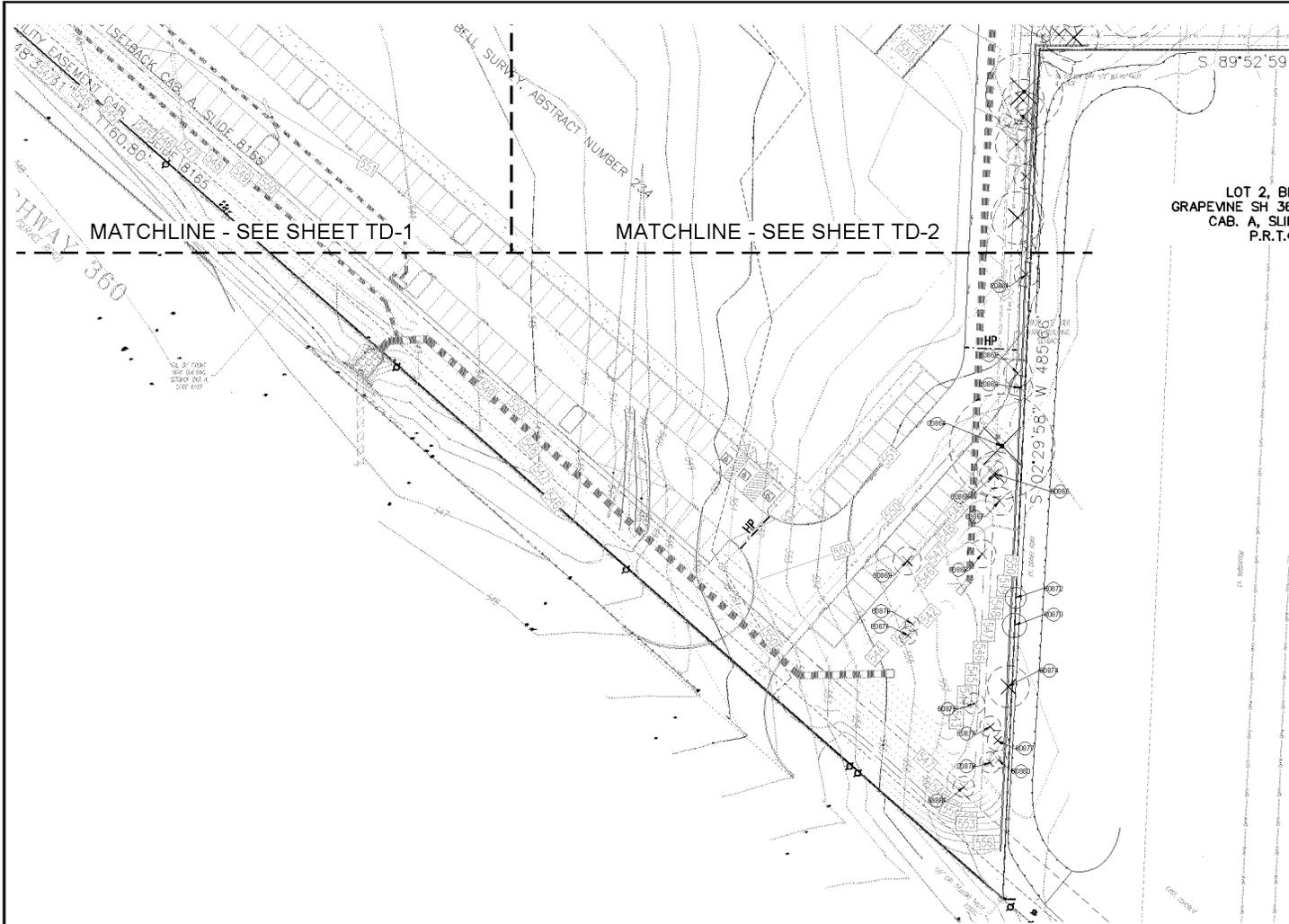


TITLE: TREE DISPOSITION PLAN

DATE: 02/08/2024  
SHEET NO: 4137-99-001  
SHEET: TD-1  
9 OF 20

PROJECT: 02/07/2024 - 1:00 PM, BY: JWHITMAN  
FILE: C:\Users\jwhitman\OneDrive\Documents\Projects\2024\02-08-2024\02-08-2024.dwg





SEE SHEET TD-4  
FOR TREE  
INVENTORY  
CHART

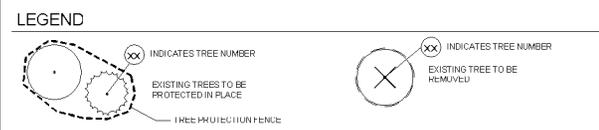


LOT 2, B1  
GRAPEVINE SH 36  
CAB. A, S111  
P.R.T.



Scale 1" = 30'

NOTE: PRINTED DRAWING SIZE  
MAY VARY FROM  
ORIGINAL. VERIFY SCALE USING  
BAR SCALE ABOVE.



OWEN  
EASTON REALTY PARTNERS, LLC  
JUSTIN WHELAN  
2501 NORTH HARKWOOD STREET, SUITE 2000  
DALLAS, TX 75201  
EMAIL: JWH@OWENREALESTATEPARTNERS.COM

ALLIANCE ARCHITECTS  
THOMAS MAXWELL  
1801 N. COLLINS BOULEVARD, SUITE 100  
RICHARDSON, TX 75080  
EMAIL: THOMAS@ALLIANCEARCH.COM

SHULTELL  
DYNAMIC ENGINEERING CONSULTANTS, P.C.  
JOSHUA EDEE, PE  
7145 GREENMILL AVENUE, SUITE 100  
AUSTIN, TX 78742  
T: 737/454-2700  
EMAIL: JED@DYNAMIC.COM

LANDSCAPE ARCHITECT  
EVERGREEN DESIGN GROUP  
RODNEY MCMANUS  
15465 DALLAS PARKWAY, SUITE 600  
AUSTIN, TX 78741  
T: 737/454-2700  
EMAIL: RODNEY@EVERGREENDESIGNGROUP.COM

CASE NAME: INDUSTRIAL OFFICE / WAREHOUSE BUILDING  
CASE NUMBER: CU24-02  
LOCATION: 3219 SH 360

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: 11 OF 20

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT  
WITH ANY CODES OR ORDINANCES

PLANNING SERVICES DEPARTMENT



TITLE: TREE DISPOSITION PLAN

DATE: 02/08/2024

PROJECT NO: 4137-99-001

SHEET NO: TD-3

DATE OF PREPARATION: DECEMBER 29, 2023

THE PURPOSE OF GRADING IS TO ALLOW OUTDOOR STORAGE IN  
CONJUNCTION WITH THE DEVELOPMENT OF A LABORED SQUARE  
FOOT INDUSTRIAL OFFICE WAREHOUSE BUILDING.

TREE DISPOSITION PLAN  
FOR  
PROPOSED INDUSTRIAL BUILDING  
LOT 1, BLOCK 1, GRAPESIDE SH 360 SUBSTATION  
GM, BELL SURVEY ABSTRACT NUMBER 224  
1311 OF GRAPESIDE, HANSON, COUNTY, TEXAS  
1.587 ACRES OR LESS OR 10 FT.  
ZONE: "T10" PLANNED TOWNHOMES LOTS 1-10  
DATE OF PREPARATION: DECEMBER 29, 2023

DATE: 02/13/24, 1:48:17 PM, By: rshah  
FILE: C:\Users\rodneymcmanus\Documents\Projects\4137-99-001\Drawings\TD-3.dwg  
PLOT: 02/13/24, 1:48:17 PM, By: rshah

TREE INVENTORY

TAG#	DBH	COMMON	LATIN	CONDITION	DISPOSITION	PROTECTED	MITIGATION REQUIRED	COMMENTS	TAG#	DBH	COMMON	LATIN	CONDITION	DISPOSITION	PROTECTED	MITIGATION REQUIRED	COMMENTS	
60329	6 RED OAK	QUERCUS SHUMARDII	GOOD	OFFSITE	YES				60715	7 CEDAR ELM	ULMUS CRASSIFOLIA	FAIR	REMAIN	YES				
60330	10 RED OAK	QUERCUS SHUMARDII	FAIR	OFFSITE	YES				60716	8 CEDAR ELM	ULMUS CRASSIFOLIA	FAIR	REMAIN	YES				
60331	6 RED OAK	QUERCUS SHUMARDII	FAIR	OFFSITE	YES				60717	4 CEDAR ELM	ULMUS CRASSIFOLIA	FAIR	REMAIN	YES				
60482	12 GREEN ASH	FRAXINUS PENNSYLVANICA	FAIR	REMAIN	YES				60718	5 POST OAK	QUERCUS STELLATA	FAIR	REMAIN	YES				
60487	7 POST OAK	QUERCUS STELLATA	FAIR	REMAIN	YES				60739	8 CEDAR ELM	ULMUS CRASSIFOLIA	FAIR	REMAIN	YES				
60488	4 HACKBERRY	CELTIS LAEVEGATA	FAIR	REMAIN	NO				60840	6 POST OAK	QUERCUS STELLATA	GOOD	REMAIN	YES				
60490	8 WHITE ASH	FRAXINUS AMERICANA	POOR	REMAIN	YES				60841	4 BRADFORD PEAR	PYRUS CALLERYANA	POOR	REMAIN	YES				
60491	6 POST OAK	QUERCUS STELLATA	FAIR	REMAIN	YES				60842	5 BRADFORD PEAR	PYRUS CALLERYANA	POOR	REMAIN	YES				
60492	20 CEDAR ELM	ULMUS CRASSIFOLIA	FAIR	REMAIN	YES				60843	9 BRADFORD PEAR	PYRUS CALLERYANA	POOR	REMAIN	YES				
60493	4 EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	POOR	OFFSITE	YES				60906	6 CEDAR ELM	ULMUS CRASSIFOLIA	GOOD	REMAIN	YES				
60494	8 HACKBERRY	CELTIS LAEVEGATA	FAIR	REMAIN	NO				60847	6 CEDAR ELM	ULMUS CRASSIFOLIA	FAIR	REMAIN	YES				
60495	8 HACKBERRY	CELTIS LAEVEGATA	FAIR	REMAIN	NO				60848	6 POST OAK	QUERCUS STELLATA	GOOD	REMAIN	YES				
60496	8 HACKBERRY	CELTIS LAEVEGATA	FAIR	REMAIN	NO				60849	8 POST OAK	QUERCUS STELLATA	FAIR	REMAIN	YES				
60497	6 POST OAK	QUERCUS STELLATA	FAIR	REMAIN	YES				60850	8 POST OAK	QUERCUS STELLATA	FAIR	REMAIN	YES				
60498	6 POST OAK	QUERCUS STELLATA	FAIR	REMAIN	YES				60851	8 HACKBERRY	CELTIS LAEVEGATA	FAIR	REMAIN	NO				
60499	8 POST OAK	QUERCUS STELLATA	FAIR	REMAIN	YES				60852	8 HACKBERRY	CELTIS LAEVEGATA	FAIR	REMAIN	NO				
60500	24 POST OAK	QUERCUS STELLATA	FAIR	REMAIN	YES				60853	4 CEDAR ELM	ULMUS CRASSIFOLIA	GOOD	REMAIN	YES				
60501	22 POST OAK	QUERCUS STELLATA	FAIR	REMAIN	YES				60854	4 GREEN ASH	FRAXINUS PENNSYLVANICA	POOR	REMAIN	YES				
60502	12 POST OAK	QUERCUS STELLATA	FAIR	REMAIN	YES				60855	4 CEDAR ELM	ULMUS CRASSIFOLIA	POOR	REMAIN	YES				
60503	16 DEAD	DEAD	DEAD	REMOVE	NO				60856	4 GREEN ASH	FRAXINUS PENNSYLVANICA	POOR	REMAIN	YES				
60504	8 BLACK WILLOW	SALIX NIGRA	POOR	REMAIN	YES				60857	4 GREEN ASH	FRAXINUS PENNSYLVANICA	POOR	REMAIN	YES				
60505	10 AMERICAN ELM	ULMUS AMERICANA	POOR	REMAIN	YES				60858	8 MEXICAN PLUM	PRUNUS MEXICANA	FAIR	REMAIN	YES				
60506	10 BLACK WILLOW	SALIX NIGRA	POOR	REMAIN	YES				60859	7 POST OAK	QUERCUS STELLATA	FAIR	REMAIN	YES				
60507	12 BLACK WILLOW	SALIX NIGRA	POOR	OFFSITE	YES				60860	8 MEXICAN PLUM	PRUNUS MEXICANA	FAIR	REMAIN	YES				
60509	10 BLACK WILLOW	SALIX NIGRA	POOR	OFFSITE	YES				60861	4 POST OAK	QUERCUS STELLATA	GOOD	REMAIN	YES				
60509	8 BLACK WILLOW	SALIX NIGRA	POOR	OFFSITE	YES				60862	9 BRADFORD PEAR	PYRUS CALLERYANA	POOR	REMAIN	YES				
60510	6 HACKBERRY	CELTIS LAEVEGATA	FAIR	REMAIN	NO				60863	8 AMERICAN ELM	ULMUS CRASSIFOLIA	POOR	REMAIN	YES				
60511	10 AMERICAN ELM	ULMUS AMERICANA	FAIR	OFFSITE	YES				60864	6 GREEN ASH	FRAXINUS PENNSYLVANICA	POOR	OFFSITE	YES				
60512	10 AMERICAN ELM	ULMUS AMERICANA	POOR	REMAIN	YES				60865	6 HACKBERRY	CELTIS LAEVEGATA	POOR	OFFSITE	NO				
60513	10 AMERICAN ELM	ULMUS AMERICANA	POOR	REMAIN	YES				60866	8 HACKBERRY	CELTIS LAEVEGATA	POOR	OFFSITE	NO				
60514	10 AMERICAN ELM	ULMUS AMERICANA	POOR	REMAIN	YES				60867	8 HACKBERRY	CELTIS LAEVEGATA	POOR	OFFSITE	NO				
60515	10 HACKBERRY	CELTIS LAEVEGATA	POOR	REMAIN	YES				60868	20 BLACK WILLOW	SALIX NIGRA	POOR	OFFSITE	YES				
60516	8 HACKBERRY	CELTIS LAEVEGATA	POOR	REMAIN	NO				60869	16 POST OAK	QUERCUS STELLATA	GOOD	REMOVE	YES	18	VINES		
60517	8 HACKBERRY	CELTIS LAEVEGATA	POOR	REMAIN	NO				60870	11 POST OAK	QUERCUS STELLATA	GOOD	REMOVE	YES	13	VINES		
60518	8 AMERICAN ELM	ULMUS AMERICANA	POOR	REMAIN	YES				60871	4 GREEN ASH	FRAXINUS PENNSYLVANICA	GOOD	REMOVE	YES	6	VINES		
60519	12 HACKBERRY	CELTIS LAEVEGATA	POOR	REMAIN	YES				60872	8 POST OAK	QUERCUS STELLATA	GOOD	REMOVE	YES	8	VINES		
60520	10 HACKBERRY	CELTIS LAEVEGATA	POOR	REMAIN	YES				60873	14 POST OAK	QUERCUS STELLATA	GOOD	REMOVE	YES	14	VINES		
60521	8 HACKBERRY	CELTIS LAEVEGATA	POOR	REMAIN	YES				60874	14 POST OAK	QUERCUS STELLATA	GOOD	REMOVE	YES	14	VINES		
60522	8 HACKBERRY	CELTIS LAEVEGATA	POOR	REMAIN	YES				60875	7 GREEN ASH	FRAXINUS PENNSYLVANICA	GOOD	REMOVE	YES	7	VINES		
60523	4 HACKBERRY	CELTIS LAEVEGATA	FAIR	REMAIN	NO				60876	11 POST OAK	QUERCUS STELLATA	POOR	REMOVE	YES	13	VINES		
60524	6 HACKBERRY	CELTIS LAEVEGATA	FAIR	REMAIN	NO				60877	14 POST OAK	QUERCUS STELLATA	POOR	REMOVE	YES	14	VINES		
60525	10 CEDAR ELM	ULMUS CRASSIFOLIA	FAIR	REMAIN	YES				60878	7 GREEN ASH	FRAXINUS PENNSYLVANICA	GOOD	REMOVE	YES	7	VINES		
60526	14 AMERICAN ELM	ULMUS AMERICANA	FAIR	REMAIN	YES				60879	11 POST OAK	QUERCUS STELLATA	GOOD	REMOVE	YES	11	VINES		
60527	5 CEDAR ELM	ULMUS CRASSIFOLIA	FAIR	REMAIN	YES				60880	7 HACKBERRY	CELTIS LAEVEGATA	POOR	REMOVE	NO				
60528	5 CEDAR ELM	ULMUS CRASSIFOLIA	FAIR	REMAIN	YES				60881	10 POST OAK	QUERCUS STELLATA	POOR	REMOVE	YES	16	CROWNED, FENCELINE TREE, VINES		
60529	10 CEDAR ELM	ULMUS CRASSIFOLIA	FAIR	REMAIN	YES				60882	8 GREEN ASH	FRAXINUS PENNSYLVANICA	POOR	REMOVE	YES	8	CROWNED, FENCELINE TREE, VINES		
60530	10 CEDAR ELM	ULMUS CRASSIFOLIA	FAIR	REMAIN	YES				60883	8 POST OAK	QUERCUS STELLATA	FAIR	REMOVE	YES	20	VINES, FENCELINE TREE		
60531	10 CEDAR ELM	ULMUS CRASSIFOLIA	FAIR	REMAIN	YES				60884	5 POST OAK	QUERCUS STELLATA	FAIR	REMOVE	YES	5	CROWNED, FENCELINE TREE, VINES		
60532	10 CEDAR ELM	ULMUS CRASSIFOLIA	FAIR	REMAIN	YES				60885	14 POST OAK	QUERCUS STELLATA	POOR	REMOVE	YES	14	CROWNED, FENCELINE TREE, VINES		
60533	12 CEDAR ELM	ULMUS CRASSIFOLIA	FAIR	REMAIN	YES				60886	14 POST OAK	QUERCUS STELLATA	POOR	REMOVE	YES	14	CROWNED, FENCELINE TREE, VINES		
60534	12 CHINESE PRIVET	LIGUSTRUM SINENSE	POOR	REMAIN	YES				60887	7 GREEN ASH	FRAXINUS PENNSYLVANICA	GOOD	REMOVE	YES	7	VINES		
60535	4 HACKBERRY	CELTIS LAEVEGATA	FAIR	REMAIN	NO				60888	11 POST OAK	QUERCUS STELLATA	POOR	REMOVE	YES	12	CROWNED, FENCELINE TREE, VINES		
60536	8 HACKBERRY	CELTIS LAEVEGATA	FAIR	REMAIN	NO				60889	7 HACKBERRY	CELTIS LAEVEGATA	POOR	REMOVE	NO				
60537	8 HACKBERRY	CELTIS LAEVEGATA	FAIR	REMAIN	NO				60890	8 POST OAK	QUERCUS STELLATA	POOR	REMOVE	YES	8	CROWNED, FENCELINE TREE, VINES		
60538	8 HACKBERRY	CELTIS LAEVEGATA	FAIR	REMAIN	NO				60891	8 POST OAK	QUERCUS STELLATA	POOR	REMOVE	YES	8	CROWNED, FENCELINE TREE, VINES		
60539	12 HACKBERRY	CELTIS LAEVEGATA	POOR	OFFSITE	YES				60892	7 POST OAK	QUERCUS STELLATA	POOR	REMOVE	YES	7	CROWNED, FENCELINE TREE, VINES		
60540	6 CEDAR ELM	ULMUS CRASSIFOLIA	FAIR	REMAIN	YES				60893	7 POST OAK	QUERCUS STELLATA	POOR	REMOVE	YES	7	VINES, FENCELINE TREE		
60541	6 HACKBERRY	CELTIS LAEVEGATA	POOR	OFFSITE	NO				60894	29 POST OAK	QUERCUS STELLATA	FAIR	REMOVE	YES	29	DEADWOOD, VINES, FENCELINE TREE		
60542	6 HACKBERRY	CELTIS LAEVEGATA	POOR	OFFSITE	NO				60895	13 WHITE ASH	FRAXINUS AMERICANA	POOR	REMOVE	YES	13	DEADWOOD, VINES, FENCELINE TREE		
60543	6 HACKBERRY	CELTIS LAEVEGATA	POOR	OFFSITE	NO				60896	8 WHITE ASH	FRAXINUS AMERICANA	POOR	REMOVE	YES	8	CROWNED, FENCELINE TREE, VINES		
60544	6 HACKBERRY	CELTIS LAEVEGATA	POOR	OFFSITE	NO				60897	16 MESQUITE	PROSOPIS GLANDULOSA	GOOD	REMOVE	YES	16	MULTI TRUNK		
60545	12 HACKBERRY	CELTIS LAEVEGATA	POOR	OFFSITE	YES				60898	12 MESQUITE	PROSOPIS GLANDULOSA	GOOD	REMOVE	YES	12	MULTI TRUNK		
60546	6 CEDAR ELM	ULMUS CRASSIFOLIA	FAIR	REMAIN	YES				60899	8 MESQUITE	PROSOPIS GLANDULOSA	GOOD	REMOVE	NO				
60547	6 HACKBERRY	CELTIS LAEVEGATA	POOR	OFFSITE	NO				60900	14 MESQUITE	PROSOPIS GLANDULOSA	GOOD	REMOVE	NO				
60548	6 HACKBERRY	CELTIS LAEVEGATA	POOR	OFFSITE	NO				60901	12 BRADFORD PEAR	PYRUS CALLERYANA	FAIR	REMAIN	YES	12	VINES, CROWNED, FENCELINE		
60549	6 BLACK WILLOW	SALIX NIGRA	POOR	REMAIN	YES				60902	6 MESQUITE	PROSOPIS GLANDULOSA	GOOD	REMOVE	NO				
60550	6 BLACK WILLOW	SALIX NIGRA	POOR	REMAIN	YES				60903	6 MESQUITE	PROSOPIS GLANDULOSA	GOOD	REMOVE	NO				
60551	6 BLACK WILLOW	SALIX NIGRA	POOR	REMAIN	YES				60904	6 MESQUITE	PROSOPIS GLANDULOSA	GOOD	REMOVE	NO				
60552	6 BLACK WILLOW	SALIX NIGRA	POOR	REMAIN	YES				60905	6 MESQUITE	PROSOPIS GLANDULOSA	GOOD	REMOVE	NO				
60553	6 BLACK WILLOW	SALIX NIGRA	POOR	REMAIN	YES				60906	6 MESQUITE	PROSOPIS GLANDULOSA	GOOD	REMOVE	NO				
60554	6 BLACK WILLOW	SALIX NIGRA	POOR	REMAIN	YES				60907	6 MESQUITE	PROSOPIS GLANDULOSA	GOOD	REMOVE	NO				
60555	6 BLACK WILLOW	SALIX NIGRA	POOR	REMAIN	YES				60908	6 MESQUITE	PROSOPIS GLANDULOSA	GOOD	REMOVE	NO				
60556	6 BLACK WILLOW	SALIX NIGRA	POOR	REMAIN	YES				60909	6 MESQUITE	PROSOPIS GLANDULOSA	GOOD	REMOVE	NO				
60557	6 BLACK WILLOW	SALIX NIGRA	POOR	REMAIN	YES				60910	6 MESQUITE	PROSOPIS GLANDULOSA	GOOD	REMOVE	NO				
60558	6 BLACK WILLOW	SALIX NIGRA	POOR	REMAIN	YES				60911	6 MESQUITE	PROSOPIS GLANDULOSA	GOOD	REMOVE	NO				
60559	6 BLACK WILLOW	SALIX NIGRA	POOR	REMAIN	YES				60912	6 MESQUITE	PROSOPIS GLANDULOSA	GOOD	REMOVE	NO				
60560	6 BLACK WILLOW	SALIX NIGRA	POOR	REMAIN	YES				60913	6 MESQUITE	PROSOPIS GLANDULOSA	GOOD	REMOVE	NO				
60561	6 BLACK WILLOW	SALIX NIGRA	POOR	REMAIN	YES				60914	6 MESQUITE	PROSOPIS GLANDULOSA	GOOD	REMOVE	NO				
60562	6 BLACK WILLOW	SALIX NIGRA																

**TREE PROTECTION SPECIFICATIONS**

**MATERIALS**

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 24 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T<sup>1</sup> SHARDED WITH A MINIMUM WEIGHT OF 13 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NO. 10 LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY USED MATERIALS MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

**CONSTRUCTION METHODS**

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.

- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS (IF ANY) AND THE EXISTING TREES FOR CLEANING, TRIMMING AND THINNING, AS MAY BE REQUIRED.

- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ), EQUAL TO 1 FT FROM THE TRUNK FOR EVERY 1" OF DBH AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TO BE HIGHER, RAATHER THAN INDIVIDUALLY.

- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTIONS SIGN, LIGHT AND CATCHER.

- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.

- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSIDE (PALM SIDE) BY THE USE OF STAPLES. WIRE SHALL BE SECURELY FASTENED TO THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.

- WITHIN THE CRZ:
  - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
  - DO NOT STORE, STORPILE OR DUMP ANY JUNK MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
  - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
  - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING, LUMBER CUTTING).
  - DO NOT NAIL OR ATTACH TEMPORARY SIGNS, METERS, SWITCHES, WIRES, BRACKETS OR ANY OTHER ITEM TO THE TREES.
  - DO NOT REMOVE BRANCHES FROM MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OR) ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF. SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.

- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, PREPARE UNDER THE ROOTS, OR TAKE UTILITY SEVERING MEASURES.

- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.

- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY FOR OAKS ONLY. ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES.

- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.

- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE PROJECT OWNERS AND LOCAL JURISDICTION'S.

- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.

- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.

- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

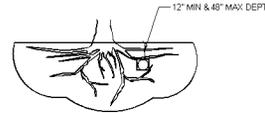
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWN WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.

- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.

- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



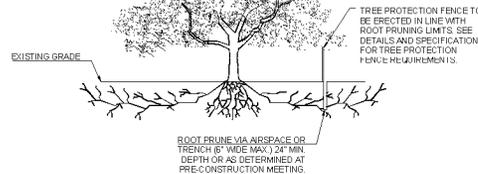
TUNNEL TO MINIMIZE ROOT DAMAGE TOP AS OPPOSED TO SURFACE DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CANNOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IN EXISTING TREE ROOT ZONE UNLESS EXCEED 3' OR ROOTS CAN BE BENT BACK.

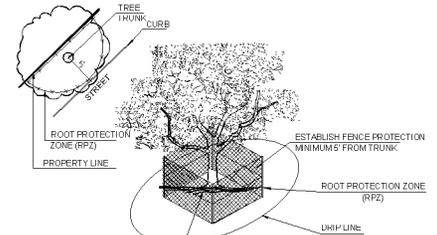
**C BORING THROUGH ROOT PROTECTION ZONE**  
SCALE: NOT TO SCALE

- NOTES
- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
  - BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
  - EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN CONJUNCTION WITH THE FORESTRY INSPECTOR.
  - TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
  - ROOTS SHALL BE CLEANLY CUT USING MERTORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
  - ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
  - SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



**D ROOT PRUNING DETAIL**  
SCALE: NOT TO SCALE

**A TREE PROTECTION FENCE**  
SCALE: NOT TO SCALE



- NOTES
- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE AND UNDER DRIP LINE AS MINIMAL PROTECTION FOR ROOTS FROM CONSTRUCTION ACTIVITIES.
  - FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

**B TREE PROTECTION FENCE - TIGHT CONSTRUCTION**  
SCALE: NOT TO SCALE

CASE NAME: INDUSTRIAL OFFICE / WAREHOUSE  
CASE NUMBER: CU24-02  
LOCATION: 3219 SH 360

MAYOR SECRETARY

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN

DATE: \_\_\_\_\_

SHEET: 11 OF 20

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
PLANNING SERVICES DEPARTMENT

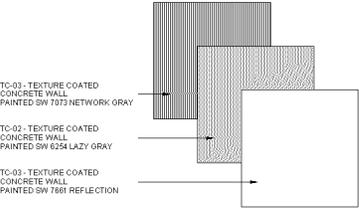
TREE DISPOSITION PLAN FOR

PROPOSED INDUSTRIAL BUILDING  
LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 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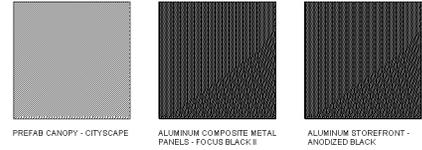
DRAWING RECORD	Date	Description
1/10/2024	1/10/2024	SITE PLAN SUBMITTAL
1/16/2024	1/16/2024	SITE PLAN RESUBMITTAL
1/25/2024	1/25/2024	SITE PLAN RESUBMITTAL
2/13/2024	2/13/2024	SITE PLAN RESUBMITTAL

**FAÇADE MATERIALS**

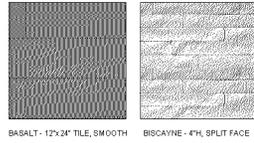
**PAINT COLORS**



**METALS**



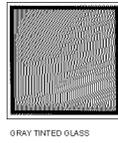
**STONE**



**FORMLINER**



**GLASS**



**MATERIAL PERCENTAGES**

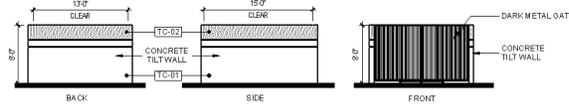
ELEVATION	(EXCLUDING DOORS AND WINDOWS)				(DOORS/ LOUVERS)		GLASS	TOTAL
	PAINTED TEXTURED CONCRETE	STONE	FORMLINER PATTERN	METAL PANELS & CANOPIES	DOORS/ LOUVERS	GLASS		
<b>NORTH</b>	13,615 SF 81.4%	0 SF 0%	9 SF 0%	9 SF 0%	2,710 SF 16.2%	400 SF 2.4%	16,725 SF 100%	
<b>SOUTH</b>	15,844 SF 63.7%	4,414 SF 17.7%	1,190 SF 4.8%	454 SF 1.8%	95 SF 0.4%	2,889 SF 11.9%	24,886 SF 100%	
<b>EAST</b>	6,531 SF 76.8%	1,363 SF 14.7%	467 SF 5.6%	96 SF 1.1%	72 SF 0.8%	745 SF 8.9%	8,274 SF 100%	
<b>WEST</b>	6,907 SF 70.6%	1,363 SF 13.9%	631 SF 6.3%	96 SF 1.0%	73 SF 0.7%	745 SF 7.6%	9,815 SF 100%	

**MATERIAL LEGEND**

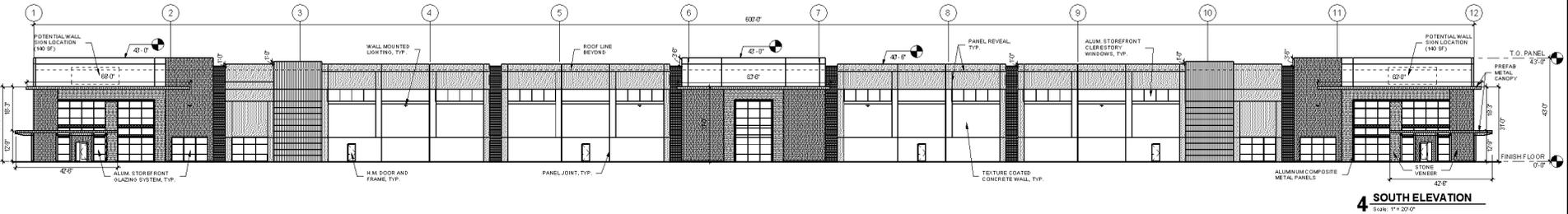
- TC-01 - TEXTURE COATED CONCRETE PAINTED SW 7681 REFLECTION
- TC-02 - TEXTURE COATED CONCRETE PAINTED SW 6254 LAZY GRAY
- TC-03 - TEXTURE COATED CONCRETE PAINTED SW 7033 NETWORK GRAY
- FORMLINER PATTERN SPEC FORMLINERS PATTERN 1732 ON TC-03
- ST-01 - THIN STONE VENEER ARRISORAIT - BISCAYNE MIDTOWN 3-9" SF
- ST-02 - THIN STONE VENEER ARRISORAIT - BASALT ARRIS-CLIP 11-9" SF
- MTL-01 - PREFAB METAL CANOPY CITYSCAPE
- MTL-02 - ALUMINUM COMPOSITE METAL PANELS FOCUS BLACK II
- AL-02 - ALUMINUM STOREFRONT SYSTEM BLACK ANODIZED ALUMINUM
- GL-01 - CLEAR GLAZING GRAY TINTED GLASS

**BUILDING ELEVATION NOTES:**

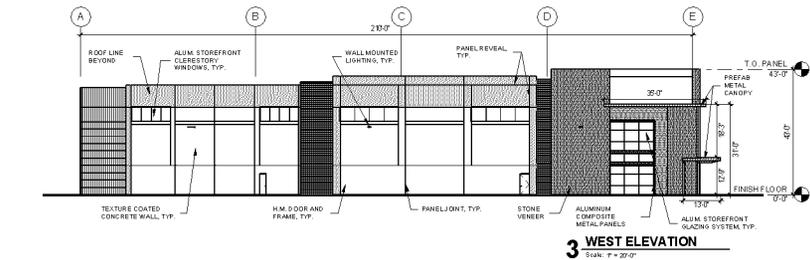
- ALL SIGNAGE SUBJECT TO BUILDING SERVICES DEPARTMENT APPROVAL.
- MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR.



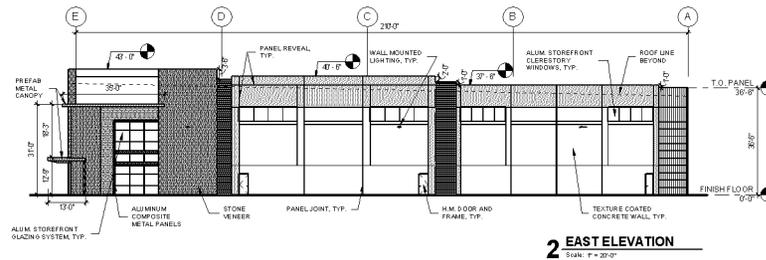
**5 DUMPSTER ENCLOSURE**  
Scale: 1/8" = 1'-0"



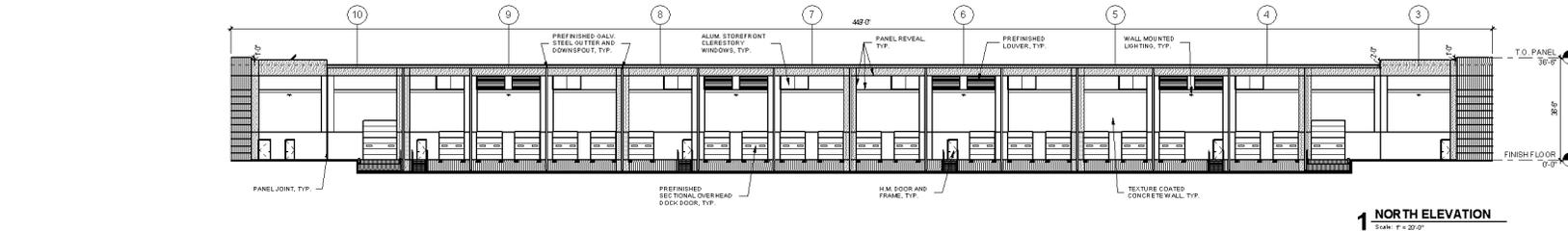
**4 SOUTH ELEVATION**  
Scale: 1/4" = 3'-0"



**3 WEST ELEVATION**  
Scale: 1/4" = 3'-0"



**2 EAST ELEVATION**  
Scale: 1/4" = 3'-0"



**1 NORTH ELEVATION**  
Scale: 1/4" = 3'-0"

CASE NAME: INDUSTRIAL OFFICE BARN/WAREHOUSE BUILDING  
CASE NUMBER: 2024-0002  
LOCATION: 3219 SH 360

MAYOR: \_\_\_\_\_ SECRETARY: \_\_\_\_\_

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN: \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: 14 OF 20

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

PLANNING SERVICES DEPARTMENT

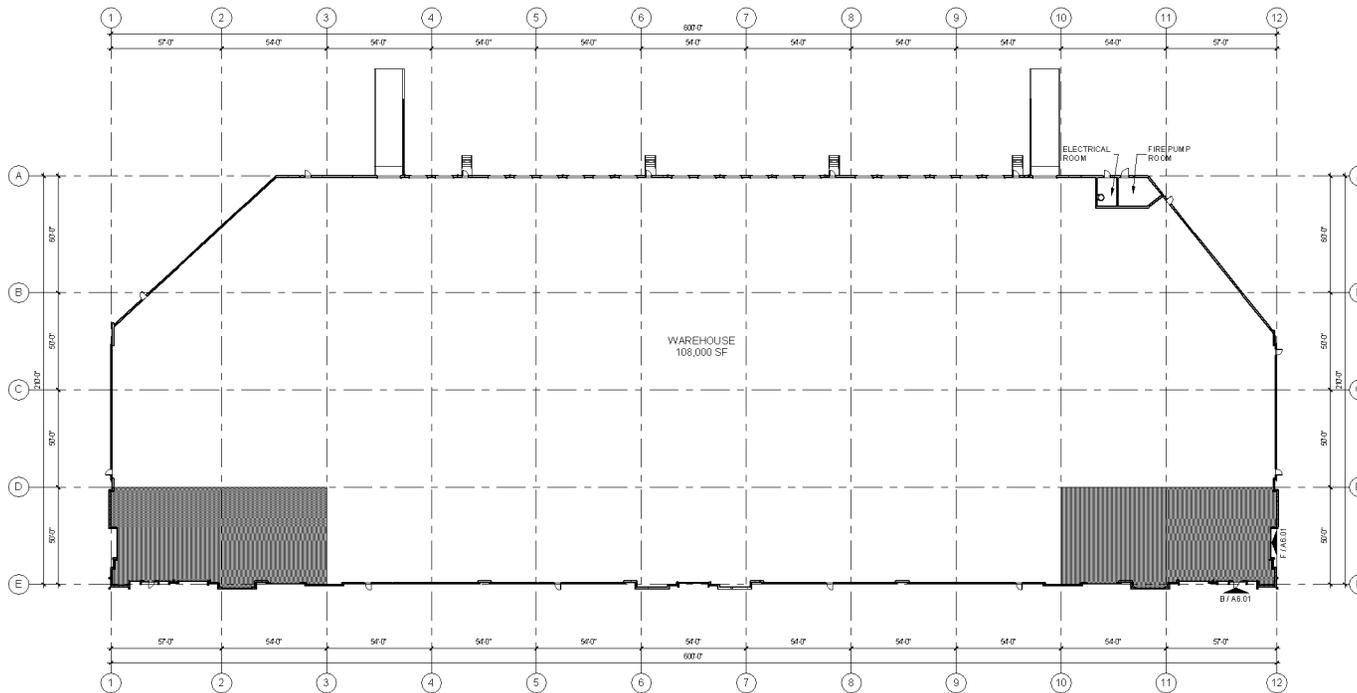
**BUILDING ELEVATIONS**  
FOR  
PROPOSED INDUSTRIAL BUILDING  
LOTS 1, BLOCK 1, GRAPEVINE SA-300 SUBSTATION  
& BELL LINE INDUSTRIAL CENTER  
CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS  
4307 ACRES OR BE MORE FT.  
ZONE: PFD PLANNED INDUSTRIAL DISTRICT  
DATE OF PREPARATION: JANUARY 16, 2024

THE PURPOSE OF CUP-240 IS TO ALLOW OUTDOOR STORAGE IN CONJUNCTION WITH THE DEVELOPMENT OF A 120,000 SQUARE FOOT INDUSTRIAL OFFICE/WAREHOUSE BUILDING.

**PRELIMINARY**

THOMAS M. MAXWELL  
REG. #TC-15733  
NOT FOR REGULATORY  
APPROVAL, PERMITTING OR  
CONSTRUCTION

01/15/2024



**BUILDING AREA BREAKDOWN**  
TOTAL BUILDING AREA: 120,000 SF  
WAREHOUSE (S-1): 108,000 SF  
FUTURE OFFICE (B-1): 12,000 SF



**1 OVERALL FLOOR PLAN**  
Scale: 1/8" = 1'-0"

CASE NAME: INDUSTRIAL OFFICE/WAREHOUSE BUILDING  
CASE NUMBER: CC2402  
LOCATION: 3219 SH 360

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: \_\_ of \_\_

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

PLANNING SERVICES DEPARTMENT

**BUILDING AREA BREAKDOWN**  
FOR:  
PROPOSED INDUSTRIAL BUILDING  
LOTS 1, BLOCK 1, GRAPEVINE SA-300 SUBSTATION  
& BELL COUNTY ABSTRACT NUMBER 228  
CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS  
8.907 ACRES OR 81,989 SQ. FT.  
ZONE: PFD PLANNED INDUSTRIAL DISTRICT  
DATE OF PREPARATION: JANUARY 16, 2024

THE PURPOSE OF CC2402 IS TO ALLOW OUTDOOR STORAGE IN CONJUNCTION WITH THE DEVELOPMENT OF A 120,000 SQUARE FOOT INDUSTRIAL OFFICE/WAREHOUSE BUILDING.

**3220 TX-360**  
3219 STATE HIGHWAY 360  
GRAPEVINE, TX

**BUILDING AREA BREAKDOWN**

DRAWING RECORD	
Date	Description
01/16/2024	SITE PLAN SUBMITTAL
02/05/2024	SITE PLAN SUBMITTAL
01/30/2024	SITE PLAN SUBMITTAL

**FEP.02**

PROJECT NO.: 2023204

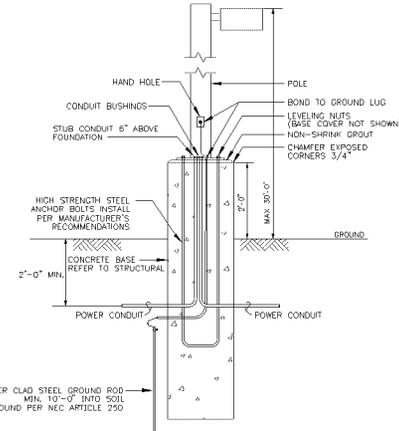
©COPY RIGHT 2024 ALLIANCE ARCHITECTS, L.P.



AUS JOB # 4279401-23

TYPE	DESCRIPTION	VOLTAGE	LUMENS	TYPE	MOUNTAGE	MANUFACTURER / CAT. #
A	WALL MOUNTED FULL CUTOFF FIXTURE WITH TYPE 4 FINISHED THROU PRECISE OPTICS, 72,400 LUMENS, BRONZE FINISH	UNIVERSAL	72,400LM	LED	WALL	GEN GALEEN 0 GALN-5448-740-U-1411-WM-BZ
B	WALL MOUNTED FULL CUTOFF FIXTURE WITH TYPE 4 NOISE PRECISE OPTICS, 21,520 LUMENS, BRONZE FINISH	UNIVERSAL	21,520LM	LED	WALL	GEN GALEEN 0 GALN-5448-740-U-1411-WM-BZ
C	FULL CUTOFF SITE FIXTURE ON 30' SQUARE GROUP STEEL POLE, TYPE 4 NOISE OPTICS, 21,520 LUMENS, BRONZE FINISH	UNIVERSAL	21,520LM	LED	POLE	GEN GALEEN 0 GALN-5448-740-U-1411-WM-BZ ON 30' POLE

NOTES:  
A. ARCHITECT TO SELECT AND VERIFY ALL FINISHES AND FIXTURES PRIOR TO PURCHASE.  
B. PROVIDE LUMINAIRE DISCONNECT FOR ALL FLUORESCENT LIGHT FIXTURES CONTAINING DOUBLE ENDED LAMPS IN ACCORDANCE WITH NEC ARTICLE 250.119.  
C. ACCEPTABLE MANUFACTURERS ARE: LSI, EPOCH, PHILIPS, HARBELL, KORN LIGHT, AGUTY.



2 SITE LIGHTING FIXTURE POLE BASE DETAIL  
SCALE: NONE

**GENERAL NOTES:**

- A. ALL ON-SITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.
- B. ILLUMINATED SIGNAGE WAS INCLUDED IN THE DETERMINATION OF TENT ILLUMINATION LEVELS.

1 SITE PLAN - ELECTRICAL  
SCALE: T = 40'-0"

CONTRACTOR SHALL COORDINATE MEP DRAWINGS WITH ALL OTHER DISCIPLINES

CASE NAME: INDUSTRIAL OFFICE/WAREHOUSE BUILDING  
CASE NUMBER: 020402  
LOCATION: 3220 TX-360

MAJOR: \_\_\_\_\_ SECRETARY: \_\_\_\_\_

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN: \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: 16 OF 20

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

PLANNING SERVICES DEPARTMENT

PHOTOMETRIC PLAN FOR PROPOSED INDUSTRIAL BUILDING LOTS 1, BLOCK 1, GRAPEVINE ENERGY SUBSTATION 0-4-BELL COUNTY ABSTRACT NUMBER 224 CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS 6467 SQUARE FEET OR LESS OR FT. ZONE: 310' PLANNED INDUSTRIAL DISTRICT DATE OF PREPARATION: JANUARY 16, 2024

THE PURPOSE OF CUD-402 IS TO ALLOW OUTDOOR STORAGE IN CONJUNCTION WITH THE DEVELOPMENT OF A 60,000 SQUARE FOOT INDUSTRIAL OFFICE/WAREHOUSE BUILDING.

ELECTRICAL - SITE PLAN

DATE	DESCRIPTION
10/2/2024	SITE PLAN SUBMITTAL
11/8/2024	SITE PLAN RESUBMITTAL
10/2/2024	SITE PLAN RESUBMITTAL

Luminaire Schedule	Qty	Label	Arrangement	Description	LF	Luminaire Lumens	Luminaire Watts	Total Watts
□	9	A	Single	GALB-SA4B-740-0-74FF	0.900	22480	184	1475
□	4	B	Single	GALB-SA4B-740-0-24W	0.900	22336	168	656
□	4	C	Single	GALB-SA4B-740-0-24W	0.900	30625	245	980

CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Overall Illuminance	Fc	0.24	4.3	0.0	N.A.	N.A.
Packing Lot - South Illuminance	Fc	1.80	4.1	0.3	3.80	8.20
Packing Lot - West Illuminance	Fc	2.11	4.1	0.3	4.22	8.20
Truck Court Illuminance	Fc	1.31	4.1	0.3	4.37	13.67

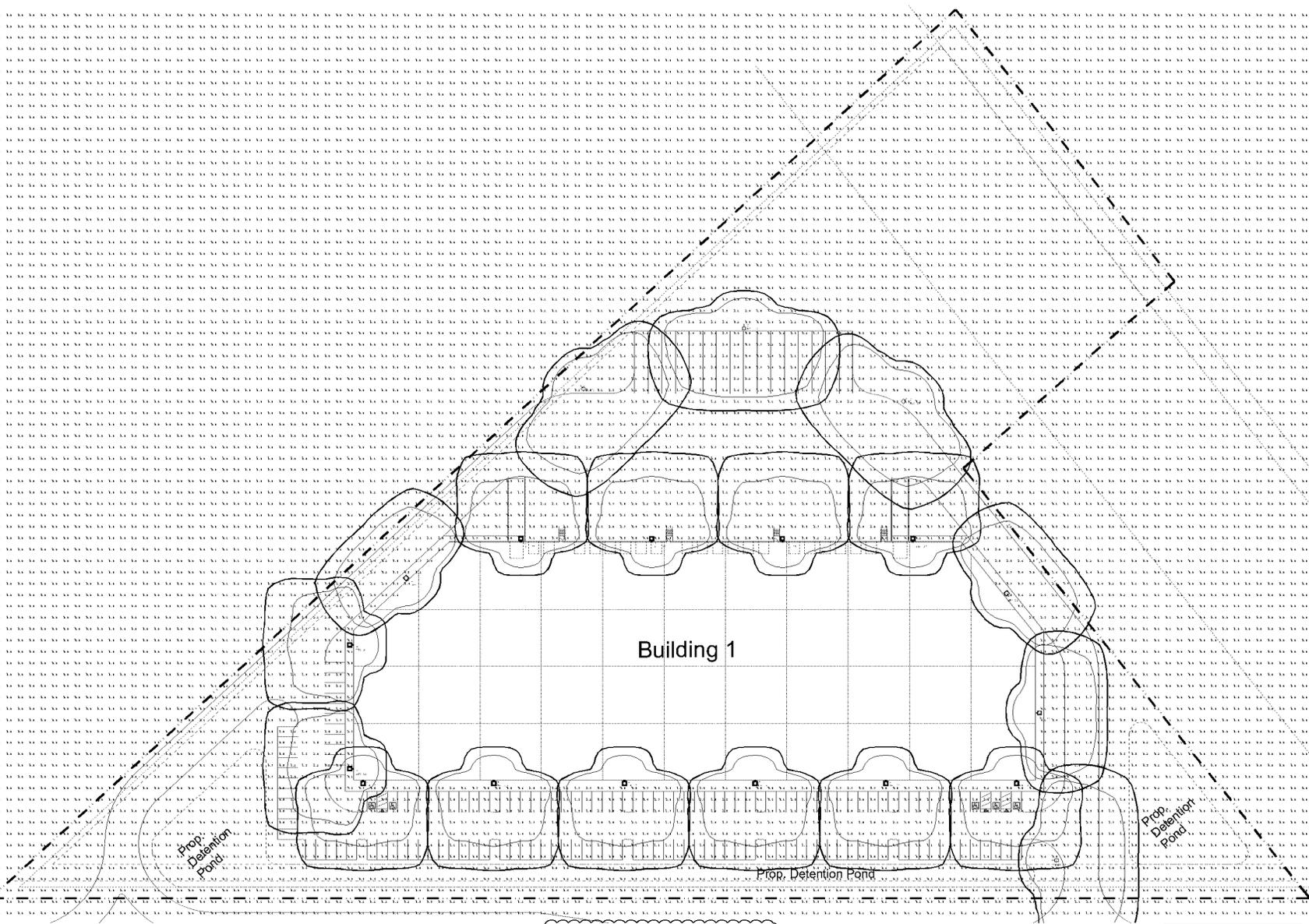
NOTES:  
1. Pole Mounted Fixtures, mounted at 30' AFF.  
2. Wall Mounted Fixtures, mounted at 25' AFF.

800P RIGHT SIDE ALLIANCE ARCHITECTS, INC.



Texas Registered Engineering Firm No. 181  
10210 Lakeside Parkway, Suite 100  
Dallas, TX 75243-1811  
www.aoseng.com

AOS JOB# 4295401-23



Building 1

Prop. Detention Pond

Prop. Detention Pond

Prop. Detention Pond

**GENERAL NOTES:**  
A. ALL ON-PREMISE LIGHT FIXTURES INCLUDING BUSH ARE NOT TO EXCEED 30 FEET AND RECESSED TO AVOID CLASH.

**1 SITE PLAN - PHOTOMETRICS**  
SCALE: T = 40'-0"

CONTRACTOR SHALL COORDINATE MEP DRAWINGS WITH ALL OTHER DISCIPLINES

CASE NAME: INDUSTRIAL OFFICE/WAREHOUSE BUILDING  
CASE NUMBER: C02402  
LOCATION: 3220 TX-360

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN: \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: 07 OF 20

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

PLANNING SERVICES DEPARTMENT

PHOTOMETRIC PLAN FOR PROPOSED INDUSTRIAL BUILDING LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100. CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS. 400' SEE PLAN FOR DIMENSIONS. ZONE: 190' PLANNED INDUSTRIAL DISTRICT. DATE OF PREPARATION: JANUARY 16, 2024.

THE PURPOSE OF C02402 IS TO ALLOW OUTDOOR STORAGE IN CONJUNCTION WITH THE DEVELOPMENT OF A 60,000 SQUARE FOOT INDUSTRIAL OFFICE/WAREHOUSE BUILDING.

**3220 TX-360**  
3219 STATE HIGHWAY 360  
GRAPEVINE, TX

PHOTOMETRICS - SITE PLAN

DATE	DESCRIPTION
10/2/2024	SITE PLAN SUBMITTAL
11/8/2024	SITE PLAN RESUBMITTAL
1/2/2024	SITE PLAN RESUBMITTAL

**E1.2**  
PROJECT NO.: 2023204



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**McGraw-Edison GALN Galleon II**

**Mounting Details**

**File Configuration Options**

2' 0" SP (Round poles only)    4' 0" SP    7' 0" SP    9' 0" SP (Round poles only)

**File Drilling Patterns**

Type "M"    Type "M"

**Quick Mount Universal Arm (SU)**

**Quick Mount Mast Arm (SM)**

**Pole Mount Arm with Quick Mount Adapter (SM)**

**Mast Arm, Fixed (MA)**

**Overhang Arm (OT)**

**Wall Mount, Fixed (WM)**

**McGraw-Edison GALN Galleon II**

**Ordering Information**

SAMPLE NUMBER: GALN-SA4B-740-U-T4W-WM-BZ

Part Number	Description	Quantity	Unit Price	Total Price	Notes
3000000000	3000000000	1	100.00	100.00	
3000000000	3000000000	1	100.00	100.00	

**Notes:**

1. See General Engineering Notes for details on mounting and wiring. See also the McGraw-Edison website for more information.

2. See the McGraw-Edison website for more information on the GALN Galleon II product line.

3. See the McGraw-Edison website for more information on the GALN Galleon II product line.

**EASTON REALTY HWY 360**    **GALN-SA4B-740-U-T4W-WM-BZ**    **B**

**McGraw-Edison GALN Galleon II**

**Area / Site Luminaire**

**Product Features**

- Interactive Menu
- Lumen packages (range from 3,300 - 73,500 (33W - 552W))
- 17 optical distributions
- Efficacy up to 159 lumens per watt

**Product Certifications**

• ENEC    • IESNA    • IEC    • UL    • VDE

**Connected Systems**

- WaveLink Lite
- WaveLink

**Dimensional Details**

**Standard Pole Mount Arm**

Arm Length	Height	Width	Weight
1.4	1.4	22"	19.6
1.4	2.2"	22"	28.6
1.4	3.2"	22"	48.6

**Pole Drilling Pattern**

Type "M"

**3220 TX-360**  
3219 STATE HIGHWAY 360  
GRAPEVINE, TX

CASE NAME: INDUSTRIAL OFFICEMANWAREHOUSE BUILDING  
CASE NUMBER: CUD402  
LOCATION: 3219 HW 360

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN: \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: 16 OF 20

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

PLANNING SERVICES DEPARTMENT

**PHOTOMETRIC PLAN**

PROPOSED INDUSTRIAL BUILDING  
LOTS 1, BLOCK 4, GRAPEVINE ENERGY SUBSTATION  
0.4-BELL COUNTY ABSTRACT NUMBER 204  
CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS  
4367 ACRES OR THEREABOUTS  
ZONE: PUD-PLANNED INDUSTRIAL DISTRICT  
DATE OF PREPARATION: JANUARY 16, 2024

CONTRACTOR SHALL COORDINATE MEP DRAWINGS WITH ALL OTHER DISCIPLINES

THE PURPOSE OF CUD402 IS TO ALLOW OUTDOOR STORAGE IN CONNECTION WITH THE DEVELOPMENT OF A 60,000 SQUARE FOOT INDUSTRIAL OFFICEMANWAREHOUSE BUILDING.

**LIGHTING SPECIFICATIONS**

DATE	DESCRIPTION
10/2/2024	SITE PLAN SUBMITTAL
11/8/2024	SITE PLAN RESUBMITTAL
02/29/2024	SITE PLAN RESUBMITTAL

**E2.2**

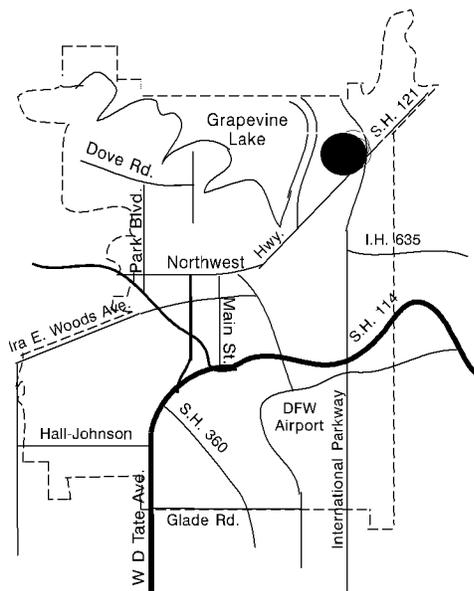


TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE  
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
ERICA MARONIC, DIRECTOR OF PLANNING SERVICES

MEETING DATE: MARCH 19, 2024

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF  
CONDITIONAL USE APPLICATION CU24-06, MEOW WOLF



APPLICANT: Kelly Schwartz

PROPERTY LOCATION AND SIZE:

The subject property is located at 3000 Grapevine Mills Parkway, #253 and platted as Block 1, Lot 1R3, Grapevine Mills Addition, Phase 1. The addition contains 136.92 acres and has approximately 2,388 feet of frontage along State Highway 26 and 1,834 feet of frontage along Grapevine Mills Parkway (F.M. 2499).

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to amend the previously approved site plan of CU20-17 (Ord. 2000-044) for a planned commercial center in excess of 1,000,000 square feet of gross leasable space. This request is specifically to allow the possession, storage, retail sales and on- and off-premise consumption of alcoholic beverages (beer, wine and mixed beverages) in conjunction with an existing café inside Meow Wolf.

Meow Wolf is a 44,400 square foot arts and entertainment business which was established on the subject site in July 2023. With this request the applicant proposes to offer alcoholic beverages (beer, wine and mixed beverages) to its patrons for on- and off-premise consumption. The dining seating will accommodate 32 patrons. The main access is through the mall with a secondary access from a parking lot. The total required parking is 478 parking spaces and 8,467 parking spaces are provided.

## PRESENT ZONING AND USE:

The subject site was zoned “L-1”, Light Industrial District prior to the 1984 City-wide rezoning at which time the subject site was rezoned to “HCO”, Hotel/Corporate Office District and “PID”, Planned Industrial Development District. The subject property was rezoned to “CC”, Community Commercial District with Z95-13 (Ord. 1995-82) on October 17, 1995.

The property is currently zoned “CC”, Community Commercial District with a planned commercial center in excess of 1,000,000 square feet of gross leasable space designation and is developed as the Grapevine Mills Mall.

## HISTORY OF TRACT AND SURROUNDING AREA:

- On January 16, 1996, City Council approved CU95-36 (Ord. 1996-05) for development of a planned commercial center in excess of 1,000,000 square feet of gross leasable area.
- On August 6, 1996, City Council approved ADD96-01 (Res. 1996-34) to CU95-36 for 8 public entryway features.
- On September 17, 1996, City Council approved CU96-26 (Ord. 1996-79) to revise the site layout, the ring road configuration, and access to residential properties to the west.
- On February 18, 1997, City Council approved CU97-05 (Ord. 1997-09) to allow alcoholic beverage sales (Sega Gameworks) and amend the site layout.
- On February 18, 1997, City Council approved CU97-06 (Ord. 1997-11) to amend the previously approved site plan for development of a theater (AMC Theater) with 30 screens.
- On February 18, 1997, City Council approved SU97-04 (Ordinance 1997-10) to allow skill-oriented games in excess of eight (8) machines and two (2) billiard tables.
- On March 18, 1997, City Council approved CU97-13 (Ord. 1997-28) to allow for alcoholic beverage sales in conjunction with a restaurant (The American Wilderness Experience).
- On April 15, 1997, City Council approved CU97-18 (Ord. 1997-40) to allow for alcoholic beverage sales in conjunction with a restaurant (Rainforest Cafe).
- On June 3, 1997, City Council approved CU97-29 (Ord. 1997-55) to allow additional signage for the entire Grapevine Mills Mall project including the outparcel areas. On

July 1, 1997, City Council modified CU97-29 to allow for an 80-foot entertainment globe.

- On June 19, 1997, City Council approved CU97-25 (Ord. 1997-57) to allow for alcoholic beverage sales in conjunction with a restaurant (Tres Hombres) located in the outparcel area.
- On July 15, 1997, City Council approved CU97-36 (Ord. 1997-72) to allow for the development of a retail use in the outparcel area (Michael's Arts and Crafts Store).
- On August 19, 1997, City Council approved CU97-42 (Ord. 1997-92) to allow the development of a retail tire store in the outparcel area (Discount Tire).
- On November 18, 1997, City Council approved Z97-22 (Ord. 1997-125) to rezone 11.825 acres from "PCD", Planned Commerce Development District and 26.43 acres from "HCO", Hotel/Corporate Office District to "CC", Community Commercial District for the development of Bass Pro Shops Outdoor World and Embassy Suites Hotel. The 38.255-acre Phase 2 development was incorporated into the overall Grapevine Mills planned commercial center located to the southeast of the mall proper across State Highway 26 and bordered also by the southbound service road of State Highway No. 121 and Bass Pro Drive (Bethel Road).
- On November 18, 1997, City Council approved CU97-60 (Ord. 1997-126) and CU97-61 (Ord. 1997-127) to incorporate Bass Pro Shops Outdoor World and Embassy Suites Hotel into the Grapevine Mills planned commercial center and also allow for on-premises consumption of alcoholic beverages and seven 40 foot pole signs.
- On November 18, 1997, City Council approved CU97-62 (Ord. 1997-128) to amend the previously approved site plan for a 39,870 square foot retail furniture store (Rooms to Go).
- On November 18, 1997, City Council approved CU97-63 (Ord. 1997-129) to amend the previously approved site plan for a 3,822 square foot restaurant (Chick Fil A).
- On November 18, 1997, City Council approved CU97-64 (Ord. 1997-130) which allowed for off-premise consumption of alcoholic beverages (wine only) for a lease space within the mall proper (Baxter's).
- On December 19, 1997, City Council approved CU97-68 (Ord. 1997-147) for the development of a 3,855 square foot health care facility (Primacare) in the Phase 1, outparcel area.
- On January 20, 1998, City Council approved CU97-75 (Ord. 1998-10) to amend the

mall signage plan for wall signage associated with outparcel tenants.

- On January 20, 1998, City Council approved CU97-76 (Ord. 1998-11) to amend the site plan for a 10,095 square foot restaurant (Cozymel's) in the Phase 1, outparcel area.
- On February 3, 1998, City Council approved CU98-03 (Ord. 1998-17) to amend the floor plan for Dick Clark's American Bandstand restaurant.
- On February 3, 1998, City Council approved CU98-07 (Ord. 1998-40) to allow on-premise consumption of alcoholic beverages in conjunction with a restaurant (Corner Bakery).
- On June 16, 1998, City Council approved CU98-21 (Ord. 1998-74) to amend the floor plan for a restaurant (American Wilderness) with on premise consumption of alcohol beverage in the outparcel area.
- On June 16, 1998, City Council approved a request for temporary parking areas at Anchor Pads A and B through January 15, 1999.
- On September 15, 1998, City Council approved CU98-47 (Ord. 1998-116) to amend the floor plan for Cozymel's in the outparcel area of the Grapevine Mills Mall.
- On September 15, 1998, City Council approved CU98-48 (Ord. 1998-117) to establish a restaurant (MJ's Chop House/Mason Jar) with on premise consumption of alcohol beverage in the outparcel area.
- On September 15, 1998, City Council approved CU98-49 (Ord. 1998-118) to allow for canopy extensions over the main entrance and ticket window areas of the AMC Theater complex at Grapevine Mills.
- On October 20, 1998, City Council approved CU98-57 (Ord. 1998-130) to allow for the development of a restaurant (Black-Eyed Pea) with alcohol beverage sales in the Phase 1, outparcel area.
- On November 17, 1998, City Council approved CU98-59 (Ord. 1998-135) to allow alcoholic beverage sales throughout the premises for "special events" at Sega Gameworks.
- On December 15, 1998, City Council approved CU98-63 (Ord. 1998-151) to allow for a 6-story, 121-room hotel (Ameri Suites) in the outparcel area.
- On February 2, 1999, City Council approved CU98-79 (Ord. 1999-17) to allow a revision to the floor plan for Sega Gameworks.

- On March 23, 1999, City Council approved CU99-12 (Ord. 1999-16) to allow revisions to Anchor “G” specifically building area reduction from i 35,790 square feet to 26,500 square feet for Iguana Ameramex.
- On April 20, 1999, City Council approved CU99-17 (Ord. 1999-61) for a restaurant in the mall proper (Jekyll and Hyde) with on-premise alcoholic beverage sales (beer, wine, and mixed drinks).
- On May 18, 1999, City Council approved CU99-27 (Ord. 1999-83) to allow for the construction of a partial stone wall with trellis along the rear elevation of an existing restaurant (Cozymel’s).
- On July 20, 1999, City Council approved CU99-41 (Ord. 1999-109) for a 7,189 square foot restaurant (Bennigan’s) with on-premise consumption of alcoholic beverages (beer, wine, and mixed drinks) in the Phase 1, outparcel area.
- On November 16, 1999, City Council approved CU99-60 (Ord. 1999-163) to amend the previously approved site plan for a mall expansion Anchor “A.”
- On November 16, 1999, City Council approved CU99-61 (Ord. 1999-164) to amend the previously approved parking layout for Rooms-To-Go.
- On November 16, 1999, City Council approved CU99-63 (Ord. 1999-165) for a restaurant (Trail Dust) with on-premise alcohol beverage sales in the outparcel area.
- On December 7, 1999, City Council approved CU99-71 (Ord. 1999-178) to allow for the development of a 4-story, 105-room hotel (Hawthorn Suites) in the Phase 1 outparcel area.
- On April 18, 2000, City Council approved CU00-16 (Ord. 2000-43) to allow for changes to the exterior elevations of Anchor “A.”
- On June 20, 2000, City Council approved SU00-07 for 30 redemption/coin-operated games at the main Texas entrance of the Grapevine Mills Mall.
- On August 15, 2000, City Council approved CU00-21 (Ord. 2000-83) to allow for a four story 114-room hotel (SpringHill Suites)
- On December 19, 2000, City Council approved CU00-67 (Ord. 2000-127) to allow for the development of a restaurant with a drive-thru window, Steak-n-Shake, in the outparcel area.
- On December 19, 2000, City Council approved CU00-68 (Ord. 2000-128) to allow for the development of a business services/reproduction facility (Kinko’s) in the

outparcel area.

- On July 17, 2001, City Council approved CU01-38 (Ord. 2001-56) to allow for a 32,786 square foot expansion to the mall proper at what was known as the “Texas” entrance, for a Neiman Marcus retail concept known as Last Call.
- On October 16, 2001, City Council approved CU01-51 (Ord. 2001-78) and Special Use Request SU01-07 to allow for a restaurant (Chuck-E-Cheese) with video games in excess of eight machines in the outparcel area.
- On September 26, 2001, the Site Plan Review Committee (SPRC) approved CU01-54 for minor revisions to the site plan of a department store (Neiman Marcus) located at the mall proper to allow for a power generator and landscape island.
- On May 21, 2002, City Council approved CU02-17 (Ord. 2002-37) to allow for a 20-foot pole sign for Rainforest Café immediately south of Neiman Marcus Last Call.
- On June 18, 2002, City Council approved CU02-16 (Ord. 2002-47) for an expansion of the mall proper to allow for the development of an indoor and outdoor skating park (ESPN Skate Zone).
- On June 18, 2002, City Council approved CU02-21 (Ord. 2002-50) to allow for an expansion of the alcohol consumption area to include the entire floor area within Sega Game works.
- On October 15, 2002, City Council approved CU02-43 (Ord. 2002-79) to amend the previously approved site plan of a former restaurant (Black-Eyed-Pea) to allow for modifications to the floor plan for a new restaurant (Blue Goose).
- On May 20, 2003, City Council approved CU03-14 (Ord. 2003-33) to amend the previously approved site plan to allow modifications associated with the Springhill Suites hotel in the outparcel area.
- On July 15, 2003, City Council approved CU03-19 (Ord. 2003-47) for the development of a tunnel-based aquarium (Underwater World) with the possession, storage, retail sale, and on-premise consumption of alcoholic beverages (beer, wine, and mixed drinks) in conjunction with a restaurant in the outparcel area.
- On December 16, 2003, City Council approved CU03-43 (Ord. 2003-79) and SU03-06 to allow the possession, storage, retail sale, and on-premise consumption of alcoholic beverages (beer, wine, and mixed beverages) in conjunction with a restaurant/dance club (Midnight Rodeo/Hondo’s Grill) and to allow the use of three pool tables.
- On December 16, 2003, City Council approved CU03-47 (Ord. 2003-82) to allow for

a restaurant (Ritzzy's) in the outparcel area.

- On January 26, 2005, SPRC approved CU05-01 to allow minor modifications to the exterior and interior of an existing restaurant (Love and War in Texas)
- On March 15, 2005, City Council approved CU05-08 (Ord. 2005-19) to allow for on-premise alcohol beverage sales at the Chuck-E-Cheese restaurant in the outparcel area.
- March 15, 2005, City Council approved CU05-09 (Ord. 2005-20) to allow an approximate 8,000 square foot expansion (Children's World) near the "Tornado" entrance to the mall.
- On July 25, 2006, SPRC approved CU06-33 to allow for the addition of 1,000 square feet of office space.
- On November 7, 2006, City Council approved CU06-42 (Ord. 2006- 79) for a car wash service (Pronto Wash) adjacent to Neiman Marcus Last Call.
- On November 21, 2006, City Council approved CU06-52 (Ord. 2006-83) to allow a 26,325 square foot retail structure located between Rooms to Go and Chuck E. Cheese in the outparcel area
- On October 21, 2008, City Council approved CU08-25 (Ord. 2008-57) for a restaurant (Daan Sushi) with alcoholic beverage sales between Rooms to Go and Chuck E. Cheese in the outparcel area.
- On September 15, 2009, City Council approved CU09-24 (Ord. 2009-39) for an existing restaurant (Love and War in Texas) to allow outside dining with outdoor speakers for live music performances.
- On November 17, 2009, City Council approved CU09-37 (Ord. 2009-51) to allow for changes to the floor plan and building elevations, as well as adding outdoor dining and converting the former Bennigan's restaurant to a new Applebee's restaurant.
- On December 21, 2010, City Council approved CU10-25 (Ord. 2010-70) to modify site signage.
- On January 19, 2011, City Council approved CU10-25A (Ord. 2010-70) to revise the site signage package for 20 existing signs and one wall sign.
- On July 21, 2015, City Council approved CU15-21 (Ord. 2015-038) to allow for the possession, storage, retail sales and on-premise consumption of alcoholic beverages (beer, wine, and mixed beverages) in conjunction with an existing hotel.
- On November 17, 2015, SPRC approved CU15-46 to revise the previously

approved sign package with new way finding signs.

- On January 19, 2016, City Council approved CU15-48 (Ord. 2016-05) to amend the previously approved site plan to revise the building elevations, floor plan, allow outside dining and outside speakers in conjunction with a restaurant (Blue Goose Cantina).
- On September 15, 2020, City Council approved CU20-17 (Ord. 2020-44) to amend the previously approved site plan to allow the possession, storage, retail sales and on-premise consumption of alcoholic beverages (beer and wine only) in conjunction with an existing restaurant (Kimsu Sushi).
- On June 9, 2022, SPRC approved CU22-20 to modify the building's exterior elevation to install a parapet-mounted sign above the existing height of Macy's Backstage.
- On June 9, 2022, SPRC approved CU22-23 to modify the north and east exterior elevations that includes a mural, a new tiered entry feature, and enhancements to the building's façade.

#### SURROUNDING ZONING AND EXISTING LAND USE:

NORTH: "HCO", Hotel/Corporate Office, "R-MF-2", Multifamily and "CC", Community Commercial District - Cross Creek at Grapevine Ranch Apartments and Cross Creek Ranch

SOUTH: "HCO", Hotel/Corporate Office - Hilton Hotel and Austin Ranch

EAST: "CC", Community Commercial - Fellowship Church (east side of S.H. 121 North)

WEST: "R-MF", Multifamily District and "CC", Community Commercial District - Enclave at Grapevine Apartments and Kriya Hotels office building

#### AIRPORT IMPACT:

The subject tract is located within "Zone B" Zone of Middle Effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map. In Zone B, the following uses may be considered only if sound treatment is included in building design: multi family apartments, motels, office buildings, movie theaters, restaurants, personal and business services. Single family residential and sound sensitive uses such as schools and churches should avoid this zone. The applicant's proposal is an appropriate use in this noise zone.

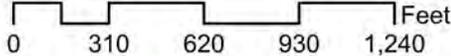
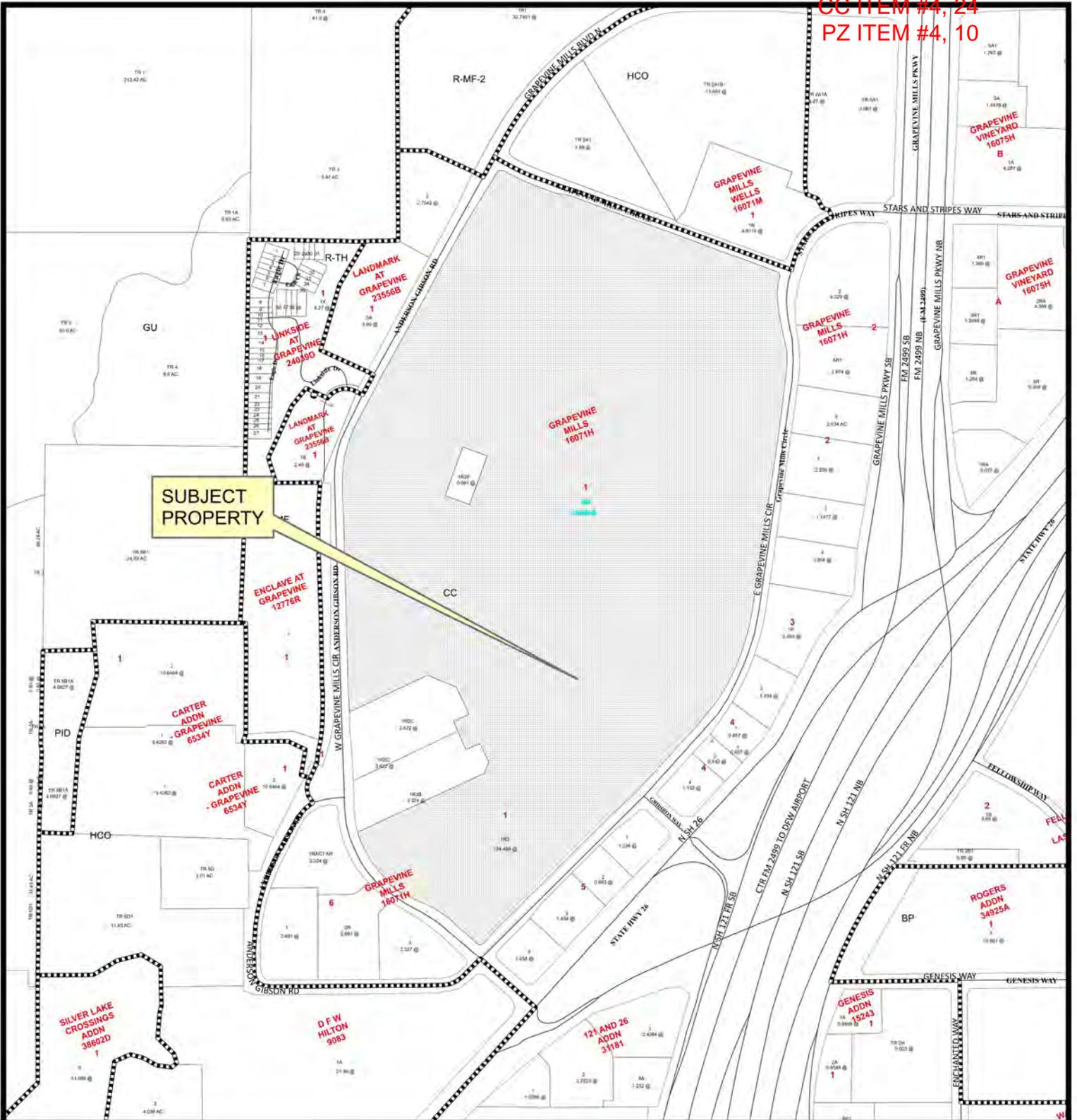
#### MASTER PLAN APPLICATION:

Map 2: Land Use Plan of the Comprehensive Master Plan designates the subject property as (CO) Commercial land use. This request is compliant with the Master Plan.

THOROUGHFARE PLAN APPLICATION:

The City of Grapevine's Thoroughfare Plan designates Grapevine Mills Parkway as an "A" Major Arterial with right-of-way determined by TXDOT.

/at



## CU24-06; Meow Wolf 3000 Grapevine Mills Parkway, Suite 253

Date Prepared: 3/5/2024

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

CONDITIONAL USE PERMIT APPLICATION  
AND SITE PLAN SET CHECKLISTS

Current or if unplatted, proposed subdivision name(s),  
block(s), & lot(s)

Grapevine Mill Addition Block 1 Lot 1R3

Street frontage & distance to nearest cross street

Grapevine Mills Circle

Proposed Zoning

Future Land Use Designation

CO Commercial

Gross area of parcel (to nearest tenth of  
acre)

Describe the Proposed Use

Alcohol Sales

Existing Zoning

Community Commercial

**All Conditional Use Permit Requests are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of staff. Based on the size of the agenda, your application may be scheduled to a later date.**

**All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.**

**Any changes to a site plan approved with a conditional use permit request can only be approved by City Council through the public hearing process.**

**Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four-month period.**

**I have read and understand all of the requirements as set forth by the application for a conditional use permit request and acknowledge that all requirements of this application have been met at the time of submittal.**

Owner Name Joseph C Seymaszek Owner Phone Number 972-724-4916

Company Simon Property Group

Address 3600 Grapevine Mills Pkwy Suite 400

City Grapevine State TX Zip Code 76051

Email [REDACTED]

**CU24-06**

CONDITIONAL USE PERMIT APPLICATION  
AND SITE PLAN SET CHECKLISTS

Project Representation (check one):

- I will represent the application myself; OR
- I hereby designate Kelly Schwartz (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this request. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this request.

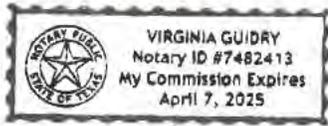
I hereby certify that I am the property owner of the property and further certify that the information provided on this development application is true and correct. I have selected the above submittal type and representation of my own volition and not at the request of the City of Grapevine.

Property Owner's Signature Joseph C Szymaszek Date 2/1/24

STATE OF: Texas  
COUNTY OF: Tarrant

BEFORE ME, a Notary Public, on this day personally appeared Joseph C Szymaszek (printed property owner's name) the above signed, who, under oath, stated the following: "I hereby certify that I am the property owner for the purposes of this application; that all information submitted herein is true and correct."

SUBSCRIBED AND SWORN TO before me, this the 01 day of February, 2024  
Virginia Guidry



NOTARY PUBLIC in and for the State of Texas

CU24-06

CONDITIONAL USE PERMIT APPLICATION  
AND SITE PLAN SET CHECKLISTS

Project Representative Information (complete if designated by owner)

Engineer  Purchaser  Tenant  Preparer  Other (specify) \_\_\_\_\_

Name Kelly Schwartz Company Meow Wolf

Address 3000 Grapevine Mills Prky Ste 253

City Grapevine State TX Zip Code 76051

Phone 619-985-0050 Email [REDACTED]

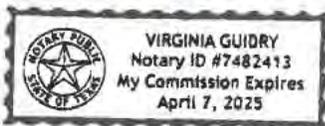
Applicant's Signature [Signature] Date 2/1/24

STATE OF: Texas

COUNTY OF: Tarrant

BEFORE ME, a Notary Public, on this day personally appeared Kelly Schwartz  
(printed property owner's name) the above signed, who, under oath, stated the following: "I hereby  
certify that I am the applicant for the purposes of this application; that all information submitted herein  
is true and correct."

SUBSCRIBED AND SWORN TO before me, this the 01 day of  
February, 2024



[Signature]  
NOTARY PUBLIC in and for the State of Texas

If the legal owner of the property is a corporation, company, partnership, or Limited Liability Company,  
provide a copy of a legal document attached with this application showing that the individual signing  
this document is a duly authorized partner, officer, or owner of said corporation, partnership, or  
Limited Liability Company.

For any individual or organization who consents to act as an agent for the entity for purposes of receiving any  
process, notice or demand:

Entity Name or File Number: 0804196486

Provide a most recent public information report that includes:

- 1. All general partners
- 2. File Number
- 3. Registered agent name
- 4. Mailing address

**CU24-06**

(You may order a copy of a Public Information Report from [open.records.state.tx.us](http://open.records.state.tx.us) or Comptroller of Public Accounts, Open  
Records Section, PO Box 13528, Austin, Texas 78711 or go to <http://www.opa.state.tx.us/opa/search.asp>)

**CONDITIONAL USE PERMIT APPLICATION  
AND SITE PLAN SET CHECKLISTS**

PLATTING VERIFICATION:

- It has been determined that the property described below does require platting or replatting and the applicant has been instructed on this procedure.
- It has been determined that the property described below is currently platted or does not require platting or replatting at this time.

Address of subject property 3000 Grapevine Mills Pkwy  
Ste 253 Grapevine, TX 76051

Legal description of subject property  
GRAPEVINE MILLS ADDITION, LOT 123, Block 1

Justin Dume 2.1.2024  
Public Works Department Date

CU24-06



### Franchise Tax Account Status

As of : 02/01/2024 15:09:19

**This page is valid for most business transactions but is not sufficient for filings with the Secretary of State**

#### MEOW WOLF DALLAS, LLC

**Texas Taxpayer Number** 32080576922

**Mailing Address** 2600 CAMINO ENTRADA SANTA FE, NM 87507-0491

**Right to Transact Business in Texas** ACTIVE

**State of Formation** DE

**Effective SOS Registration Date** 08/16/2021

**Texas SOS File Number** 0804196486

**Registered Agent Name** UNITED CORPORATE SERVICES, INC.

**Registered Office Street Address** 815 BRAZOS ST., SUITE 560 AUSTIN, TX 78701

CU24-06

FEB 05 2024

CUP – Alcohol Sales

**Address:**

**Meow Wolf Dallas, LLC**

3000 Grapevine Mills Pkwy, Ste 253

Grapevine, TX 76051

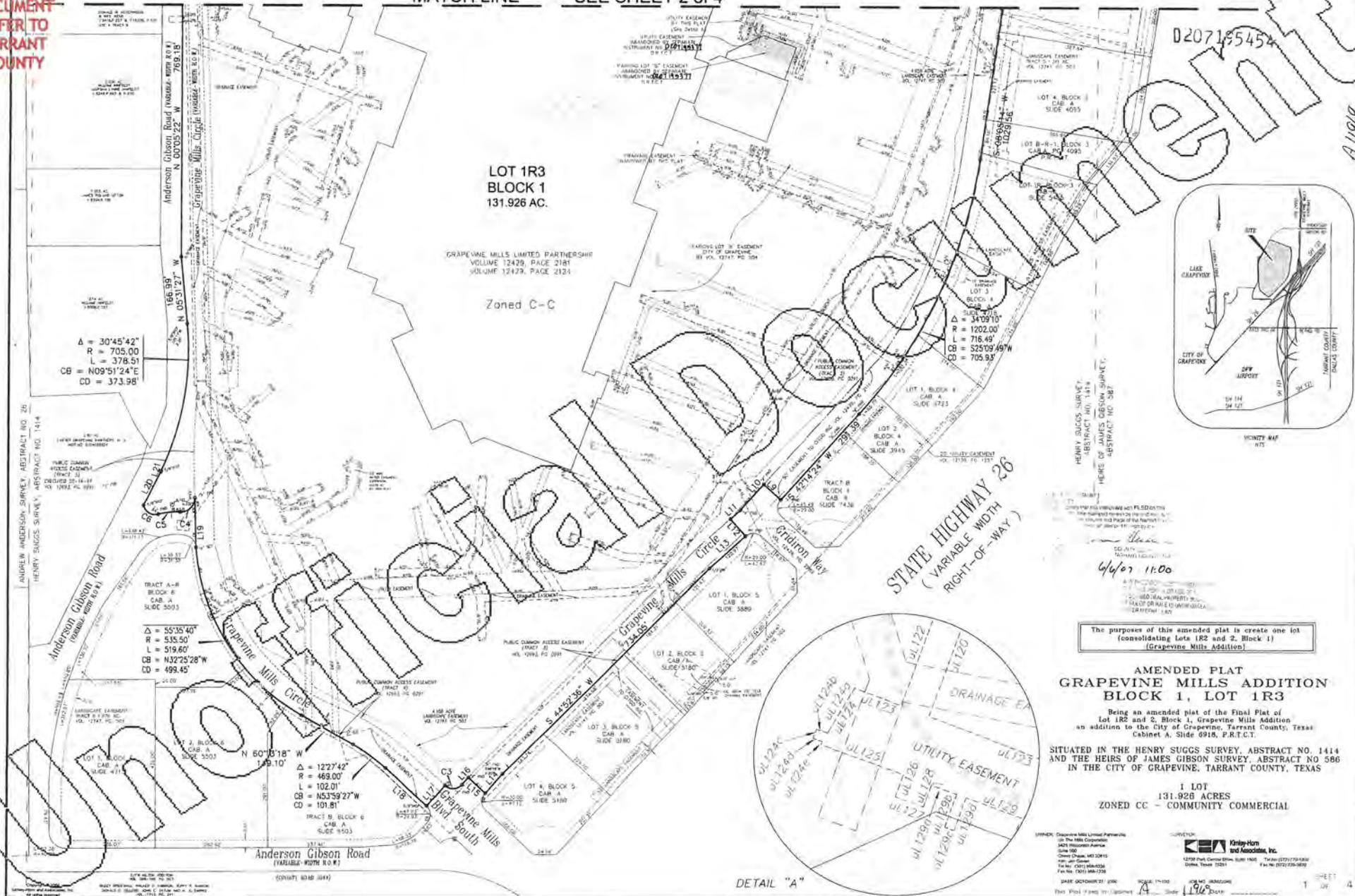
**Lot 1R3 Block 1**

**Zoning: Commercial**

**Themed Entertainment/Retail**

COPY,  
FOR OFFICIAL  
DOCUMENT  
REFER TO  
TARRANT  
COUNTY

MATCH LINE SEE SHEET 2 of 4



LOT 1R3  
BLOCK 1  
131.926 AC.

GRAPEVINE MILLS LIMITED PARTNERSHIP  
VOLUME 12429, PAGE 2181  
VOLUME 12429, PAGE 2124

Zoned C-C

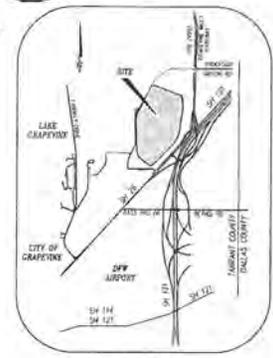
$\Delta = 30^{\circ}45'42''$   
 $R = 705.00$   
 $L = 378.51$   
 $CB = N09^{\circ}51'24''E$   
 $CD = 373.98'$

$\Delta = 55^{\circ}35'40''$   
 $R = 535.50'$   
 $L = 519.60'$   
 $CB = N32^{\circ}25'28''W$   
 $CD = 499.45'$

$\Delta = 122^{\circ}42'$   
 $R = 469.00'$   
 $L = 102.01'$   
 $CB = N53^{\circ}59'27''W$   
 $CD = 101.81'$

STATE HIGHWAY 26  
(VARIABLE WIDTH  
RIGHT-OF-WAY)

D207185454



HENRY SUGGS SURVEY  
ABSTRACT NO. 1414  
HEIRS OF JAMES GIBSON SURVEY  
ABSTRACT NO. 586

4/6/07 11:00

The purpose of this amended plat is create one lot (consolidating Lots 1R2 and 2, Block 1) (Grapevine Mills Addition)

AMENDED PLAT  
GRAPEVINE MILLS ADDITION  
BLOCK 1, LOT 1R3

Being an amended plat of the Final Plat of Lot 1R2 and 2, Block 1, Grapevine Mills Addition as additions to the City of Grapevine, Tarrant County, Texas Cabinet A, Slide 6918, P.R.T.C.T.

SITUATED IN THE HENRY SUGGS SURVEY, ABSTRACT NO. 1414 AND THE HEIRS OF JAMES GIBSON SURVEY, ABSTRACT NO 586 IN THE CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS

1 LOT  
131.926 ACRES  
ZONED CC - COMMUNITY COMMERCIAL



DETAIL "A"

ORDINANCE NO. 2024-025

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ISSUING CONDITIONAL USE PERMIT CU24-06 TO AMEND THE PREVIOUSLY APPROVED SITE PLAN CU20-17 (ORDINANCE NO. 2020-044) FOR A PLANNED COMMERCIAL CENTER IN EXCESS OF 1,000,000 SQUARE FEET OF GROSS LEASABLE SPACE, SPECIFICALLY TO ALLOW FOR THE POSSESSION, STORAGE, RETAIL SALES AND ON- AND OFF-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER, WINE AND MIXED BEVERAGE) IN CONJUNCTION WITH AN EXISTING CAFÉ (MEOW WOLF) FOR , BLOCK 1, LOT 1R3, GRAPEVINE MILLS ADDITION, PHASE 1 (3000 GRAPEVINE MILLS PARKWAY, SUITE 253) IN A DISTRICT ZONED “CC”, COMMUNITY COMMERCIAL DISTRICT ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the

neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the

particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting conditional use permit CU24-06 to amend the previously approved site plan of CU20-17 (Ordinance No. 2020-044) for a planned commercial center in excess of 1,000,000 square feet of gross leasable space, specifically to allow for the possession, storage, retail sales and on- and off-premise consumption of alcoholic beverages (beer, wine and mixed beverages) in conjunction with an existing café (Meow Wolf) in a district zoned "CC", Community Commercial District within the following described property: Block 1, Lot 1R3, Grapevine Mills Addition, Phase 1 (3000 Grapevine Mills Parkway, Suite 253) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safely from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of March, 2024.

APPROVED:

---

William D. Tate  
Mayor

ATTEST:

---

Tara Brooks  
City Secretary

APPROVED AS TO FORM:

---

Matthew C.G. Boyle  
City Attorney







RM Plus Design & Development, LLC  
2300 MAITLAND CENTER PKWY.  
STE. 215  
MAITLAND, FL 32751  
407-278-0616

**Overall Ground Floor Plan Conditional Use Permit for Liquor**  
For  
**Meow Wolf Grapevine**  
Lots 1R3, Grapevine Mills Addition, Ab. No. ZZZ  
(Abstract - 1415, H. Suggs Survey)  
3000 Grapevine Mills Parkway, Suite 253  
City of Grapevine, Tarrant County, Texas 76051  
44,400 sq. ft.  
Zone: "CC" Community Commercial District  
Date of Preparation: February 27th, 2024

**FLOOR PLAN SHEET NOTES**

- 01 ALCOHOL STORAGE
- 02 RFD ACCESS DOOR
- 03 KEVED ACCESS DOOR
- 04 POINT OF SALE
- 05 DROP SAFE
- 06 SIGNAGE
- 07 SECURITY FOOTAGE VIEWING STATION
- 08 SECURITY CAMERA

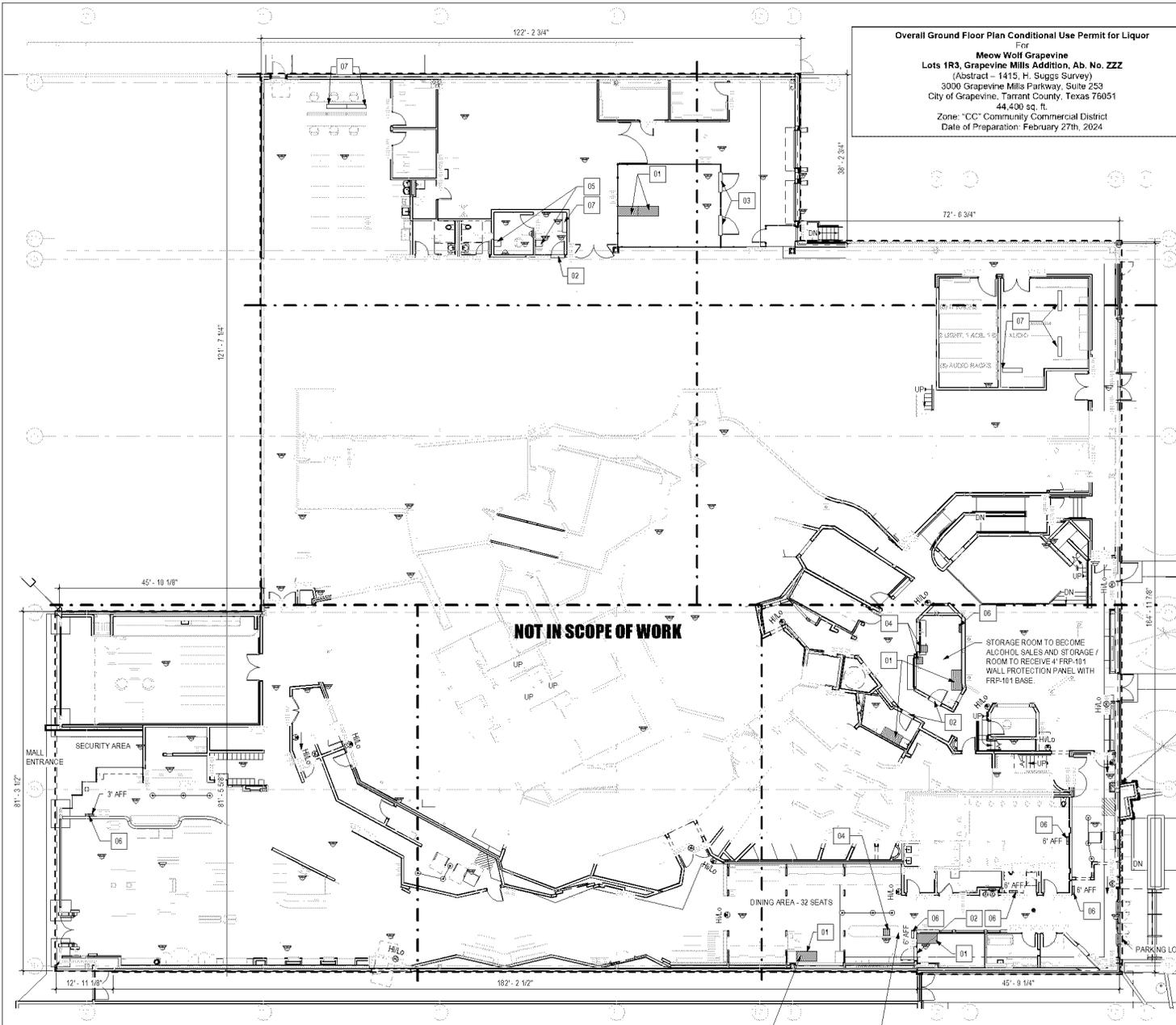
CASE NAME: MEOW WOLF GRAPEVINE  
CASE NUMBER: 5024/06  
LOCATION: 3000 GRAPEVINE MILLS PARKWAY, SUITE 253

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

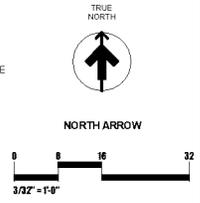
SHEET: 3 OF 3

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.  
PLANNING SERVICES DEPARTMENT



**OVERALL GROUND FLOOR PLAN CUP**  
3/32" = 1'-0"

**01**  
3 OF 3



SEAL:



NO.	DESCRIPTION	DATE
4A	BULLETIN 001	04/14/23
5A	PH 2 & 3 CONSTRUCTION REVISION	05/22/23

CLIENT:  
PROJECT NUMBER: 2021-103  
PROJECT NAME:  
MEOW WOLF GRAPEVINE

SHEET TITLE:  
OVERALL GROUND FLOOR PLAN CONDITIONAL USE PERMIT FOR LIQUOR.

DRAWING NUMBER: 5A

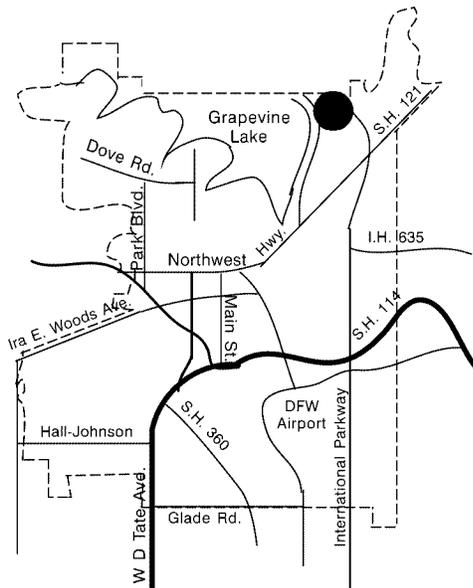
**3 OF 3**

TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE  
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
ERICA MAROHNIC, DIRECTOR OF PLANNING SERVICES

MEETING DATE: MARCH 19, 2024

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF  
CONDITIONAL USE APPLICATION CU24-07, RACETRAC



APPLICANT: David Bond – Spiars Engineering

PROPERTY LOCATION AND SIZE:

The subject property is located at 3955 Grapevine Mills Parkway and is platted as Block 1, Lot 1, RaceTrac Grapevine Addition. The addition contains approximately 10.782 acres and has approximately 2,709 feet of frontage along Grapevine Mills Parkway (F.M. 2499).

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to amend the previously approved site plan of CU18-13 (Ord. 2018-43) for a planned commercial center with the possession, storage, retail sale and off-premise consumption of alcoholic beverages (beer and wine only), outside dining, gasoline service, and a monument sign. This request is specifically to revise the site layout to add fueling pumps, fueling canopies, electric vehicle (EV) charging stations, and associated maneuvering lanes in conjunction with a convenience store.

With this request the applicant proposes the following:

	<b>CU18-13</b>	<b>CU24-07</b>
Parking Spaces	56	69
Fuel Pumps	18 gasoline	8 diesel, 18 gasoline – 26 total
Electric Vehicle Charging Stations	0	4
Fueling Canopies	1	3

Additional proposed changes:

- Refuse container enclosure proposed to be relocated
- Tractor-trailer maneuvering lanes proposed
- On-site directional and parking signage proposed

No changes are proposed for the existing building area (5,488 square feet) and outdoor seating (18 seats). Total parking required is 36 parking spaces; 69 parking spaces are provided.

#### PRESENT ZONING AND USE:

The property is currently zoned “CC”, Community Commercial District, and is developed as a convenience store with gasoline sales.

#### HISTORY OF TRACT AND SURROUNDING AREA:

The subject site was annexed into the City of Grapevine in 1970 (Ord. 1970-30). The subject site was zoned “I-1”, Light Industrial District prior to the 1984 City-wide Rezoning at which time the subject site was rezoned to “PID”, Planned Industrial Development District.

- On February 18, 2003, City Council approved Z02-10 (Ord. 2003-11) to rezone the subject site from “PID”, Planned Industrial Development District to “CC”, Community Commercial District.
- On July 17, 2012, City Council approved CU12-24 (Ord. 2012-30) was approved to allow for a new 5,928 square foot RaceTrac convenience store with gasoline sales, off-premise consumption of beer and wine sales, inside and outside dining, and a monument sign.
- On December 4, 2013, the Site Plan Review Committee approved CU13-34 to allow for changes to the subject site including a reduction to the impervious area, a reduction in parking, and for one monument sign 100-square feet in size and ten-feet in height.
- On November 4, 2015, the Site Plan Review Committee approved CU15-45 to

allow for changes to the subject site including exterior elevation revisions, reducing the area of the structure, reducing the quantity of fuel pumps, and increase the quantity of outdoor seats.

- On June 8, 2010, the Site Plan Review Committee approved CU16-15 to allow for a decreased building area, increased quantity of outdoor seats, decreased impervious area, increased open space, decreased quantity of parking spaces, and a revised exterior façade.
- On July 17, 2012, City Council approved CU18-13 (Ord. 2018-43) to revise the exterior elevations.

#### SURROUNDING ZONING AND EXISTING LAND USE:

NORTH: City of Flower Mound

SOUTH: "R-MF-2", Multifamily District - Marquis at Silver Oaks apartment complex

EAST: "R-MF-1", Multifamily District - Camden Riverwalk apartment complex

WEST: "GU", Governmental Use District - Grapevine Municipal Golf Course

#### AIRPORT IMPACT:

The subject tract is located within "Zone B" zone of middle effect, as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" Map. In "Zone B", the following uses may be considered only if sound treatment is included in the building design: multifamily apartments, motels, office buildings, movie theaters, restaurant, personal and business services. Single-family residential and sound sensitive uses such as schools and churches should avoid this zone. The applicant's proposal is an appropriate use in this noise zone.

#### MASTER PLAN APPLICATION:

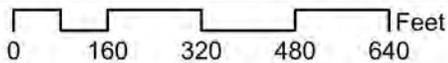
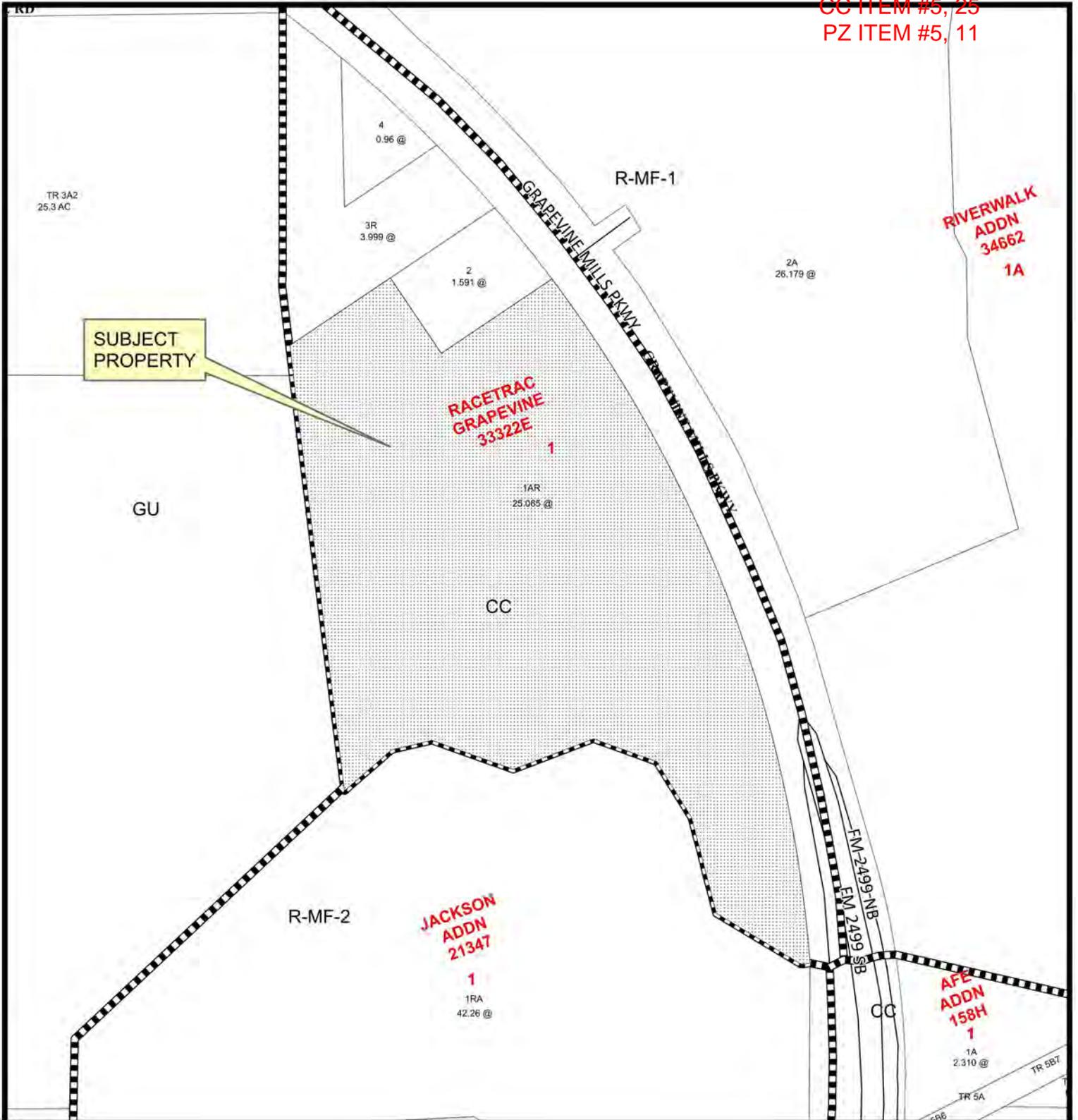
Map 2: Land Use Plan of the Comprehensive Master Plan designates the subject property as Commercial (CO) land use. The request is compliant with the Master Plan.

#### THOROUGHFARE PLAN APPLICATION:

The Thoroughfare Plan designates Grapevine Mills Parkway as a Type A\* Major Arterial with a width to be determined by TxDOT.

/at

CC ITEM #5, 25  
PZ ITEM #5, 11



## CU24-07; RaceTrac 3955 Grapevine Mills Parkway

Date Prepared: 3/5/2024

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

CONDITIONAL USE PERMIT APPLICATION AND SITE PLAN SET CHECKLISTS

Current or if unplatted, proposed subdivision name(s), block(s), & lot(s)

RaceTrac Grapevine Addition, Block 1, Lot 1AR

Street frontage & distance to nearest cross street

1792.60 , 0ft

Proposed Zoning

Community Commercial

Future Land Use Designation

Gross area of parcel (to nearest tenth of acre)

25.1 Acres

Describe the Proposed Use

Gas Station with Extended Diesel Offering

Existing Zoning

Community Commercial

Subject Property Address

3955 Grapevine Mills Pkwy

All Conditional Use Permit Requests are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan approved with a conditional use permit request can only be approved by City Council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four-month period.

I have read and understand all of the requirements as set forth by the application for a conditional use permit request and acknowledge that all requirements of this application have been met at the time of submittal.

Owner Name Scott Griffin JUSTEN GIAMBALVO Owner Phone Number 404.405.9113

Company RaceTrac Inc.

Address 200 Galleria Parkway SE, Suite 900

City Atlanta State GA Zip Code 30339

Email [REDACTED]

JAN 02 2024

CU24-07

CONDITIONAL USE PERMIT APPLICATION AND SITE PLAN SET CHECKLISTS

Project Representation (check one):

- I will represent the application myself; OR
- I hereby designate David Bond (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this request. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this request.

I hereby certify that I am the property owner of the property and further certify that the information provided on this development application is true and correct. I have selected the above submittal type and representation of my own volition and not at the request of the City of Grapevine.

Property Owner's Signature [Signature] Date 12/4/23

STATE OF: Georgia  
COUNTY OF: Cobb

BEFORE ME, a Notary Public, on this day personally appeared Justen Giambalvo (printed property owner's name) the above signed, who, under oath, stated the following: "I hereby certify that I am the property owner for the purposes of this application; that all information submitted herein is true and correct."

SUBSCRIBED AND SWORN TO before me, this the 4<sup>th</sup> day of December, 20 23

[Signature]



NOTARY PUBLIC in and for the State of Texas Georgia

JAN 02 2024

CU24-07

CONDITIONAL USE PERMIT APPLICATION  
AND SITE PLAN SET CHECKLISTS

Project Representative Information (complete if designated by owner)

Engineer  Purchaser  Tenant  Preparer  Other (specify) \_\_\_\_\_

Name David Bond Company Spiars Engineering & Surveying

Address 501 W President George Bush Hwy, Suite 200

City Richardson State TX Zip Code 75080

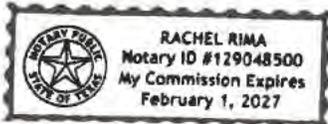
Phone 972.422.0077 Email [REDACTED]

Applicant's Signature [Signature] Date 1/2/24

STATE OF: TEXAS  
COUNTY OF: COLLIN

BEFORE ME, a Notary Public, on this day personally appeared David Bond  
(printed property owner's name) the above signed, who, under oath, stated the following: "I hereby certify that I am the applicant for the purposes of this application; that all information submitted herein is true and correct."

SUBSCRIBED AND SWORN TO before me, this the 2 day of January, 2024 JAN 02 2024



[Signature]  
NOTARY PUBLIC in and for the State of Texas

**If the legal owner of the property is a corporation, company, partnership, or Limited Liability Company, provide a copy of a legal document attached with this application showing that the individual signing this document is a duly authorized partner, officer, or owner of said corporation, partnership, or Limited Liability Company.**

For any individual or organization who consents to act as an agent for the entity for purposes of receiving any process, notice or demand:  
Entity Name or File Number: RACE TRAC, Inc.

Provide a most recent public information report that includes:

1. All general partners
2. File Number
3. Registered agent name
4. Mailing address

(You may order a copy of a Public Information Report from [open.records@cpa.texas.gov](mailto:open.records@cpa.texas.gov) or Comptroller of Public Accounts, Open Records Section, PO Box 13528, Austin, Texas 78711 or go to <https://mycpa.cpa.state.tx.us/coal/search.do>)

CU24-07

**CONDITIONAL USE PERMIT APPLICATION  
AND SITE PLAN SET CHECKLISTS**

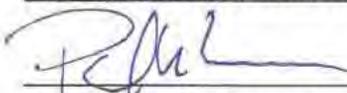
**PLATTING VERIFICATION:**

It has been determined that the property described below does **require platting or replatting** and the applicant has been instructed on this procedure.

It has been determined that the property described below is **currently platted or does not require platting or replatting** at this time.

Address of subject property 3955 Grapevine Mills Pkwy

Legal description of subject property  
Lot 1AR, Block 1, RaceTrac Grapevine Edition



Public Works Department

2 JAN 2024

Date

JAN 02 2024

RECEIVED

JAN 02 2024

CU24-07

## METES AND BOUNDS DESCRIPTION

BEING a tract of land situated in the J. Baker Survey, Abstract No. 167, City of Grapevine, Tarrant County, Texas, the subject tract being all of Lot 1AR, 2, 3R, and 4, Block 1, RaceTrac Grapevine Addition, according to the document recorded in D220247307 of the Plat Records, Tarrant County, Texas, with the subject tract being more particularly described as follows:

BEGINNING at a Corps of Engineers concrete monument found on the west line of Grapevine Mills Parkway, a 160 foot right-of-way, also known as Farm to Market Road 2499, and on the east line of a tract described as Tract A-6 by instrument to the United States of America, according to the U.S. District Court Case No. 1461, dated November 2, 1948;

THENCE along the southerly and easterly line of said road, along a curve to the right, with a radius of 3170.00 feet, a central angle of 48°57'52", an arc length of 2709.05 feet, whose long chord bears S 28°56'44" E, 2627.36 feet, to a 1/2" iron rod with a yellow cap stamped "SPIARSENG" set for the northeast corner of Lot 1R-A, Block A of Jackson Addition, an addition to the City of Grapevine, Texas, according to the plat thereof recorded in Cabinet A, Slide 8227 of the Plat Records, Tarrant County, Texas;

THENCE along the north line of Lot 1R-A, the following bearings and distances:

S 81°28'18" W, 20.92 feet;                      N 59°01'30" W, 240.00 feet;

N 14°31'30" W, 240.00 feet;                      N 31°52'26" W, 158.72 feet;

N 70°10'56" W, 162.96 feet;                      S 69°05'31" W, 207.27 feet;

N 70°23'17" W, 209.33 feet;                      S 76°43'30" W, 100.00 feet;

S 48°58'30" W, 145.30 feet;

And S 46°49'54" W, 5.83 feet to a point for the southeast corner of that certain tract described as Tract A-5 according to the aforementioned U.S. District Court Case, and being the southwest corner of said 57.34 acre tract;

THENCE N 07°01'17" W, along the common line between said 57.34 acre tract and Tract A-5, passing at 136.95 feet a Corps of Engineers concrete monument found for witness, continuing

JAN 08 2024

CU24-07

along a total distance of 993.31 feet to a Corps of Engineers concrete monument found being the common corner between said 57.34 acre tract, 136.75 acre tract, and Tracts A-5 and A-6, from said monument a 3/8" iron rod found bears N 12°28'30" E, 0.23 feet;

THENCE N 06°24'22" W, 244.60 feet continuing along the common line between said 136.75 acre tract and Tract A-6, to a Corps of Engineers concrete monument found for corner, from said monument a 1" iron rod found bears N 11°38'32" E, 0.78 feet;

THENCE N 00°15'18" E, 653.48 feet continuing along the common line between said 136.75 acre tract and Tract A-6, to the POINT OF BEGINNING, and containing 1,377,116 square feet, or 31.614 acres of land.

This document was prepared under 22 TAC §663.21, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

JAN 02 2024

CU2A-07

## METES AND BOUNDS DESCRIPTION

Lot 1AR, Block 1

BEING a tract of land situated in the J. Baker Survey, Abstract No. 167, City of Grapevine, Tarrant County, Texas, the subject tract being all of Lot 1AR, Block 1, RaceTrac Grapevine Addition, according to the document recorded in D220247307 of the Plat Records, Tarrant County, Texas, with the subject tract being more particularly described as follows:

BEGINNING at the southeast corner of the subject lot;

THENCE S 81°28'18" W, 20.92 feet;                      THENCE N 59°01'30" W, 240.00 feet;

THENCE N 14°31'30" W, 240.00 feet;                      THENCE N 31°52'26" W, 158.72 feet;

THENCE N 70°10'56" W, 162.96 feet;                      THENCE S 69°05'31" W, 207.27 feet;

THENCE N 70°23'17" W, 209.33 feet;                      THENCE S 76°43'30" W, 100.00 feet;

THENCE S 48°58'30" W, 145.30 feet;                      THENCE S 46°49'54" W, 5.83 feet;

THENCE N 07°01'17" W, 993.31 feet;                      THENCE N 06°24'22" W, 92.24 feet;

THENCE N 56°03'30" E, 292.42 feet;                      THENCE S 33°56'30" E, 220.26 feet;

THENCE N 56°03'30" E, 322.75 feet;

THENCE around a non-tangent curve to the right having a central angle of 32°24'00", a radius of 3170.00 feet, a chord of S 20°39'48" E - 1768.81 feet, an arc length of 1792.60 feet to the POINT OF BEGINNING with the subject tract containing 1,091,842 square feet or 25.065 acres of land.

This document was prepared under 22 TAC §663.21, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

JAN 03 2024

CU24-07

**RESOLUTION OF THE  
BOARD OF DIRECTORS  
OF THOSE CERTAIN COMPANIES LISTED ON THE ATTACHED EXHIBIT A**

**WHEREAS**, the Board of Directors for those certain companies listed on the attached **Exhibit "A"** (said companies being hereinafter referred to collectively as the "**Companies**" and each as a "**Company**"), have determined that it is in the best interests of the Companies to streamline the approval process for the purchase, sale, lease, sale/leaseback, granting of easements and encumbrances of improved and unimproved real property ("**Real Estate Transactions**") from time to time.

**NOW, THEREFORE**, the members of the Board of Directors of the Companies do hereby adopt the following resolutions, each effective as of, February 22, 2023;

**RESOLVED**, that any of the officers of the Companies listed on **Exhibit "A"** (collectively the "**Authorized Officers**" and individually each an "**Authorized Officer**"), are hereby authorized, empowered and directed for and on behalf of the Companies, and in their names, to enter into, execute, and deliver on behalf of the Companies any and all of the agreements and other documents in furtherance of a Real Estate Transaction, and the Board of Directors hereby ratifies and confirms any and all such actions; and

**FURTHER RESOLVED**, that each person named on **Exhibit "B"** is an Authorized Officer and holds the office opposite his/her name, that the members of the Board of Directors are familiar with the signatures of the Authorized Officers, and the signatures set forth on **Exhibit "B"** next to each of the Authorized Officer's name is such Authorized Officer's genuine signature. Each Authorized Officer is authorized to execute and deliver such agreements as described in the foregoing resolutions; and

**FURTHER RESOLVED**, that any and all acts or omissions to act by the Authorized Officers in connection with Real Estate Transactions on or after December 1, 2022, are unanimously ratified, confirmed and approved by the Board of Directors as the acts of the Companies.

**IN WITNESS WHEREOF**, I, Joseph H. Akers, hereby certify that I am the duly elected and qualified Chief Legal Officer and Assistant Secretary of the Companies and that the foregoing is a true record of the resolutions adopted at a meeting of the Board of Directors of the Companies on February 22, 2023.



Joseph H. Akers  
Chief Legal Officer & Assistant Secretary

02/22/2024

C424-07

**EXHIBIT "A" - COMPANIES**

<b>ENTITY</b>	<b>JURISDICTION OF INCORPORATION</b>	<b>MEMBERS OF THE BOARD OF DIRECTORS</b>	<b>AUTHORIZED OFFICERS</b>
RaceTrac, Inc.	Georgia	Carl Bolch, Jr. Max Lenker Robert J. Dumbacher Susan Bass Bolch Natalie Bolch Morhous Melanie Bolch Isbill Jordan Bass Bolch	<ul style="list-style-type: none"> <li>• CEO</li> <li>• President</li> <li>• CFO</li> <li>• Chief Legal Officer</li> <li>• Chief Marketing Officer</li> <li>• Chief Development Officer</li> <li>• Vice President of Real Estate (related only to acquisition or leasing of real property)</li> <li>• Vice President of Construction and Engineering (related only to engineering and construction)</li> <li>• Business Relations Officer</li> </ul>
Andalusia Properties, Inc.	Georgia	Carl Bolch, Jr. Max Lenker Robert J. Dumbacher Susan Bass Bolch Natalie Bolch Morhous Melanie Bolch Isbill Jordan Bass Bolch	<ul style="list-style-type: none"> <li>• CEO</li> <li>• President</li> <li>• CFO</li> <li>• Chief Legal Officer</li> <li>• Chief Marketing Officer</li> <li>• Chief Development Officer</li> <li>• Vice President of Real Estate (related only to acquisition or leasing of real property)</li> <li>• Vice President of Construction and Engineering (related only to engineering and construction)</li> <li>• Business Relations Officer</li> </ul>

ENTITY	JURISDICTION OF INCORPORATION	MEMBERS OF THE BOARD OF DIRECTORS	AUTHORIZED OFFICERS
Del Lago Ventures, Inc.	Georgia	Carl Bolch, Jr. Max Lenker Robert J. Dumbacher Susan Bass Bolch Natalie Bolch Morhous Melanie Bolch Isbill Jordan Bass Bolch	<ul style="list-style-type: none"> <li>• CEO</li> <li>• President</li> <li>• CFO</li> <li>• Chief Legal Officer</li> <li>• Chief Marketing Officer</li> <li>• Chief Development Officer</li> <li>• Vice President of Real Estate (related only to acquisition or leasing of real property)</li> <li>• Vice President of Construction and Engineering (related only to engineering and construction)</li> <li>• Business Relations Officer</li> </ul>
Gingercrest, Inc.	Georgia	Carl Bolch, Jr. Max Lenker Robert J. Dumbacher Susan Bass Bolch Natalie Bolch Morhous Melanie Bolch Isbill Jordan Bass Bolch	<ul style="list-style-type: none"> <li>• CEO</li> <li>• President</li> <li>• CFO</li> <li>• Chief Legal Officer</li> <li>• Chief Marketing Officer</li> <li>• Chief Development Officer</li> <li>• Vice President of Real Estate (related only to acquisition or leasing of real property)</li> <li>• Vice President of Construction and Engineering (related only to engineering and construction)</li> <li>• Business Relations Officer</li> </ul>

ENTITY	JURISDICTION OF INCORPORATION	MEMBERS OF THE BOARD OF DIRECTORS	AUTHORIZED OFFICERS
Mesquite Creek Development, Inc.	Georgia	Carl Bolch, Jr. Max Lenker Robert J. Dumbacher Susan Bass Bolch Natalie Bolch Morhous Melanie Bolch Isbill Jordan Bass Bolch	<ul style="list-style-type: none"> <li>• CEO</li> <li>• President</li> <li>• CFO</li> <li>• Chief Legal Officer</li> <li>• Chief Marketing Officer</li> <li>• Chief Development Officer</li> <li>• Vice President of Real Estate (related only to acquisition or leasing of real property)</li> <li>• Vice President of Construction and Engineering (related only to engineering and construction)</li> <li>• Business Relations Officer</li> </ul>
Mountainprize, Inc.	Georgia	Carl Bolch, Jr. Max Lenker Robert J. Dumbacher Susan Bass Bolch Natalie Bolch Morhous Melanie Bolch Isbill Jordan Bass Bolch	<ul style="list-style-type: none"> <li>• CEO</li> <li>• President</li> <li>• CFO</li> <li>• Chief Legal Officer</li> <li>• Chief Marketing Officer</li> <li>• Chief Development Officer</li> <li>• Vice President of Real Estate (related only to acquisition or leasing of real property)</li> <li>• Vice President of Construction and Engineering (related only to engineering and construction)</li> <li>• Business Relations Officer</li> </ul>
Pecos Pointe, Inc.	Texas	Carl Bolch, Jr.	<ul style="list-style-type: none"> <li>• CEO</li> </ul>

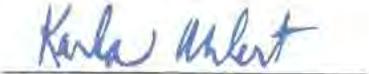
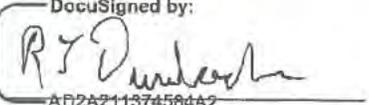
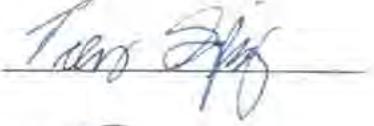
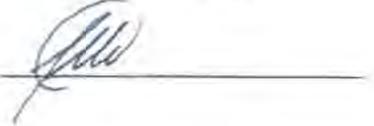
ENTITY	JURISDICTION OF INCORPORATION	MEMBERS OF THE BOARD OF DIRECTORS	AUTHORIZED OFFICERS
		Max Lenker Robert J. Dumbacher Susan Bass Bolch Natalie Bolch Morhous Melanie Bolch Isbill Jordan Bass Bolch	<ul style="list-style-type: none"> <li>• President</li> <li>• CFO</li> <li>• Chief Legal Officer</li> <li>• Chief Marketing Officer</li> <li>• Chief Development Officer</li> <li>• Vice President of Real Estate (related only to acquisition or leasing of real property)</li> <li>• Vice President of Construction and Engineering (related only to engineering and construction)</li> <li>• Business Relations Officer</li> </ul>
Pepperwood, Inc.	Georgia	Carl Bolch, Jr. Max Lenker Robert J. Dumbacher Susan Bass Bolch Natalie Bolch Morhous Melanie Bolch Isbill Jordan Bass Bolch	<ul style="list-style-type: none"> <li>• CEO</li> <li>• President</li> <li>• CFO</li> <li>• Chief Legal Officer</li> <li>• Chief Marketing Officer</li> <li>• Chief Development Officer</li> <li>• Vice President of Real Estate (related only to acquisition or leasing of real property)</li> <li>• Vice President of Construction and Engineering (related only to engineering and construction)</li> <li>• Business Relations Officer</li> </ul>

ENTITY	JURISDICTION OF INCORPORATION	MEMBERS OF THE BOARD OF DIRECTORS	AUTHORIZED OFFICERS
Southern Cornerstone, Inc.	Georgia	Carl Bolch, Jr. Max Lenker Robert J. Dumbacher Susan Bass Bolch Natalie Bolch Morhous Melanie Bolch Isbill Jordan Bass Bolch	<ul style="list-style-type: none"> <li>• CEO</li> <li>• President</li> <li>• CFO</li> <li>• Chief Legal Officer</li> <li>• Chief Marketing Officer</li> <li>• Chief Development Officer</li> <li>• Vice President of Real Estate (related only to acquisition or leasing of real property)</li> <li>• Vice President of Construction and Engineering (related only to engineering and construction)</li> <li>• Business Relations Officer</li> </ul>
Shell Coast, Inc.	Texas	Carl Bolch, Jr. Max Lenker Robert J. Dumbacher Susan Bass Bolch Natalie Bolch Morhous Melanie Bolch Isbill Jordan Bass Bolch	<ul style="list-style-type: none"> <li>• CEO</li> <li>• President</li> <li>• CFO</li> <li>• Chief Legal Officer</li> <li>• Chief Marketing Officer</li> <li>• Chief Development Officer</li> <li>• Vice President of Real Estate (related only to acquisition or leasing of real property)</li> <li>• Vice President of Construction and Engineering (related only to engineering and construction)</li> <li>• Business Relations Officer</li> </ul>

ENTITY	JURISDICTION OF INCORPORATION	MEMBERS OF THE BOARD OF DIRECTORS	AUTHORIZED OFFICERS
Silver Sites Development, Inc.	Georgia	Carl Bolch, Jr. Max Lenker Robert J. Dumbacher Susan Bass Bolch Natalie Bolch Morhous Melanie Bolch Isbill Jordan Bass Bolch	<ul style="list-style-type: none"><li>• CEO</li><li>• President</li><li>• CFO</li><li>• Chief Legal Officer</li><li>• Chief Marketing Officer</li><li>• Chief Development Officer</li><li>• Vice President of Real Estate (related only to acquisition or leasing of real property)</li><li>• Vice President of Construction and Engineering (related only to engineering and construction)</li><li>• Business Relations Officer</li></ul>

**EXHIBIT "B" - AUTHORIZED OFFICERS/SIGNATURES**

**AS TO THE FOLLOWING COMPANIES:** ANDALUSIA PROPERTIES, INC.  
 DEL LAGO VENTURES, INC.,  
 GINGERCREST, INC.  
 MESQUITE CREEK DEVELOPMENT, INC.  
 MOUNTAINPRIZE, INC.  
 PECOS POINTE, INC.  
 PEPPERWOOD, INC.  
 RACETRAC, INC.  
 SOUTHERN CORNERSTONE, INC.  
 SHELL COAST, INC.  
 SILVER SITES DEVELOPMENT, INC.

<u>Officer</u>	<u>Title</u>	<u>Signature</u>
Max E. McBrayer, Jr.	Chief Executive Officer	
Natalie Bolch Morhous	President/Assistant Secretary	
Karla B. Ahlert	Chief Financial Officer	
Robert J. Dumbacher	Business Relations Officer/ Assistant Secretary	DocuSigned by:  AD2A211374584A2...
Joseph H. Akers	Chief Legal Officer/Assistant Secretary	
Melanie Bolch Isbill	Chief Marketing Officer/ Assistant Secretary	
Robby Posener	Chief Development Officer	
Trey Spivey	Vice President of Real Estate	
Justen Giambalvo	Vice President of Construction and Engineering	







ORDINANCE NO. 2024-026

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ISSUING CONDITIONAL USE PERMIT CU24-07 TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU18-13 (ORDINANCE NO. 2018-043) FOR A PLANNED COMMERCIAL CENTER TO ALLOW FOR THE POSSESSION, STORAGE, RETAIL SALES AND OFF-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER AND WINE ONLY), OUTSIDE DINING, GASOLINE SERVICE AND A MONUMENT SIGN IN CONJUNCTION WITH A CONVENIENCE STORE (RACETRAC), SPECIFICALLY TO REVISE THE SITE LAYOUT TO ADD FUELING PUMPS, FUELING CANOPIES, ELECTRIC VEHICLE CHARGING STATIONS, AND ASSOCIATED MANEUVERING LANES FOR BLOCK 1, LOT 1, RACETRAC GRAPEVINE ADDITION (3955 GRAPEVINE MILLS PARKWAY) IN A DISTRICT ZONED "CC", COMMUNITY COMMERCIAL DISTRICT ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately

surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding

and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU24-07 to amend the previously approved site plan of CU18-13 (Ordinance No. 2018-043) for a planned commercial center to allow for the possession, storage, retail sale and off-premise consumption of alcoholic beverages (beer and wine only), outside dining, gasoline service and a monument sign, specifically to revise the site layout to add fueling pumps, fueling canopies, electric vehicle charging stations, and associated maneuvering lanes in conjunction with a convenience store (RaceTrac) in a district zoned "CC", Community Commercial District Regulations within the following described property: Block 1, Lot 1, RaceTrac Grapevine Addition (3955 Grapevine Mills Parkway) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of March, 2024.

APPROVED:

---

William D. Tate  
Mayor

ATTEST:

---

Tara Brooks  
City Secretary

APPROVED AS TO FORM:

---

Matthew C.G. Boyle  
City Attorney















**RaceTrac**  
CORPORATE STORES  
THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RACE TRAC PETROLEUM, INC. IS PROHIBITED. ©2023 RACE TRAC, INC.

**DESIGN PROFESSIONALS**  
**HR**  
HILL FOLEY ROSSI  
ARCHITECTURE + ENGINEERING

Hill Foley Rossi & Associates  
ARCHITECTURE + ENGINEERING  
3650 Pleasant Hill Road  
Suite 200  
Duluth, GA 30096  
770.622.9658

GTP CONSULTING ENGINEERS  
4197 PLEASANT HILL RD  
SUITE 200  
DULUTH, GA 30096  
770.622.2270

**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
2023.04.27	PRELIMINARY SUBMITTAL
2024.01.31	PERMIT COMMENTS
2024.02.19	PERMIT COMMENTS
2024.03.08	PERMIT COMMENTS

**RaceTrac**  
CORPORATE STORES  
RACE TRAC PETROLEUM, INC.  
200 GALLERIA PARKWAY SOUTHWEST  
SUITE 500  
ATLANTA, GEORGIA 30339  
(770) 421-7600

**PROJECT NAME**  
**GRAPEVINE MILLS EDO**

**TEXAS**  
**3955 GRAPEVINE MILLS EDO**  
**GRAPEVINE, TX 76051**  
**RACE TRAC STORE NUMBER**

**#1065**  
**PROTOTYPIC SERIES 5.5K 2.0**  
**2018 RH W/O**

**PLAN MODIFICATION NOTICE**

SPB NO.	DATE

VOIDED PLAN SHEET: SPB NUMBER THE PROTOTYPIC SERIES SET BEING THE LISTED SPB REPAIR SHEETS THE DATE OF PROTOTYPIC SERIES SET BEING THE DATE OF PROTOTYPIC SERIES SET. IT IS THE RESPONSIBILITY OF THE USER TO VERIFY THE CORRECTNESS OF THE LISTED REVISIONS OR SPB INCORPORATED IN THIS SET OF THE ORIGINAL SET. CORRECT REVISIONS AND CONSTRUCTION SHALL BE INCORPORATED IN THE SHEETS NOT INCORPORATED IN SET.

**PROFESSIONAL SEAL**



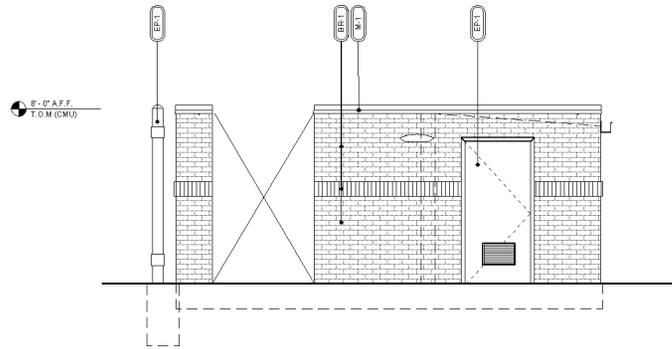
2024.03.08

**PROJECT NUMBER**  
15.720

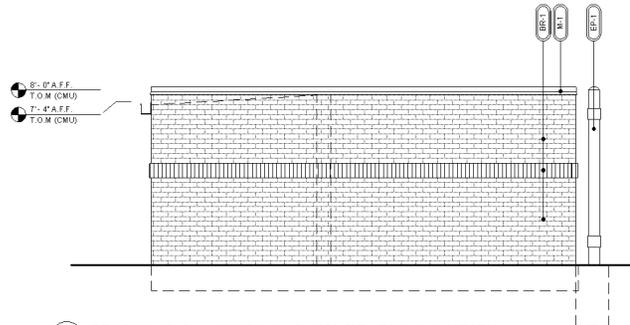
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**DUMPSTER ENCLOSURE ELEVATIONS**

**SHEET NUMBER**  
**A010**

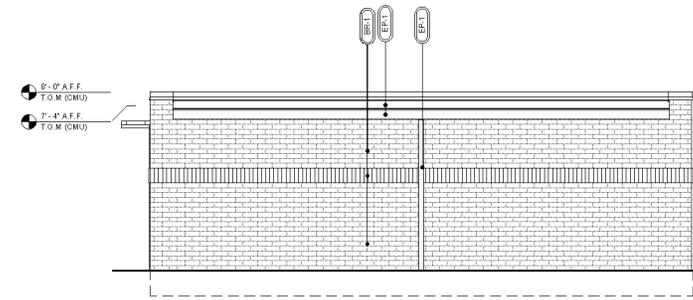
SCALE: AS SHOWN



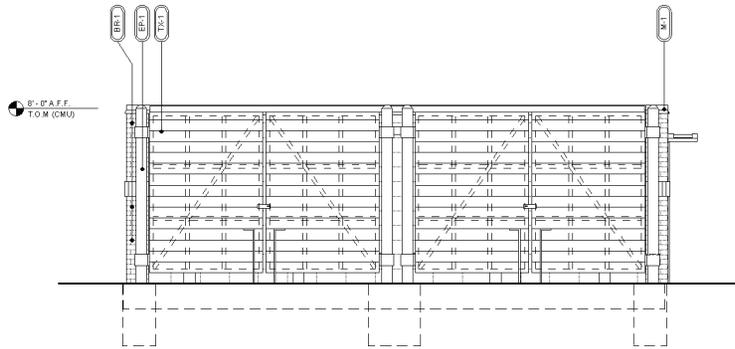
4 PROPOSED DUMPSTER ENCLOSURE RIGHT ELEVATION  
3/8" = 1'-0"



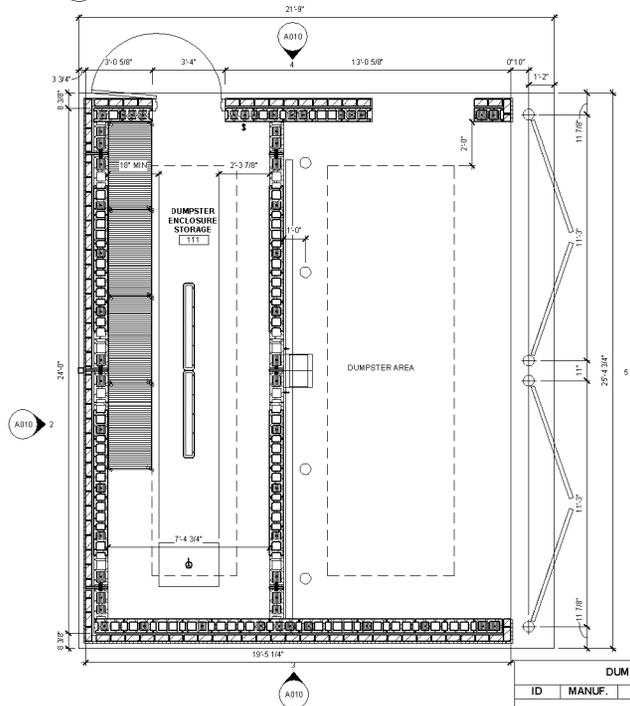
3 PROPOSED DUMPSTER ENCLOSURE LEFT ELEVATION  
3/8" = 1'-0"



2 PROPOSED DUMPSTER ENCLOSURE REAR ELEVATION  
3/8" = 1'-0"



5 PROPOSED DUMPSTER ENCLOSURE FRONT ELEVATION  
3/8" = 1'-0"



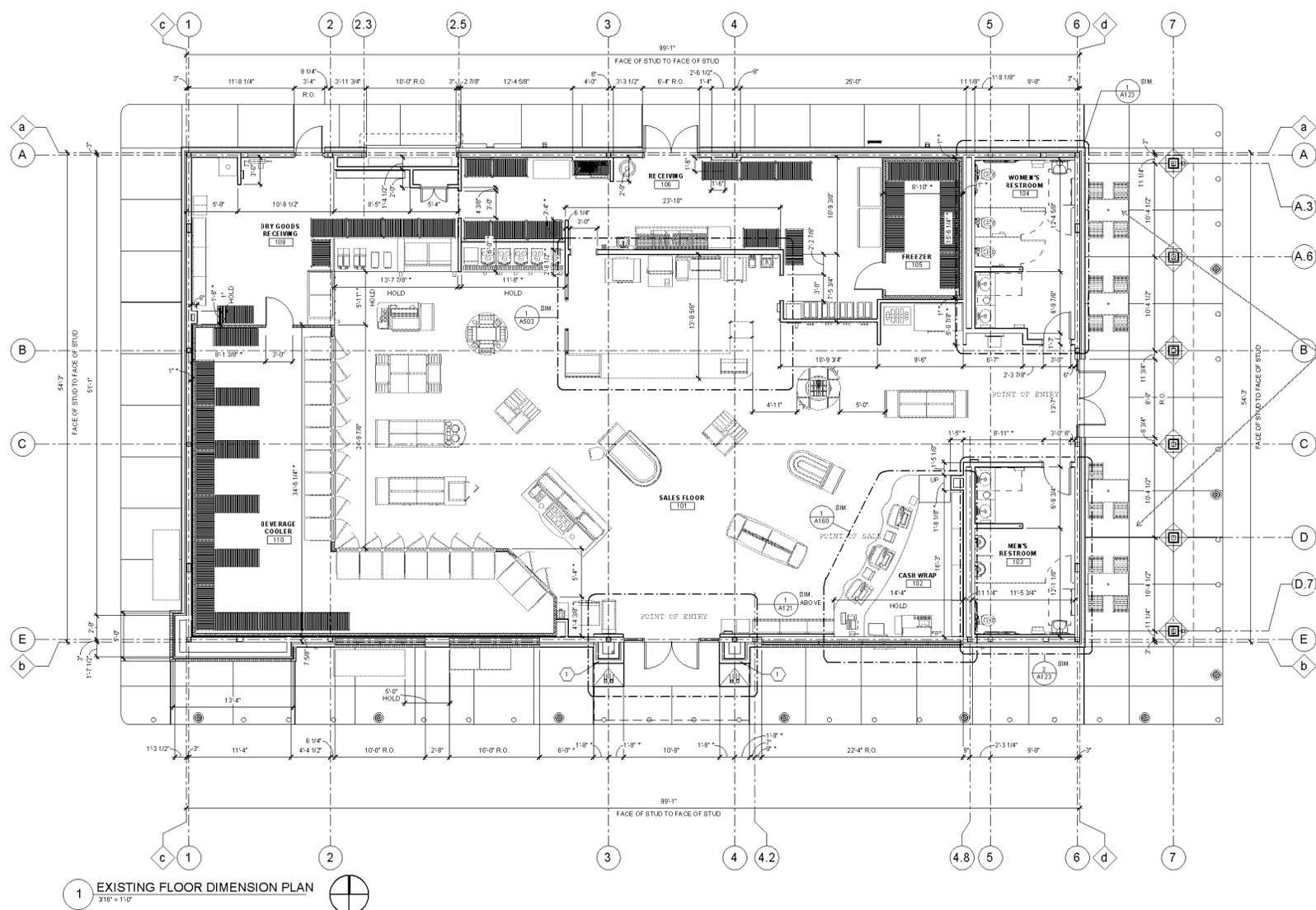
1 PROPOSED DUMPSTER ENCLOSURE PLAN  
3/8" = 1'-0"

CASE NAME: Grapevine Mills EDO  
CASE NUMBER: 2024-07  
LOCATION: 3955 Grapevine Mills Hwy, Grapevine, TX 76051

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 5 OF 5  
APPROVAL DOES NOT AUTHORIZE ANY WORK TO BE COMPLETED WITHOUT THE SIGNATURE OF THE PLANNING SERVICES DEPARTMENT

**DUMPSTER FINISH SCHEDULE**

ID	MANUF.	MATERIAL	COMMENTS
BRICK			
BR-1	US BRICK	LAREDO BRICK	MORTAR COLOR "LIGHT BUFF"
METAL			
M-1		PREFINISHED # 2 PIECE COMPRESSION METAL COVER	METAL TO MATCH ST GREFRONT COLOR DARK BRONZE
PAINT			
EP-1	SHERWIN WILLIAMS	EXTERIOR PAINT TO SW #7022 "BLACK FOX"	
TRX			
TRX-1	SELECT COMPOSITE	1 1/2" X 6"	WOODLAND BROWN



1 EXISTING FLOOR DIMENSION PLAN  
3/16" = 1'-0"

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE (U.O.) AS INDICATED WITH AN ASTERISK (\*).
2. ALL DIMENSIONS NOTED TO BE FIELD VERIFIED ARE CRITICAL TO THE FLOOR PLAN LAYOUT. O.C. TO FIELD. VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT WITH ANY DISCREPANCIES.

**RaceTrac**  
THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT THE EXPRESS WRITTEN PERMISSION OF HILL FOLEY ROSSI, INC. IS PROHIBITED. ©2023 RACETRAC, INC.



Hill Foley Rossi & Associates  
ARCHITECTURE + ENGINEERING  
3650 Pleasant Hill Road  
Suite 200  
Duluth, GA 30096  
770.662.9658

GTP CONSULTING ENGINEERS  
4197 PLEASANT HILL RD  
SUITE 200  
DULUTH, GA 30096  
770.622.2270

ISSUE/REVISION RECORD

DATE	DESCRIPTION
2023.07.27	PRELIMINARY SUBMITTAL
2024.02.11	PERMIT COMMENTS
2024.02.19	PERMIT COMMENTS



RACETRAC PERMITS, INC.  
208 SALLERS PARKWAY SOUTH EAST  
SUITE 500  
ATLANTA, GEORGIA 30339  
(770) 421-7600

PROJECT NAME  
**GRAPEVINE MILLS EDO**

TEXAS  
3955 GRAPEVINE MILLS DRIVE  
GRAPEVINE, TX 76051

RACETRAC STORE NUMBER  
**#1065**

PROTOTYPE SERIES S.S.K. 2.0  
2018 RH M.O.

PLAN MODIFICATION NOTICE  
SPB NO. DATE

SEALING PLAN BULLETINS: SPB NUMBER THE PROTOTYPE SERIES SET BEING BUILT. THE LISTED SPB REPLACES THE LATEST PROTOTYPE SERIES AND IS SUBJECT TO THE PROTOTYPE SERIES SET AT ORIGINAL RELEASE. THE OWNER, BEFORE BEGINS CONSTRUCTION, MUST LAY REVISIONS OR SPB INCORPORATED IN THIS SET INTO THE ORIGINAL BIDDING. CORRECT ALL ELECTRICAL CONDUITING AND CONNECTIONS FOR ANY DISCREPANCIES. BULLETINS NOT INCORPORATED HEREIN.

PROFESSIONAL SEAL



2024.02.19

PROJECT NUMBER  
15.720

SHEET TITLE  
**FLOOR DIMENSION PLAN**

SHEET NUMBER  
**A120**

PRELIMINARY SUBMISSION

SHEET KEYNOTES

1. REFER TO REFERENCE PLANT OR DETAIL REFERENCES AND DETAIL SHEETS FOR DIMENSIONS.

FLOOR DIMENSION PLAN LEGEND

R.O. ROUGH OPENING

CASE NAME: RaceTrac Grapevine  
CASE NUMBER: 2024-07  
LOCATION: 3955 Grapevine Mills Pkwy, Lot 140, Block 1  
Sublot: Grapevine

MAYOR: \_\_\_\_\_ SECRETARY: \_\_\_\_\_

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHEIRSMAN

DATE: \_\_\_\_\_

SHEETS: 1 OF 1

APPROVAL DOES NOT AUTHORIZE ANY REVISIONS OR CONDUCT WITH ANY CODES OR ORDINANCES. PLANNING SERVICES DEPARTMENT





**RT2360 Grapevine Mills EDO  
Additional Site Signage  
3955 Grapevine Mills Pkwy.  
Grapevine, TX.**

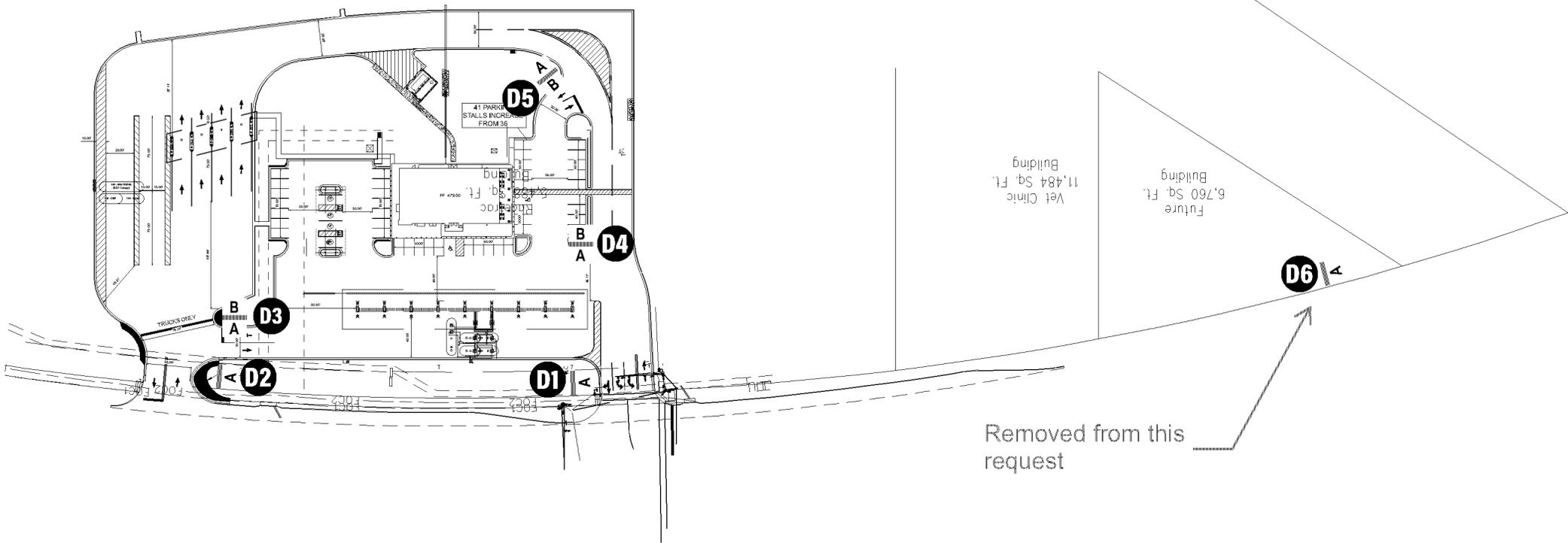
Revision #	Date	Page # and Details
1	11.07.23	Updated site plan. Added D5 Sign.
2	02.13.24	Shifted D1 to other side of drive. Moved D1 and D2 inside property line. Added D6

COLOR	SUPPLIER(S)	PART NUMBER(S)
<b>C1</b> LOGO RED	AKZO NOBEL MATTHEWS	Akzo SIGN91780 Red* MP81489 R137186 LVS Semi-Gloss V1.1 Racetrac Red
<b>C2</b> WHITE	AKZO NOBEL MATTHEWS	Akzo Sign 10553 White* MP83729 R143456 LVS Semi Gloss V1.1 White
<b>C3</b> DARK BRONZE	AKZO NOBEL MATTHEWS	Dark Bronze 313E MP21286 R170760 Dark Bronze 313E
<b>C5</b> RACETRAC BLUE	AKZO NOBEL MATTHEWS 3M	Akzo Code Sign3243 Blue* MP02136 R143265 LVS Semi-Gloss V1.1 Sultan Blue 7725-17 Vivid Blue Opaque Vinyl
<b>C6</b> PRICER BLACK	3M	3630-22 Black Translucent Vinyl
<b>C7</b> PRICER GREEN	3M	3630-156 Vivid Green Translucent Vinyl
<b>C8</b> PRICER RED	3M	3630-143 Poppy Red Translucent Vinyl
<b>C9</b> PRICER BLUE	3M	3630-127 Intense Blue Translucent Vinyl (Ethanol Free-DEF)
<b>C11</b> FORT MYERS, FL AWNING ONLY	AKZO NOBEL MATTHEWS	PMS 1807C Color Match (see provided sample) PMS 1807C Color Match (see provided sample)
<b>C15</b> NAPLES, FL AWNING ONLY	AKZO NOBEL MATTHEWS	SW 6444 Color Match (see provided sample) SW 6444 Color Match (see provided sample)
<b>C18</b> ADDRESS WHITE	3M	7725-10 White Opaque Vinyl
<b>C19</b> STANDARD AWNING RED	AKZO NOBEL MATTHEWS	CUSTOM COLOR MATCH-SAMPLE PROVIDED Mp15024 RED DRAGON LVS SEMI GLOSS V1.1
<b>C20</b> STANDARD AWNING BLUE	AKZO NOBEL MATTHEWS	CUSTOM COLOR MATCH-SAMPLE PROVIDED Mp10259 LVS SEMI GLOSS V1.1
<b>C21</b> EFC WGYG BLUE	MATTHEWS	Mp10147 IMPULSE SATIN FINISH
<b>C22</b> EFC WGYG BEIGE	SHERWIN WILLIAMS	Sw9087 SMOKEY BEIGE
<b>C24</b> EFC STANDARD COLOR	SHERWIN WILLIAMS	Sw7048 URBANE BRONZE

	RACETRAC PRINT-Provided by Miratec Systems
	S WIRLWORLD PRINT-Provided by Miratec Systems
	Flex Face Provided by Others; Install by Sign Vendor
	Provided by Others; Install by Sign Vendor
	3M 3630-43 Light Tomato Red Translucent Vinyl
	Provided by Others; Install by Sign Vendor
	3M 3630-015 Yellow Translucent Vinyl 3M 3630-22 Black Translucent Vinyl or Laminated Digital Print -Provided by Miratec Systems
	3M 3630-167 Bright Blue Translucent Vinyl or Laminated Digital Print -Provided by Miratec Systems
	3M 3630-337 Process Blue Translucent Vinyl or Laminated Digital Print -Provided by Miratec Systems

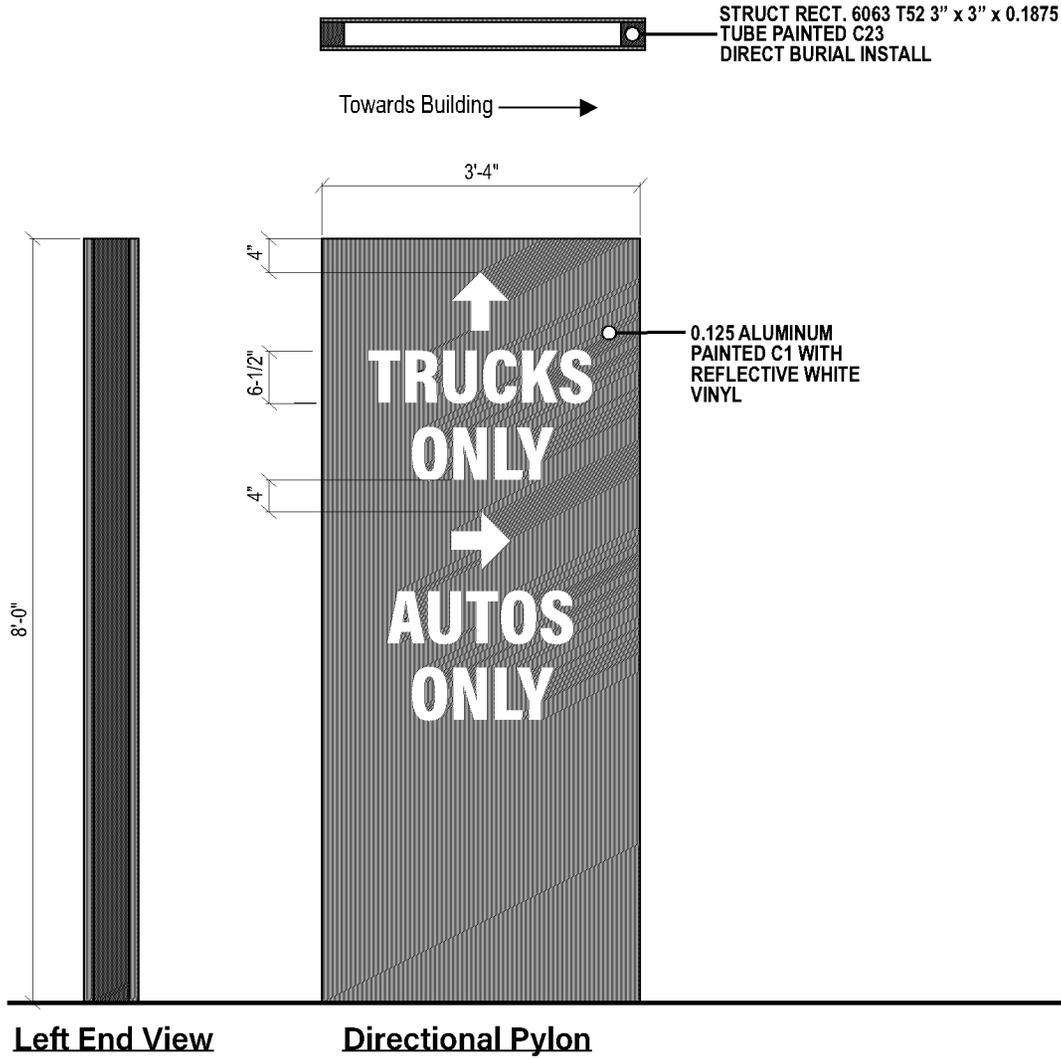


Sign Legend	
<b>D1</b>	Directional Sign
<b>D2</b>	Directional Sign
<b>D3</b>	Directional Sign
<b>D4</b>	Directional Sign
<b>D5</b>	Directional Sign
<b>D6</b>	Directional Sign



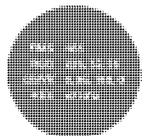
# Non Illuminated Directional Sign: D1-D6

QUANTITY 6  
26.67 S.F. Each  
160.0 S.F. Total



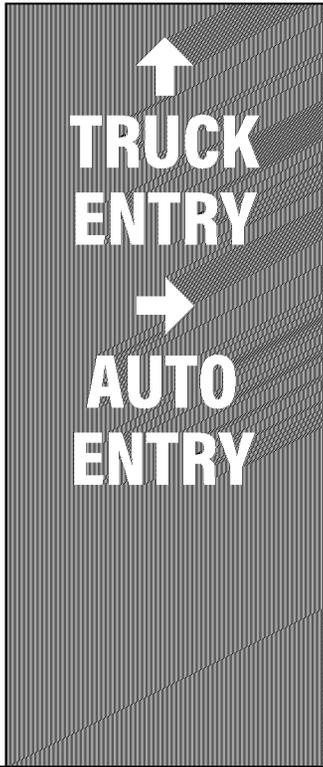
**SAMPLE MESSAGING**  
SINGLE SIDED SIGNS WILL NOT HAVE MESSAGING  
ON SECONDARY SIDE

**ACUMIN PRO CONDENSED BLACK**  
ACUMIN PRO SEMIBOLD



# Non Illuminated Directional Sign: D1-D6

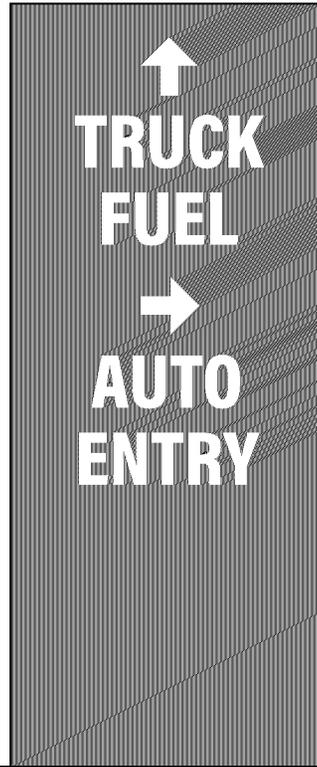
QUANTITY 6  
26.67 S.F. Each  
160.0 S.F. Total



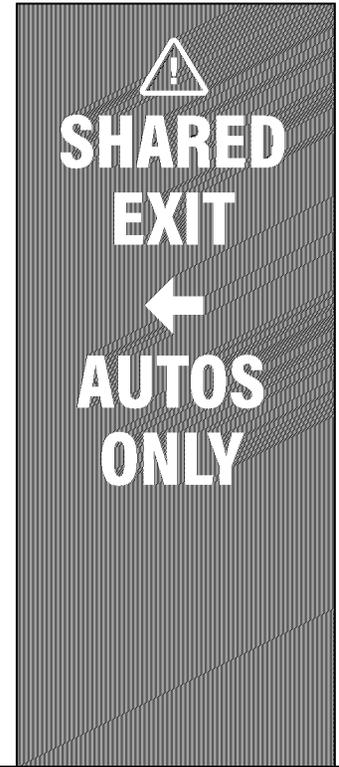
SIDE A  
SINGLE SIDED  
**D1**



SIDE A  
SINGLE SIDED  
**D2**



SIDE A  
**D3**

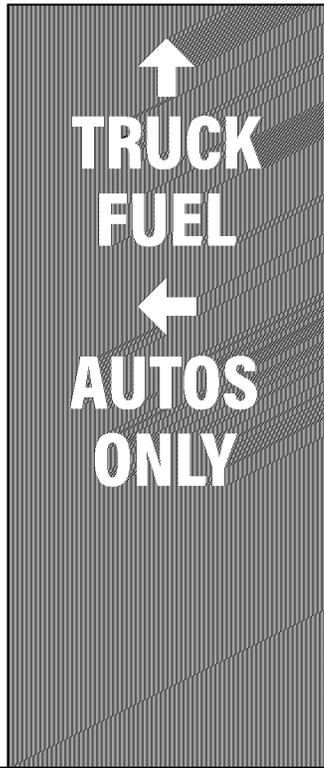


SIDE B  
**D3**



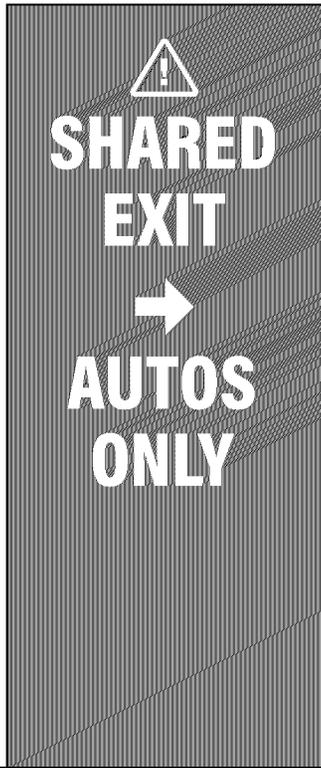
# Non Illuminated Directional Sign: D1-D6

QUANTITY 6  
26.67 S.F. Each  
160.0 S.F. Total



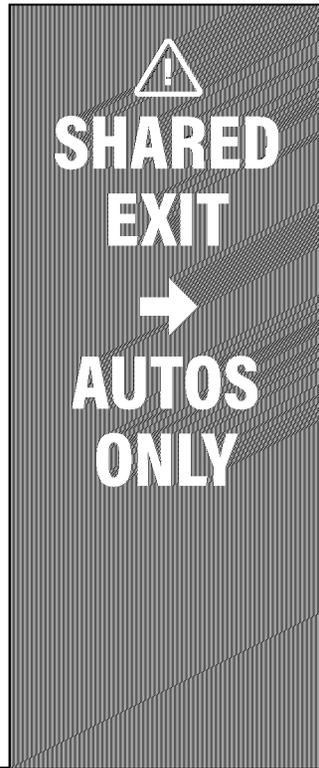
SIDE A

**D4**



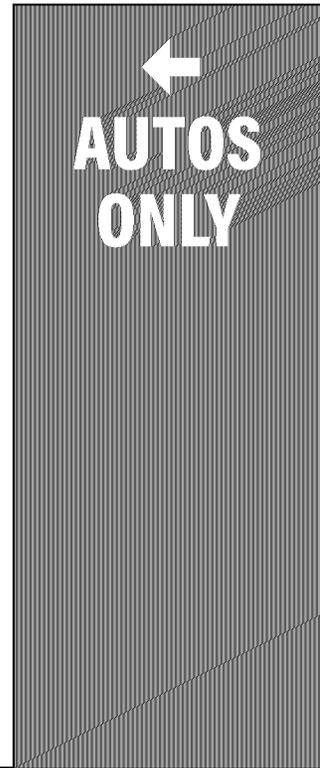
SIDE B

**D4**



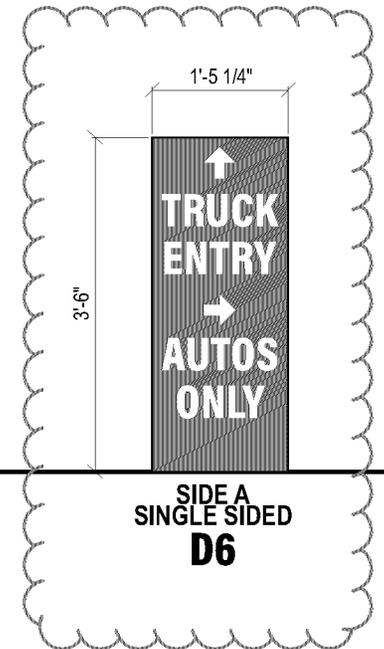
SIDE A

**D5**



SIDE B

**D5**

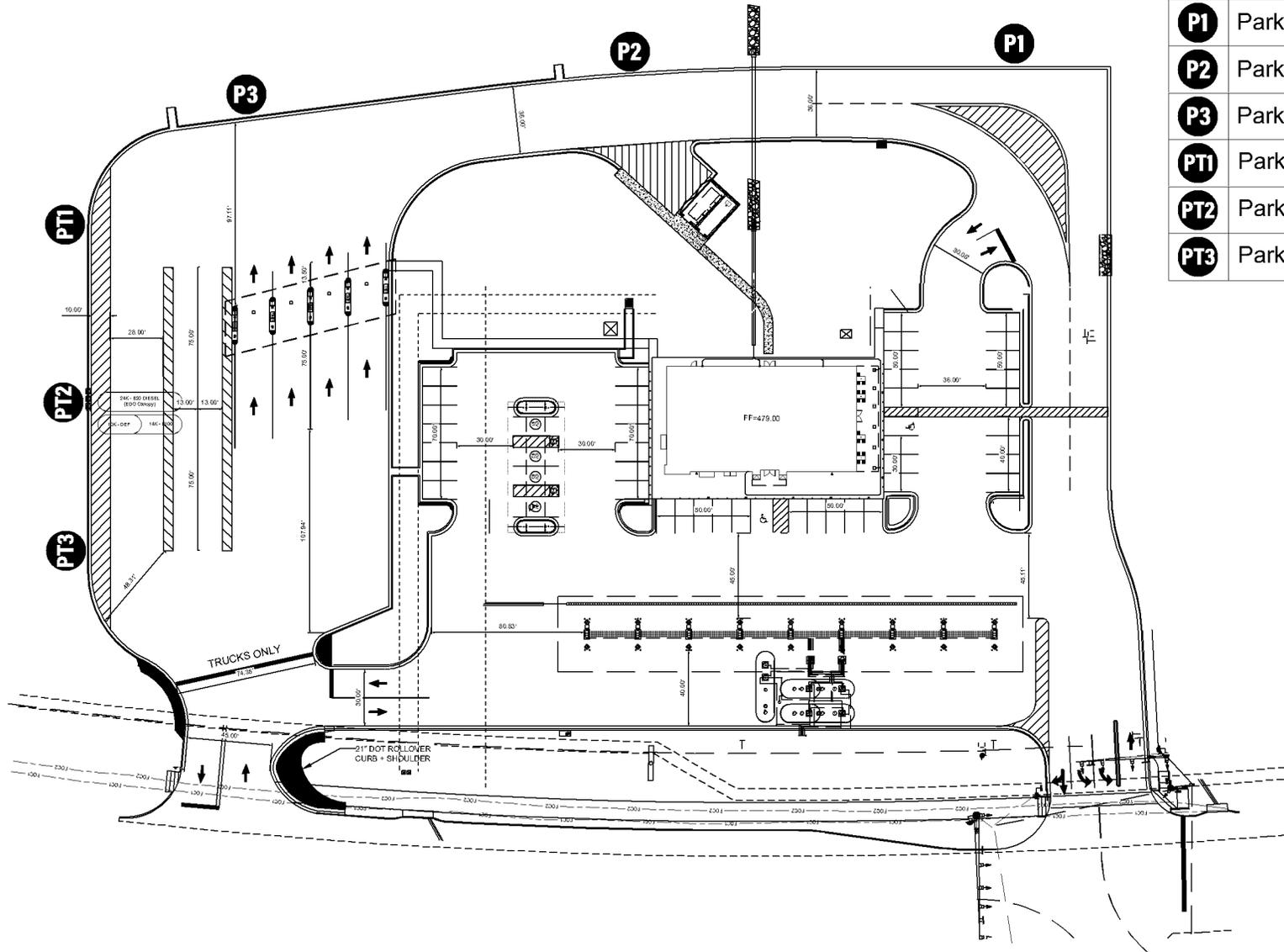


SIDE A  
SINGLE SIDED

**D6**

OMITTED





Sign Legend	
<b>P1</b>	Parking Sign
<b>P2</b>	Parking Sign
<b>P3</b>	Parking Sign
<b>PT1</b>	Parking / Towing Sign
<b>PT2</b>	Parking / Towing Sign
<b>PT3</b>	Parking / Towing Sign

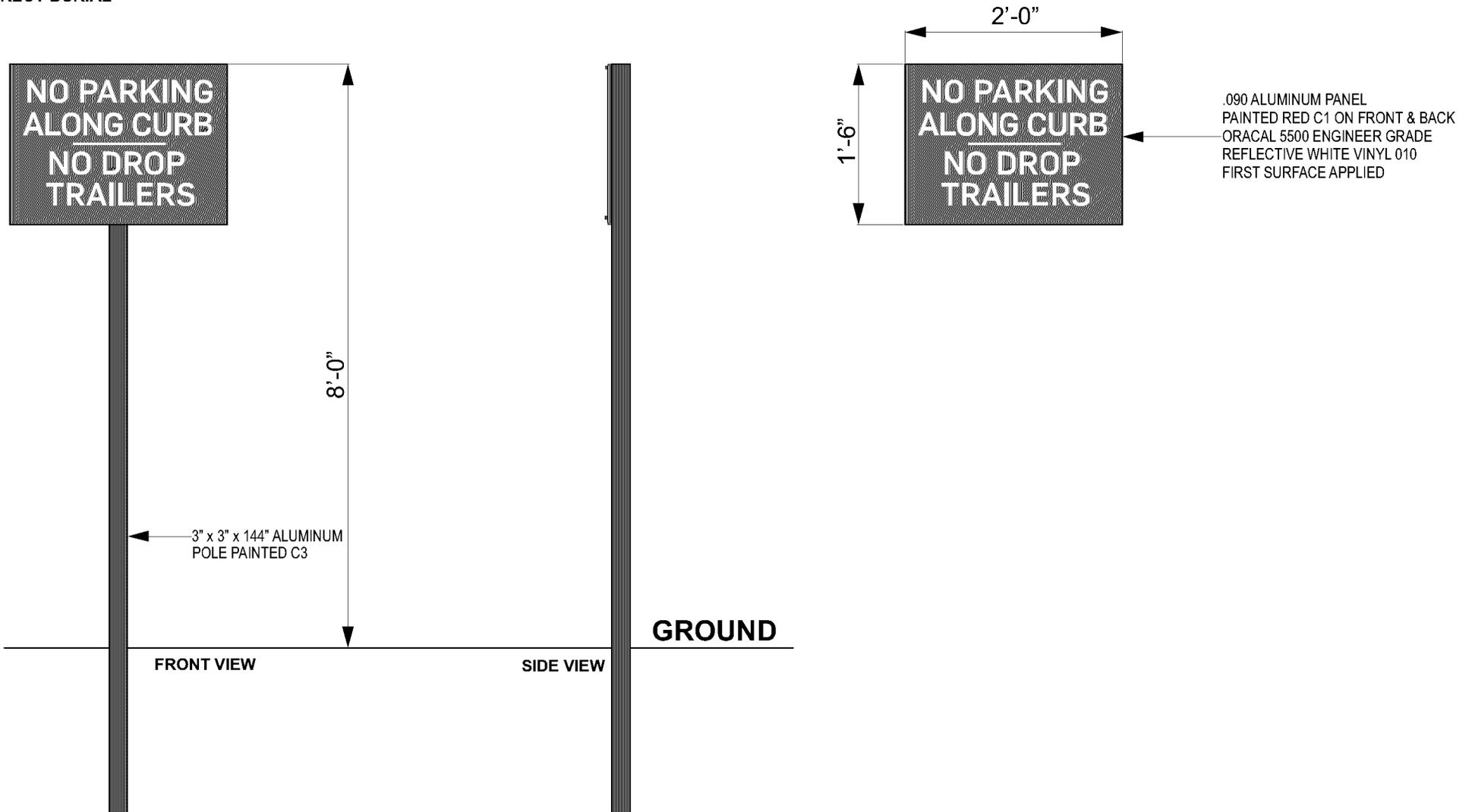


See Color Schedule on Page 2

GENERAL NOTE: ALL WORK SHALL BE IN COMPLIANCE WITH RECOGNIZED INDUSTRY STANDARDS, MANUFACTURER'S RECOMMENDATIONS AND ALL APPLICABLE STATE AND LOCAL CODES. NO SUBSTITUTIONS ALLOWED.

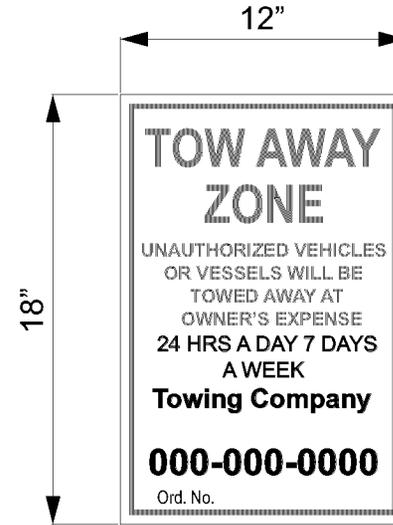
# Parking Signs P1-P3

SINGLE FACED  
QTY 3  
DIRECT BURIAL

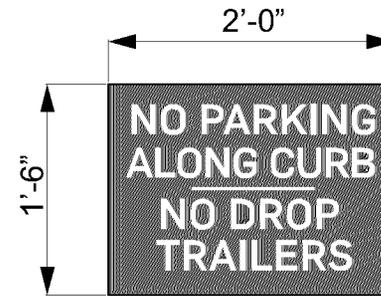


# Parking / Tow Signs, PT1-PT3

SINGLE FACED  
QTY 3  
DIRECT BURIAL



.090 ALUMINUM PANEL  
PAINTED WHITE C2 ON REAR  
REFLECTIVE ENGINEER GRADE  
DIGITAL PRINT  
FIRST SURFACE APPLIED



.090 ALUMINUM PANEL  
PAINTED RED C1 ON FRONT & BACK  
ORACAL 5500 ENGINEER GRADE  
REFLECTIVE WHITE VINYL 010  
FIRST SURFACE APPLIED

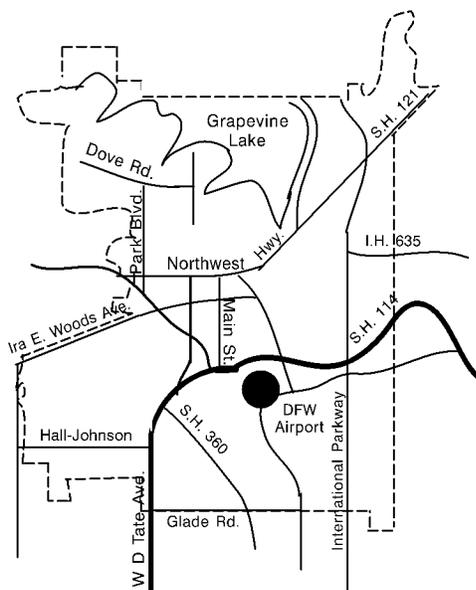


TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE  
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
ERICA MAROHNIC, DIRECTOR, PLANNING SERVICES

MEETING DATE: MARCH 19, 2024

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF  
CONDITIONAL USE APPLICATION CU24-10, AUTOMOTIVE  
FILM APPLICATION FACILITY



APPLICANT: Karl A. Crawley

PROPERTY LOCATION AND SIZE:

The subject property is located at 1702 Minters Chapel Road, Suite 112 and is platted as Lot 1R1, DFW Industrial Park, Phase 3 Addition. The addition contains 1.90 acres and has approximately 205 feet of frontage along Minters Chapel Road.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to amend the previously approved site plan CU09-47 (Ordinance No. 2010-03) to establish a planned industrial park. This request is specifically to allow for the application / installation of paint protection film and window film (window tinting) in conjunction with a proposed business.

The applicant intends to utilize a 7,285 square foot lease space on the subject property, for the application of paint protection film and window film. Paint protection film is applied to painted surfaces of new automobiles to protect the paint. Window film (tinting) is applied to automobile glass to reduce ultraviolet rays and heat transfer. Required parking for the entire office-warehouse complex is 94 parking spaces; 98 parking spaces are provided.

#### PRESENT ZONING AND USE:

The property is currently zoned "LI", Light Industrial District and is developed with one office-warehouse structure.

#### HISTORY OF TRACT AND SURROUNDING AREA:

The subject site was zoned "I-1", Light Industrial District prior to the 1984 City-wide Rezoning at which time the subject site was rezoned to "LI", Light Industrial District.

On February 16, 2010, City Council approved conditional use request, CU09-47 (Ord. 2010-03) for a planned industrial park to include Lots 1R1 and 1R2, DFW Industrial Park, Phase 3 Addition.

#### SURROUNDING ZONING AND EXISTING LAND USE:

NORTH: "LI", Light Industrial District – undeveloped

SOUTH: "LI", Light Industrial District – office warehouse, Apex Group

EAST: DFW International Airport property

WEST: "LI", Light Industrial District – office warehouse, Master Pumps and Power

#### AIRPORT IMPACT:

The subject tract is located within "Zone B" zone of middle effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map. In Zone B, the following uses may be considered only if sound treatment is included in building design: multi family apartments, motels, office buildings, movie theaters, restaurants, and personal and business services. Single family residential and sound sensitive uses such as schools and churches should avoid this zone. The applicant's proposal is an appropriate use in this noise zone.

#### MASTER PLAN APPLICATION:

Map 2: Land Use Plan of the Comprehensive Master Plan designates the subject property as an Industrial/Commercial (I/C) land use. The applicant's proposal is compliant with the Master Plan.

#### THOROUGHFARE PLAN APPLICATION:

The City of Grapevine's Thoroughfare Plan does not designate Minters Chapel Road south

of East State Highway 114 as a local thoroughfare.

/at

CC ITEM #6, 26  
PZ ITEM #6, 12

E SH 114 FR WB

E SH 114 WB

E SH 114 TOLL WB PCD

E STATE HWY 114

E SH 114 TOLL EB

E SH 114 EB

E SH 114 EB ENTER MAIN

E SH 114 FR EB

**DFW IND PARK PH 5**  
**9087**

SUBJECT  
PROPERTY

2A  
.8938 @

1R1  
1.90 @

LI

1R2  
1.70 @

**DFW IND  
PARK  
9085**  
6.972 @

C

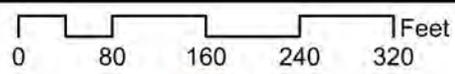
**DFW  
INDUSTRIAL  
PARK  
PHASE III  
9087**

2  
4.6114 @

MINTERS-CHAPEL RD

B3  
.915 @

B2  
1.615 @



### CU24-10; Automotive Film Application Facility 1702 Minters Chapel Road

Date Prepared: 3/5/2024

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

**CONDITIONAL USE PERMIT APPLICATION  
AND SITE PLAN SET CHECKLISTS**

Current or if unplatted, proposed subdivision name(s),  
block(s), & lot(s)

DRW INDUSTRIAL PARK PHASE III, LOT 1R-1

Gross area of parcel (to nearest tenth of  
acre)

1.89 AC

Street frontage & distance to nearest cross street

205'; 509' TO PORT AMERICA PL

Describe the Proposed Use

AUTOMOTIVE FILM APPLICATION

Proposed Zoning

LI

Existing Zoning

LI

Future Land Use Designation

INDUSTRIAL/COMMERCIAL

Subject Property Address

1702 MINTERS CHAPEL ROAD

***All Conditional Use Permit Requests are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of staff. Based on the size of the agenda, your application may be scheduled to a later date.***

***All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.***

***Any changes to a site plan approved with a conditional use permit request can only be approved by City Council through the public hearing process.***

***Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four-month period.***

***I have read and understand all of the requirements as set forth by the application for a conditional use permit request and acknowledge that all requirements of this application have been met at the time of submittal.***

Owner Name Minters Chapel 121, LLC c/o Suzanna Dryden Jensen Owner Phone Number 972-934-8596

Company Minters Chapel 121, LLC

Address PO Box 2189

City Addison State TX Zip Code 75001

Email [REDACTED]



CU24-10

Planning Services Department

200 S. Main Street • Grapevine, TX 76051 • 817.410.3155 • <https://bit.ly/GrapevinePlanning>

CONDITIONAL USE PERMIT APPLICATION  
AND SITE PLAN SET CHECKLISTS

Project Representation (check one):

- I will represent the application myself; OR
- I hereby designate Karl A Crawley, Masterplan (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this request. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this request.

I hereby certify that I am the property owner of the property and further certify that the information provided on this development application is true and correct. I have selected the above submittal type and representation of my own volition and not at the request of the City of Grapevine.

Property Owner's Signature Suzanna Dryden Jensen Date 2-2-2024

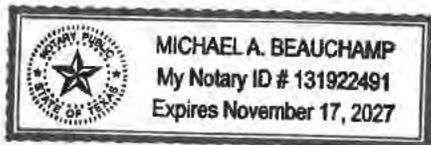
STATE OF: TX  
COUNTY OF: Dallas

BEFORE ME, a Notary Public, on this day personally appeared Suzanna Dryden Jensen (printed property owner's name) the above signed, who, under oath, stated the following: "I hereby certify that I am the property owner for the purposes of this application; that all information submitted herein is true and correct."

SUBSCRIBED AND SWORN TO before me, this the 2 day of Feb, 2024

Michael A. Beauchamp

NOTARY PUBLIC in and for the State of Texas



CU24-10

CONDITIONAL USE PERMIT APPLICATION  
AND SITE PLAN SET CHECKLISTS

PLATTING VERIFICATION:

- It has been determined that the property described below does **require platting or replatting** and the applicant has been instructed on this procedure.
  
- It has been determined that the property described below is **currently platted** or **does not require platting or replatting** at this time.

Address of subject property 1702 Minters Chapel Road

Legal description of subject property  
DFW Industrial Park Phase III, Lot 1R1

*Custine Phume* 2-5-2024  
Public Works Department Date



**CU24-10**

**TEXAS SECRETARY of STATE**  
**JANE NELSON**

**BUSINESS ORGANIZATIONS INQUIRY - VIEW ENTITY**

<b>Filing Number:</b>	801770391	<b>Entity Type:</b>	Domestic Limited Liability Company (LLC)
<b>Original Date of Filing:</b>	April 19, 2013	<b>Entity Status:</b>	In existence
<b>Formation Date:</b>	N/A	<b>FEIN:</b>	
<b>Tax ID:</b>	32050780421		
<b>Duration:</b>	Perpetual		
<b>Name:</b>	Minters Chapel 121, LLC		
<b>Address:</b>	PO BOX 2189 ADDISON, TX 75001 USA		

<u>REGISTERED AGENT</u>	<u>FILING HISTORY</u>	<u>NAMES</u>	<u>MANAGEMENT</u>	<u>ASSUMED NAMES</u>	<u>ASSOCIATED ENTITIES</u>	<u>INITIAL ADDRESS</u>
<b>Last Update</b>	<b>Name</b>	<b>Title</b>	<b>Address</b>			
December 9, 2022	MERCEDES FANNIN LTD	MEMBER	4849 KELLER SPRINGS ADDISON, TX 75001-USA			
December 9, 2022	DRYDEN DORCHESTER LTD	MEMBER	4849 KELLER SPRINGS ADDISON, TX 75001 USA			
December 9, 2022	SUZANNA JENSEN	MEMBER	4849 KELLER SPRINGS ADDISON, TX 75001 USA			
December 9, 2022	SHEILA CRITES	MEMBER	4849 KELLER SPRINGS ADDISON, TX 75001 USA			

Instructions:  
 • To place an order for additional information about a filing press the 'Order' button.



CU24-10



05-102  
(Rev. 9-15/33)

### Texas Franchise Tax Public Information Report

To be filed by Corporations, Limited Liability Companies (LLC), Limited Partnerships (LP), Professional Associations (PA) and Financial Institutions

■ Tcode 13196 Franchise

■ Taxpayer number

3 2 0 5 0 7 8 0 4 2 1

■ Report year

2 0 2 2

You have certain rights under Chapter 552 and 559, Government Code, to review, request and correct information we have on file about you. Contact us at 1-800-252-1381.

Taxpayer name <b>MINTERS CHAPEL 121, LLC</b>			<input type="checkbox"/> Blacken circle if the mailing address has changed.		
Mailing address <b>PO BOX 2189</b>			Secretary of State (SOS) file number or Comptroller file number <b>0801770391</b>		
City <b>ADDISON</b>	State <b>TX</b>	ZIP code plus 4 <b>75001</b>			

Blacken circle if there are currently no changes from previous year; if no information is displayed, complete the applicable information in Sections A, B and C.

Principal office <b>PO BOX 2189, ADDISON, TX, 75001</b>
Principal place of business <b>PO BOX 2189, ADDISON, TX, 75001</b>



100000000015

You must report officer, director, member, general partner and manager information as of the date you complete this report.

*Please sign below!* This report must be signed to satisfy franchise tax requirements.

**SECTION A** Name, title and mailing address of each officer, director, member, general partner or manager.

Name <b>MERCEDES FANNIN LTD</b>	Title <b>MEMBER</b>	Director <input type="checkbox"/> YES	Term expiration m m d d y y
Mailing address <b>4849 KELLER SPRINGS</b>	City <b>ADDISON</b>	State <b>TX</b>	ZIP Code <b>75001</b>
Name <b>DRYDEN DORCHESTER LTD</b>	Title <b>MEMBER</b>	Director <input type="checkbox"/> YES	Term expiration m m d d y y
Mailing address <b>4849 KELLER SPRINGS</b>	City <b>ADDISON</b>	State <b>TX</b>	ZIP Code <b>75001</b>
Name <b>SUZANNA JENSEN</b>	Title <b>MEMBER</b>	Director <input type="checkbox"/> YES	Term expiration m m d d y y
Mailing address <b>4849 KELLER SPRINGS</b>	City <b>ADDISON</b>	State <b>TX</b>	ZIP Code <b>75001</b>

**SECTION B** Enter information for each corporation, LLC, LP, PA or financial institution, if any, in which this entity owns an interest of 10 percent or more.

Name of owned (subsidiary) corporation, LLC, LP, PA or financial institution	State of formation	Texas SOS file number, if any	Percentage of ownership
Name of owned (subsidiary) corporation, LLC, LP, PA or financial institution	State of formation	Texas SOS file number, if any	Percentage of ownership

**SECTION C** Enter information for each corporation, LLC, LP, PA or financial institution, if any, that owns an interest of 10 percent or more in this entity.

Name of owned (parent) corporation, LLC, LP, PA or financial institution <b>MERCEDES FANNIN, LTD</b>	State of formation <b>TX</b>	Texas SOS file number, if any <b>0007578410</b>	Percentage of ownership <b>50.000</b>
---	---------------------------------	--	--

Registered agent and registered office currently on file (see instructions if you need to make changes)  
Agent: **SUZANNA DRYDEN JENSEN**

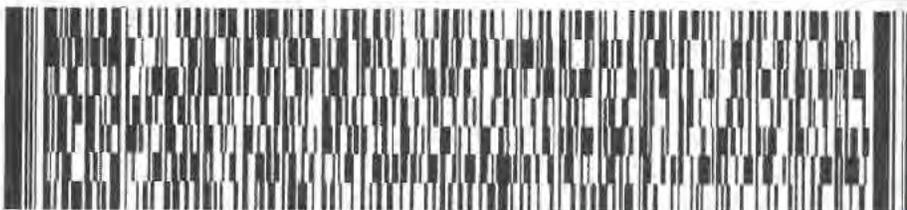
Office: **4849 KELLER SPRINGS RD** City: **ADDISON** State: **TX** ZIP Code: **75001**

The information on this form is required by Section 171.203 of the Tax Code for each corporation, LLC, LP, PA or financial institution that files a Texas Franchise Tax Report. Use additional sheets for Sections A, B and C, if necessary. The information will be available for public inspection.

I declare that the information in this document and any attachments is true and correct to the best of my knowledge and belief, as of the date below, and that a copy of this report has been mailed to each person named in this report who is an officer, director, member, general partner or manager and who is not currently employed by this or a related corporation, LLC, LP, PA or financial institution.

sign here **SUZANNA D JENSEN** Title **MANAGER** Date **07/15/2022** Area code and phone number **( 972 ) 934 - 2233**

**Texas Comptroller Official Use Only**

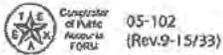


VE/DE	<input type="checkbox"/>	PIR IND	<input type="checkbox"/>
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**RECEIVED**  
**FEB 05 2024**  
By: .....

**CU24-10**



# Texas Franchise Tax Public Information Report

To be filed by Corporations, Limited Liability Companies (LLC), Limited Partnerships (LP), Professional Associations (PA) and Financial Institutions

■ Tcode 13196 Franchise

■ Taxpayer number **3 2 0 5 0 7 8 0 4 2 1**      ■ Report year **2 0 2 2**

You have certain rights under Chapter 552 and 559, Government Code, to review, request and correct information we have on file about you. Contact us at 1-800-252-1381.

Taxpayer name **MINTERS CHAPEL 121, LLC**       Blacken circle if the mailing address has changed.

Mailing address **PO BOX 2189**

City **ADDISON**      State **TX**      ZIP code plus 4 **75001**

Secretary of State (SOS) file number or Comptroller file number **0801770391**

Blacken circle if there are currently no changes from previous year; if no information is displayed, complete the applicable information in Sections A, B and C.

Principal office **PO BOX 2189, ADDISON, TX, 75001**

Principal place of business **PO BOX 2189, ADDISON, TX, 75001**



1000000000015

You must report officer, director, member, general partner and manager information as of the date you complete this report.

**Please sign below!** This report must be signed to satisfy franchise tax requirements.

**SECTION A** Name, title and mailing address of each officer, director, member, general partner or manager.

Name	Title	Director	Term expiration
<b>SHEILA CRITES</b>	<b>MEMBER</b>	<input type="radio"/> YES	m m d d y y
Mailing address <b>4849 KELLER SPRINGS</b>	City <b>ADDISON</b>	State <b>TX</b>	ZIP Code <b>75001</b>
Name	Title	Director	Term expiration
Mailing address	City	State	ZIP Code
Name	Title	Director	Term expiration
Mailing address	City	State	ZIP Code

**SECTION B** Enter information for each corporation, LLC, LP, PA or financial institution, if any, in which this entity owns an interest of 10 percent or more.

Name of owned (subsidiary) corporation, LLC, LP, PA or financial institution	State of formation	Texas SOS file number, if any	Percentage of ownership

**SECTION C** Enter information for each corporation, LLC, LP, PA or financial institution, if any, that owns an interest of 10 percent or more in this entity.

Name of owned (parent) corporation, LLC, LP, PA or financial institution	State of formation	Texas SOS file number, if any	Percentage of ownership
<b>DRYDEN DORCHESTER, LTD</b>	<b>TX</b>	<b>0012648210</b>	<b>41.000</b>

Registered agent and registered office currently on file (see instructions if you need to make changes)  
Agent: **SUZANNA DRYDEN JENSEN**

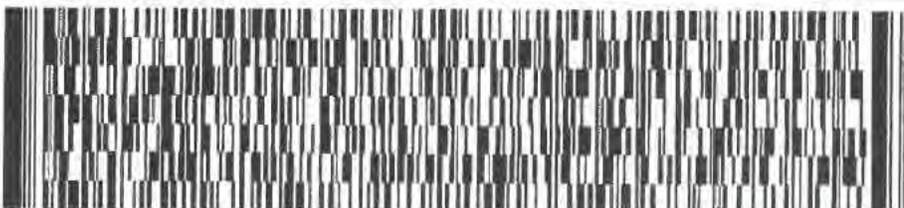
Office: **4849 KELLER SPRINGS RD**      City **ADDISON**      State **TX**      ZIP Code **75001**

The information on this form is required by Section 171.203 of the Tax Code for each corporation, LLC, LP, PA or financial institution that files a Texas Franchise Tax Report. Use additional sheets for Sections A, B and C, if necessary. The information will be available for public inspection.

I declare that the information in this document and any attachments is true and correct to the best of my knowledge and belief, as of the date below, and that a copy of this report has been mailed to each person named in this report who is an officer, director, member, general partner or manager and who is not currently employed by this or a related corporation, LLC, LP, PA or financial institution.

sign here **SUZANNA D JENSEN**      Title **MANAGER**      Date **07/15/2022**      Area code and phone number **( 972 ) 934 - 2233**

**Texas Comptroller Official Use Only**



VE/DE       PIR/IND



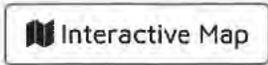
**RECEIVED**

**FEB 05 2024**

By: .....

**CU24-10**

41504828 (Commercial)



1702 MINTERS CHAPEL RD, GRAPEVINE

**Property Type:** Commercial  
**Legal Description:** D F W IND PARK PHASE 3 ADDN Lot 1R1  
**AIN:** -9087-----1R1  
**State Code:** F1  
**Year Built:** 1985  
**Agent of Authority:** CANTRELL MCCULLOCH INC  
**Agent Number:** 00751  
**Site Number:** 80877127  
**Site Name:** 1702 MINTERS CHAPEL RD  
**Site Class:** WHFlex - Warehouse-Flex/Multi-Use  
**Number of Parcels:** 1  
**Primary Building Name:** 1702 MINTERS CHAPEL RD / 41504828  
**Primary Building Type:** Commercial  
**Gross Building Area:** 42,054  
**Net Leasable Area:** 42,054  
**Land Sqft:** 82,575  
**Land Acres:** 1.8956  
**Pool:** None



[Property Value](#)   [Geolocation](#)   [Taxing Units](#)   [Ownership](#)   [Exemptions](#)   [Documents](#)

### 5 Years historical Value

Year	Land Appr.	Imprv. Appr.	Total Appr.	Land Mkt.	Imprv. Mkt.	Total Mkt.
2024	\$0	\$0	\$0	\$0	\$0	\$0
2023	\$330,300	\$2,672,345	\$3,002,645	\$330,300	\$2,672,345	\$3,002,645
2022	\$330,300	\$2,321,810	\$2,652,110	\$330,300	\$2,321,810	\$2,652,110
2021	\$330,300	\$2,013,500	\$2,343,800	\$330,300	\$2,013,500	\$2,343,800
2020	\$330,300	\$2,013,500	\$2,343,800	\$330,300	\$2,013,500	\$2,343,800
2019	\$330,300	\$2,013,500	\$2,343,800	\$330,300	\$2,013,500	\$2,343,800



**Information:** Information relating to the current year should be considered a "work in progress".  
 Prior year data is informational only and does not necessarily replicate the values.  
 The information provided is purely for ad valorem taxation purposes.

CONDITIONAL USE PERMIT APPLICATION  
AND SITE PLAN SET CHECKLISTS

Project Representative Information (complete if designated by owner)

Engineer  Purchaser  Tenant  Preparer  Other (specify) Applicant

Name Karl A Crawley Company MASTERPLAN

Address 2201 Main Street, Suite 1280

City Dallas State TX Zip Code 75201

Phone 214 761 9197 Email [REDACTED]

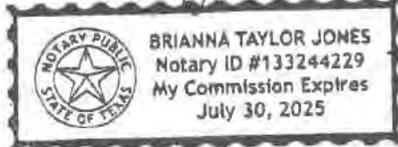
Applicant's Signature [Signature] Date \_\_\_\_\_

STATE OF: TEXAS

COUNTY OF: Dallas

BEFORE ME, a Notary Public, on this day personally appeared \_\_\_\_\_  
(printed property owner's name) the above signed, who, under oath, stated the following: "I hereby  
certify that I am the applicant for the purposes of this application; that all information submitted herein  
is true and correct."

SUBSCRIBED AND SWORN TO before me, this the 1 day of  
February, 2024



[Signature]  
NOTARY PUBLIC in and for the State of Texas

If the legal owner of the property is a corporation, company, partnership, or Limited Liability Company,  
provide a copy of a legal document attached with this application showing that the individual signing  
this document is a duly authorized partner, officer, or owner of said corporation, partnership, or  
Limited Liability Company.

For any individual or organization who consents to act as an agent for the entity for purposes of receiving any  
process, notice or demand:

Entity Name or File Number: Minter Chapel 121, LLC

Provide a most recent public information report that includes:

1. All general partners
2. File Number
3. Registered agent name
4. Mailing address



(You may order a copy of a Public Information Report from [open\\_records@cpa.texas.gov](mailto:open_records@cpa.texas.gov) or Comptroller of Public Accounts, Open  
Records Section, PO Box 13528, Austin, Texas 78711 or go to <https://mycpa.cpa.state.tx.us/coa/search.do>)

**CU24-10**

## Grapevine Installation Center WCK.013124

The work performed by the Eastman's Performance Films business at this facility encompasses the application/installation of:

- **Paint protection film** (PPF, also called clear bra) onto the painted surfaces of a new car to protect the paint from stone chips, bug splatters and minor abrasion and
- **Window film** (commonly called window tint) on automotive glazing to protect passengers from harmful UV rays from the sun as well as reducing heat transfer into the cabin as well as glare.

The application/installation of these films are completed manually by company-trained installers.

Process-wise –

New cars will be delivered from local Grapevine auto dealerships (BMW, Lexus, Audi, Range Rover, etc.) to our facility. Cars are pre-prepped by the dealerships (thoroughly washed of any dirt or debris on the car surfaces) such that only a light rinsing of the vehicles (bucket, water, chamois cloth) are required prior to film application/installation.

The films are typically applied/installed using a slip solution (32 oz spray bottle of water mixed with low concentration of Johnson's baby shampoo) and a tack solution (32 oz spray bottle of water mixed with low concentration of isopropyl alcohol).

There may be 5-8 cars at any given time in the facility that are being worked on. The turnaround time for work on a car varies from a few hours to a few days. They would be ~8 employees working out of this facility. The general work hours are from 8am to ~6pm on Mondays - Fridays. There may be a small crew that works on Saturdays and on occasional Sundays during the high seasons for new car sales.

Below is a facility that would be similar to what is contemplated for the Grapevine facility.



ORDINANCE NO. 2024-027

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ISSUING CONDITIONAL USE PERMIT CU24-10 TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU09-47 (ORDINANCE NO. 2010-003) TO ESTABLISH A PLANNED INDUSTRIAL PARK. THIS REQUEST IS SPECIFICALLY TO ALLOW FOR THE APPLICATION / INSTALLATION OF PAINT PROTECTION FILM AND WINDOW FILM (WINDOW TINTING) IN CONJUNCTION WITH A PROPOSED BUSINESS, FOR LOT 1R1, DFW INDUSTRIAL PARK, PHASE 3 (1702 MINTERS CHAPEL ROAD, SUITE 112) IN A DISTRICT ZONED "LI", LIGHT INDUSTRIAL, ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected

to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU24-10 to amend the previously site plan of CU09-47 (Ordinance No. 2010-03) to establish a planned industrial park. This request is specifically to allow for the application / installation of paint protection film and window film (window tinting) in conjunction with a proposed business, for Lot 1R1, DFW Industrial Park, Phase 3 Addition, (1702 Minters Chapel Road, Suite 112), in a District zoned "LI", Light Industrial, all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. That the City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. That this ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts

of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. That any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of March, 2024.

APPROVED:

---

William D. Tate  
Mayor

ATTEST:

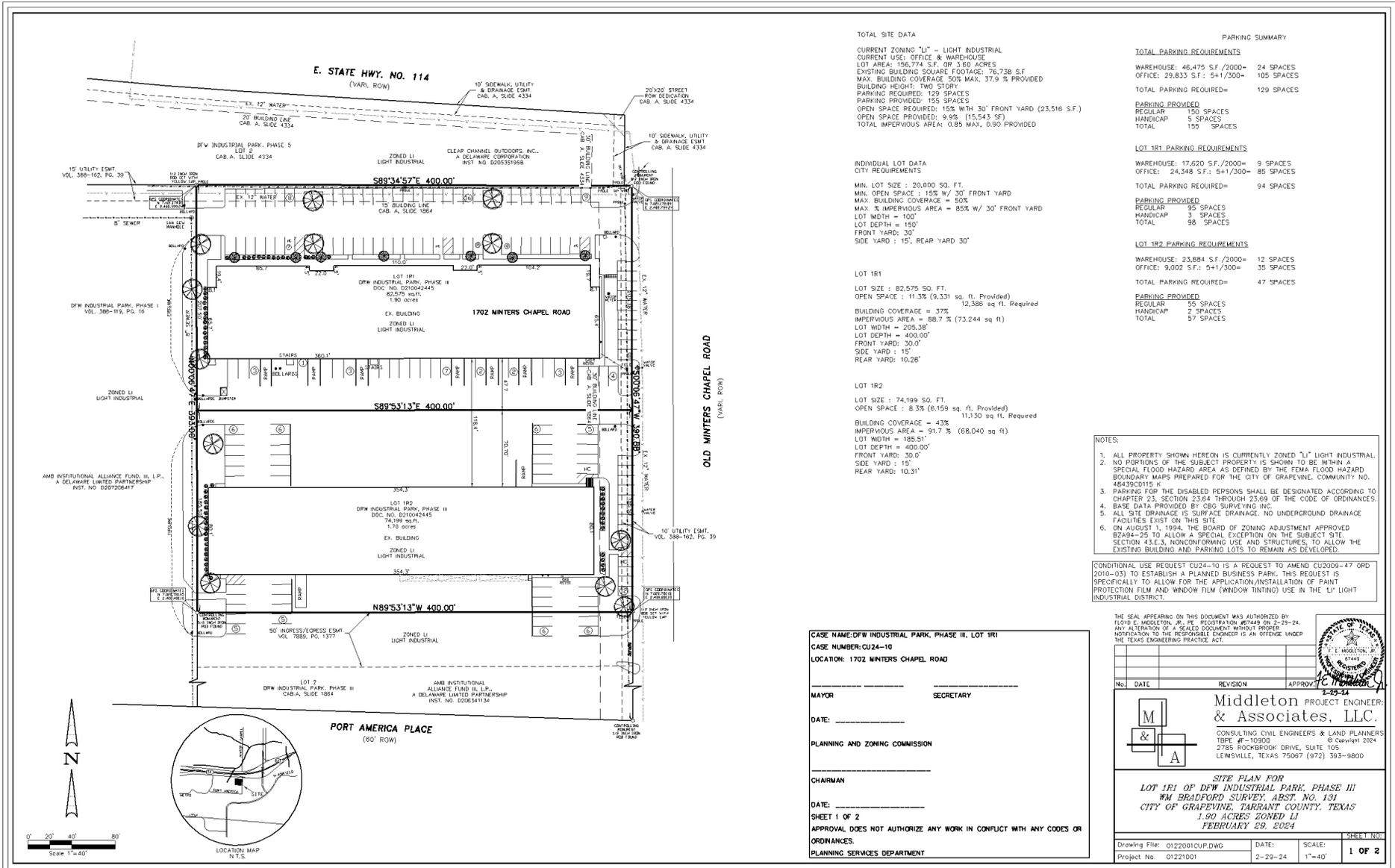
---

Tara Brooks  
City Secretary

APPROVED AS TO FORM:

---

Matthew C.G. Boyle  
City Attorney



**TOTAL SITE DATA**

CURRENT ZONING "LI" - LIGHT INDUSTRIAL  
CURRENT USE: OFFICE & WAREHOUSE  
LOT AREA: 156,774 S.F. OR 3.60 ACRES  
EXISTING BUILDING SQUARE FOOTAGE: 76,738 SQ FT  
MAX. BUILDING COVERAGE: 50% MAX, 37.9 % PROVIDED  
BUILDING HEIGHT: TWO STORY  
PARKING REQUIRED: 129 SPACES  
PARKING PROVIDED: 155 SPACES  
OPEN SPACE REQUIRED: 15% WITH 30' FRONT YARD (23,516 S.F.)  
OPEN SPACE PROVIDED: 9.9% (15,543 S.F.)  
TOTAL IMPERVIOUS AREA: 0.85 MAX, 0.90 PROVIDED

**PARKING SUMMARY**

**TOTAL PARKING REQUIREMENTS**  
WAREHOUSE: 46,475 S.F./2000= 24 SPACES  
OFFICE: 29,833 S.F.: 5+1/300= 105 SPACES  
TOTAL PARKING REQUIRED= 129 SPACES  
**PARKING PROVIDED**  
REGULAR: 150 SPACES  
HANDICAP: 5 SPACES  
TOTAL: 155 SPACES

**INDIVIDUAL LOT DATA CITY REQUIREMENTS**

MIN. LOT SIZE : 20,000 SQ. FT.  
MIN. OPEN SPACE : 15% W/ 30' FRONT YARD  
MAX. BUILDING COVERAGE = 50%  
MAX. % IMPERVIOUS AREA = 85% W/ 30' FRONT YARD  
LOT WIDTH = 100'  
LOT DEPTH = 150'  
FRONT YARD: 30'  
SIDE YARD: 15', REAR YARD 30'

**LOT 1R1 PARKING REQUIREMENTS**

WAREHOUSE: 17,620 S.F./2000= 9 SPACES  
OFFICE: 24,348 S.F.: 5+1/300= 85 SPACES  
TOTAL PARKING REQUIRED= 94 SPACES

**PARKING PROVIDED**  
REGULAR: 95 SPACES  
HANDICAP: 3 SPACES  
TOTAL: 98 SPACES

**LOT 1R2 PARKING REQUIREMENTS**

WAREHOUSE: 23,884 S.F./2000= 12 SPACES  
OFFICE: 9,002 S.F.: 5+1/300= 35 SPACES  
TOTAL PARKING REQUIRED= 47 SPACES

**PARKING PROVIDED**  
REGULAR: 55 SPACES  
HANDICAP: 2 SPACES  
TOTAL: 57 SPACES

**LOT 1R1**

LOT SIZE : 82,575 SQ. FT.  
OPEN SPACE : 11.3% (9,331 sq. ft. Provided) 12,386 sq ft. Required  
BUILDING COVERAGE = 37%  
IMPERVIOUS AREA = 88.7 % (73,244 sq ft.)  
LOT WIDTH = 205.38'  
LOT DEPTH = 400.00'  
FRONT YARD: 30.0'  
SIDE YARD : 15'  
REAR YARD: 10.28'

**LOT 1R2**

LOT SIZE : 74,199 SQ. FT.  
OPEN SPACE : 8.3% (6,159 sq. ft. Provided) 11,130 sq ft. Required  
BUILDING COVERAGE = 43%  
IMPERVIOUS AREA = 91.7 % (68,040 sq ft.)  
LOT WIDTH = 185.51'  
LOT DEPTH = 400.00'  
FRONT YARD: 30.0'  
SIDE YARD : 15'  
REAR YARD: 10.31'

**NOTES:**

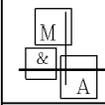
1. ALL PROPERTY SHOWN HEREON IS CURRENTLY ZONED "LI" LIGHT INDUSTRIAL.
2. NO PORTIONS OF THE SUBJECT PROPERTY IS SHOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEMA FLOOD HAZARD BOUNDARY MAPS PREPARED FOR THE CITY OF GRAPEVINE, COMMUNITY NO. 4843903116 K.
3. PARKING FOR THE DISABLED PERSONS SHALL BE DESIGNATED ACCORDING TO CHAPTER 23, SECTION 23.04 THROUGH 23.09 OF THE CODE OF ORDINANCES.
4. BASIC DATA PROVIDED BY CSB SURVEYING, INC.
5. ALL SITE DRAINAGE IS SURFACE DRAINAGE. NO UNDERGROUND DRAINAGE FACILITIES EXIST ON THIS SITE.
6. ON AUGUST 1, 1994, THE BOARD OF ZONING ADJUSTMENT APPROVED BZ94-25 TO ALLOW A SPECIAL EXCEPTION ON THE SUBJECT SITE, SECTION 43E.3, NONCONFORMING USE AND STRUCTURES, TO ALLOW THE EXISTING BUILDING AND PARKING LOTS TO REMAIN AS DEVELOPED.

CONDITIONAL USE REQUEST CU24-10 IS A REQUEST TO AMEND CU2009-47 OPD 2010-03) TO ESTABLISH A PLANNED BUSINESS PARK. THIS REQUEST IS SPECIFICALLY TO ALLOW FOR THE APPLICATION/INSTALLATION OF PAINT PROTECTION FILM AND WINDOW FILM (WINDOW TINTING) USE IN THE LI-LIGHT INDUSTRIAL DISTRICT.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY FLOID E. MIDDLETON, JR., P.E. REGISTRATION #07449 ON 7-29-24. ANY ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



No.	DATE	REVISION	APPROVED



**Middleton PROJECT ENGINEER:  
& Associates, LLC.**  
CONSULTING CIVIL ENGINEERS & LAND PLANNERS  
TBE# #1-10900 © Copyright 2024  
2755 ROCKBROOK DRIVE, SUITE 105  
LEWISVILLE, TEXAS 75067 (972) 393-9800

**CASE NAME: DFW INDUSTRIAL PARK, PHASE II, LOT 1R1**  
**CASE NUMBER: CU24-10**  
**LOCATION: 1702 MINTERS CHAPEL ROAD**

\_\_\_\_\_  
MAYOR SECRETARY

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

\_\_\_\_\_  
CHAIRMAN

DATE: \_\_\_\_\_

SHEET 1 OF 2

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

PLANNING SERVICES DEPARTMENT

**SITE PLAN FOR  
LOT 1R1 OF DFW INDUSTRIAL PARK, PHASE III  
WM BRADFORD SURVEY, ABST. NO. 131  
CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS  
1.90 ACRES ZONED LI  
FEBRUARY 29, 2024**

Drawing File:	DATE:	SCALE:	SHEET NO:
01222001CUP.DWG	2-29-24	1"=40'	1 OF 2

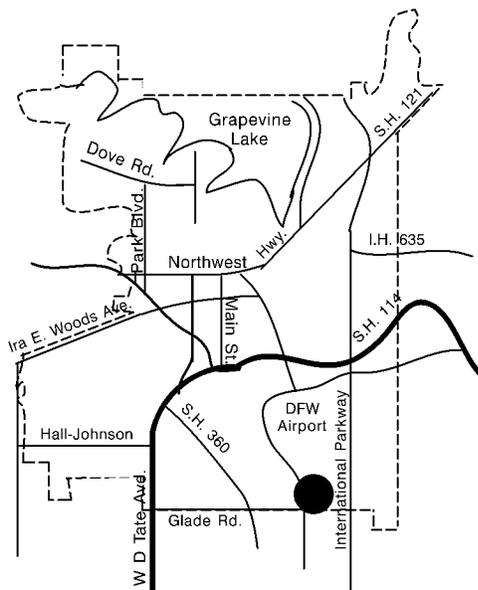


TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE  
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
ERICA MAROHNIC, PLANNING SERVICES DIRECTOR

MEETING DATE: MARCH 19, 2024

SUBJECT: PLANNING SERVICES TECHNICAL REPORT OF PLANNED  
DEVELOPMENT OVERLAY PD24-01, THE RESERVE AT BEAR  
CREEK



APPLICANT: Ben Ford – Wright Group, Architects-  
Planners

PROPERTY LOCATION AND SIZE:

The subject property is located at 4201 State Highway 360 and is platted as The Reserve at Bear Creek. The subject property is comprised of 13.65 acres and has approximately 975 feet of frontage along Eules-Grapevine Road and 2,400 feet of frontage along the northbound State Highway 360 service road.

REQUESTED PLANNED DEVELOPMENT OVERLAY AND COMMENTS:

The applicant is requesting a planned development overlay to deviate from, but not be limited to lot size, side yard setback, front yard setback, lot width, lot depth, maximum building height, and to allow front entry garages for lots less than 40-feet in width in conjunction with a townhouse development.

On June 19, 2018, City Council approved Z18-03 to rezone 13.65 acres from “R-7.5”, Single-Family District to “R-TH”, Townhouse District for the development of a 69-unit townhouse development. The City Council also approved PD18-02 (Ord. 2018-051) to allow for a planned development overlay to deviate from, but not be limited to lot size, side yard setbacks, front yard setbacks, lot width, lot depth, maximum building height, and to allow front entry garages for lots less than 40 feet in width. Civil construction began but was not completed. Since that time, PD18-02 had expired and the applicant applied for a planned development overlay, PD22-03 (Ord. 2022-026), with the same request as PD18-

02 which added a request to decrease proposed building height to 38-feet from 45-feet. Since that time, PD22-03 expired in April 2023. PD23-04 was heard and denied by Council on November 21, 2023. With this request, the applicant would like to request the same deviations as what was approved in PD22-03.

<b>Case Number</b>	<b>PD18-02</b>	<b>PD22-03</b>	<b>PD24-01</b>
Number of Residential Lots	69	69	69
Minimum Lot Size	2,424 sf	2,424 sf	2,424 sf
Front yard setback	20 ft.	20 ft.	20 ft.
Side yard setback	5 ft.	5 ft.	5 ft.
Lot Width	28 ft.	28 ft.	28 ft.
Lot Depth	78 ft.	78 ft.	78 ft.
Maximum Height	3 stories/ 45 ft.	3 stories/ 38 ft.	3 stories/ 38 ft.

Relative to the planned development overlay, the applicant proposes the following deviations from the “R-TH”, Townhouse District regulations:

- Lot size: for lots less than 40-feet in width, the minimum lot size is 2,550 square feet. The applicant is requesting a minimum lot size of 2,424 square feet.
- Side yard setback: a minimum side yard of 15-feet is required for each end unit in a row of townhouses containing three or more units. The applicant is requesting a reduction in this requirement to five feet. Side yards adjacent to a dedicated public street shall be a minimum of 25 feet. For Lots 11 and 13, Block 3 the applicant is requesting a reduction of approximately three feet for Lot 11 and a complete reduction of this requirement at the northeast corner of the lot.
- Front yard setback: the ordinance requires the face of a front entry garage be set back no less than 25-feet from the sidewalk. The applicant is requesting a reduction of this requirement to 20 feet.
- Lot width: the minimum lot width shall be 30-feet. The applicant is requesting a minimum lot width of 28 feet.
- Lot depth: for lots less than 40 feet in width the minimum lot depth is 85-feet. The applicant is requesting a minimum lot depth of 78-feet.
- The maximum height of principal structures shall be two stories, not to exceed 35-feet. The applicant proposes the townhouse structures be three stories and 38-feet in height.
- Private garages on lots having a minimum width of less than 40-feet must be entered from the side or rear. The applicant is requesting that all lots be accessed from the front.

It is the applicant's intent to develop 69 townhouse units, three stories in height on the subject property with two points of access to the northbound service road of State Highway 360. All streets within the proposed townhouse development will be public streets developed to city standards. The entrances and central street through the development will be dedicated as 50-foot right-of-way with 31-feet of pavement for a two-way driving lane. The three, circular drives shown on the plan are proposed to be one-way streets with a dedicated 42-foot right-of-way with 25-feet of pavement for a one-way driving lane. The applicant has included 40 parking spaces in the circular drive areas of the development to provide additional parking for visitors that also serves to affirm the one-way orientation of the three, one-way portions within the project.

Density for the project is 5.05 dwelling units per acre; a maximum of nine dwelling units per acre is allowed within the "R-TH" Townhouse District. The smallest lot size in the proposed development is 2,424 square feet and the largest is 4,102 square feet. The average lot size is 2,739 square feet.

The applicant has stated that there are a number of unique challenges relative to the development of the property, such as existing Trinity River Authority easements, floodplain limitations, highway frontage and irregular shape, which are mitigated/offset by:

- Landscape buffering from the State Highway 360 service road and creation of internal open space;
- Creation of curvilinear internal streets and internal park land;
- Donating over four acres of land for park dedication, providing and building connection to the city-wide trail system, and contributing funds necessary to connect the trail under State Highway 360 to provide access to the new dog park.

#### PRESENT ZONING AND USE:

The property is currently zoned "R-TH", Townhouse District and is partially developed with utilities and streets.

#### HISTORY OF TRACT AND SURROUNDING AREA:

The subject property and surrounding properties to the north, south and west were zoned "R-1", Single-Family Dwelling District prior to the 1984 City-wide Rezoning. The property to the east was zoned "I-2", Heavy Industrial District prior to the 1984 City-wide Rezoning.

- On June 19, 2018, City Council approved Z18-03 (Ord. 2018-50) and PD18-02 (Ord. 2018-051) to rezone 13.65 acres from "R-7.5", Single Family District to "R-TH", Townhouse District for the development of a 69-unit townhouse development. The applicant sought a planned development overlay to deviate from, but not be

limited to lot size, side yard setback, front yard setback, lot width, lot depth, maximum building height, and to allow front entry garages for lots less than 40 feet in width. Construction began but was not completed before it expired.

- On April 19, 2022, City Council approved PD22-03 (Ord. 2022-026) for a planned development overlay to deviate from, but not be limited to lot size, side yard setback, front yard setback, lot width, lot depth, maximum building height of 38-feet, and to allow front entry garages for lots less than 40 feet in width. Construction continued but was not completed before it expired.
- On November 21, 2023, City Council denied PD23-04 for a planned development overlay to deviate from, but not be limited to lot size, side yard setback, front yard setback, lot width, lot depth, maximum building height of 38-feet, and to allow front entry garages for lots less than 40 feet in width and to increase the lot number from 69 to 71 by converting a common lot (Lot 6X) into two additional residential lots.

#### SURROUNDING ZONING AND EXISTING LAND USE:

NORTH: "PID", Planned Industrial Development District - vacant undeveloped property

SOUTH: State Highway 360 right-of-way

EAST: "PCD", Planned Commerce Development District and D/FW International Airport - vacant undeveloped property and vacant undeveloped airport property

WEST: "PID", Planned Industrial Development District and State Highway 360 right-of-way - vacant undeveloped property

#### AIRPORT IMPACT:

Approximately two thirds of the subject tract is not located within any of the noise zones as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map and an approximate one third portion of the tract is located within "Zone A" Zone of Minimal Effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" Map. Few activities will be affected by aircraft sounds in "Zone A" except for sound sensitive activities such as auditoriums, churches, schools, hospitals, and theaters. The applicant's proposal is an appropriate use in this noise zone.

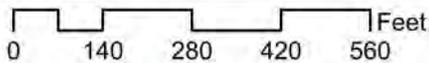
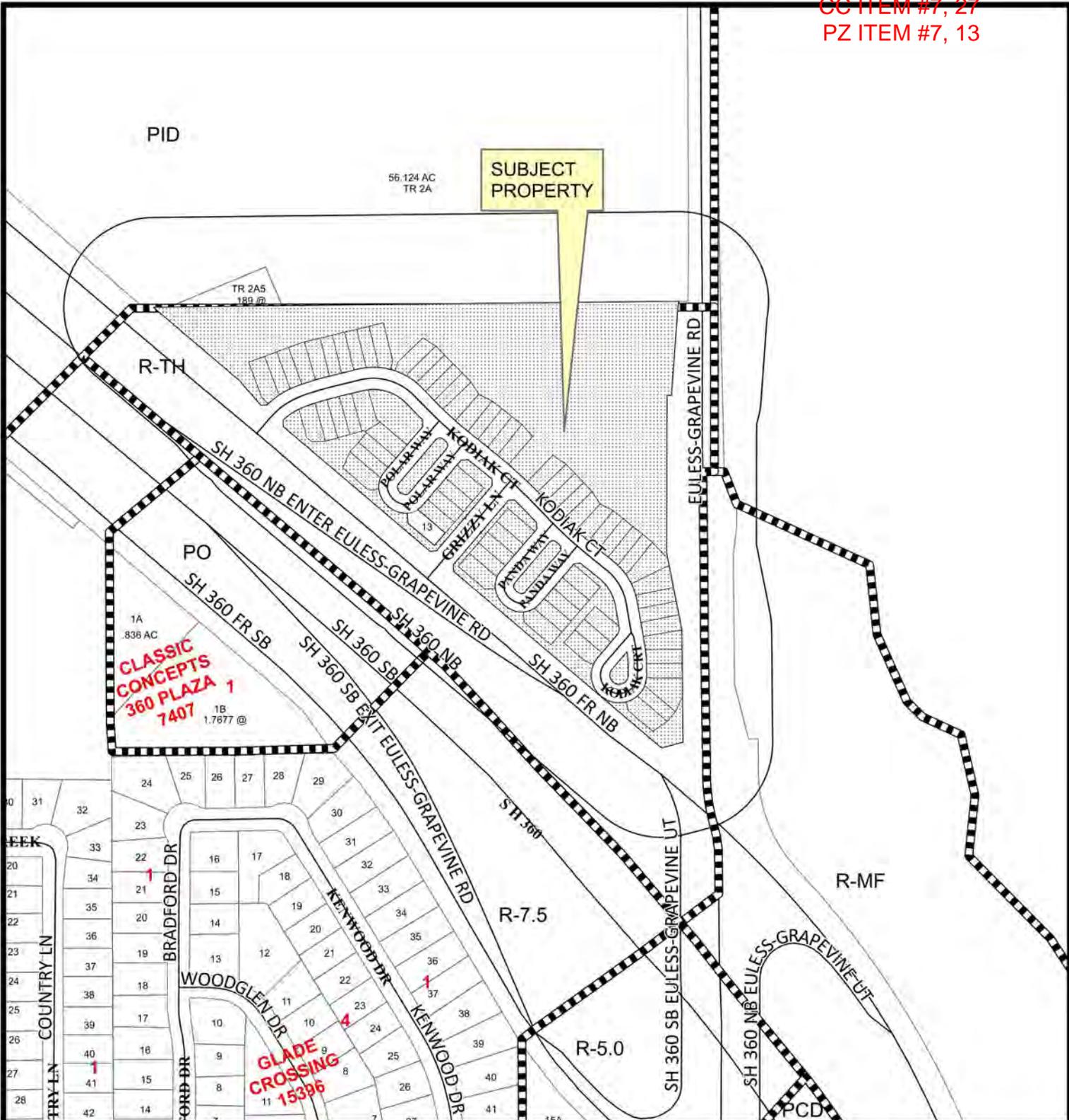
#### MASTER PLAN APPLICATION:

Map 2: Land Use Plan of the Comprehensive Master Plan designates the subject property as Commercial/Mixed (C/MU) land use. The applicant's request is not compliant with the Master Plan.

THOROUGHFARE PLAN APPLICATION:

The Thoroughfare Plan designates Euless-Grapevine Road as a Type “D” Minor Arterial thoroughfare with 75-feet of right-of-way developed as four lanes.

/ng



### PD24-01; Reserve at Bear Creek 4201 State Highway 360

Date Prepared: 3/5/2024

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

6X, 7-10, 11X, 12-16 & 17X.  
 Block 3, Lots 1-5, 6X, 7-11,  
 12X, 13-15 & 16X, } BLOCKS contd.

CC ITEM #7, 27  
 PZ ITEM #7, 13

**PLANNED DEVELOPMENT OVERLAY APPLICATION  
 AND SITE PLAN SET CHECKLISTS**

Subject Property Information	
Current or if unplatted, proposed subdivision name(s), block(s), & lot(s) <i>Reserve at Bear Creek &amp; 44X Block 2, lot 1-5</i>	Gross area of parcel (to nearest tenth of acre) <i>13.65</i>
Street frontage & distance to nearest cross street <i>4201 State Highway 360</i>	Describe the Proposed Use <i>69 Townhomes</i>
Proposed Zoning <i>R-TH Townhome District w/ PD overlay</i>	Existing Zoning <i>R-TH</i>
Future Land Use Designation <i>R-TH</i>	Subject Property Address <i>4201 State Highway 360</i>

**Property Owner Information, Authorization and Acknowledgements**

*All Planned Development Overlay Requests are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of staff. Based on the size of the agenda, your application may be scheduled to a later date.*

*All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.*

*Any changes to a site plan set approved with a planned development overlay request can only be approved by City Council through the public hearing process.*

*Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four-month period.*

*I have read and understand all of the requirements as set forth by the application for a planned development overlay request and acknowledge that all requirements of this application have been met at the time of submittal.*

FEB 05 2024

Owner Name RAJAB Ali

Company Bear Creek Grapevine Townhomes LLC

Address 2548 Dickerson Parkway

City Carrollton TX State TX Zip Code 75006

Phone 817 776 6141 Email [REDACTED]

PD 24-01

PLANNED DEVELOPMENT OVERLAY APPLICATION  
AND SITE PLAN SET CHECKLISTS

Project Representation (check one):

- I will represent the application myself; OR
- I hereby designate The Wright Group LLC (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this request. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this request.

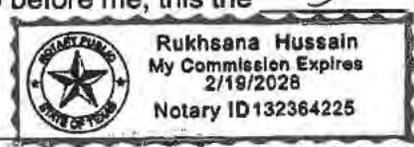
I hereby certify that I am the property owner of the property and further certify that the information provided on this development application is true and correct. I have selected the above submittal type and representation of my own volition and not at the request of the City of Grapevine.

Property Owner's Signature [Signature] Date 2/5/24

STATE OF: Texas  
COUNTY OF: Dallas

BEFORE ME, a Notary Public, on this day personally appeared to me (printed property owner's name) the above signed, who, under oath, stated the following: "I hereby certify that I am the property owner for the purposes of this application; that all information submitted herein is true and correct."

SUBSCRIBED AND SWORN TO before me, this the 5<sup>th</sup> day of February, 2024



[Signature] 02/05/2024

NOTARY PUBLIC in and for the State of Texas

FEB 05 2024

PD24-01

PLANNED DEVELOPMENT OVERLAY APPLICATION  
AND SITE PLAN SET CHECKLISTS

Project Representative Information (complete if designated by owner)

Engineer  Purchaser  Tenant  Preparer  Other (specify) Ben Ford

Name The Wright Group LLC Company \_\_\_\_\_

Address 1430 S Broadway St

City Carrollton State TX Zip Code 75006

Phone 972-242-1065 Email \_\_\_\_\_

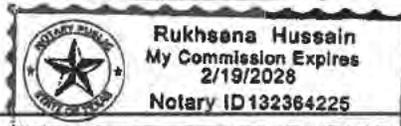
Applicant's Signature [Signature] Date 2/5/24

STATE OF: Texas

COUNTY OF: Dallas

BEFORE ME, a Notary Public, on this day personally appeared to me  
(printed property owner's name) the above signed, who, under oath, stated the following: "I hereby certify that I am the applicant for the purposes of this application; that all information submitted herein is true and correct."

SUBSCRIBED AND SWORN TO before me, this the 5<sup>th</sup> day of  
February, 2024



[Signature] 02/05/2024

NOTARY PUBLIC in and for the State of Texas

If the legal owner of the property is a corporation, company, partnership, or Limited Liability Company, provide a copy of a legal document attached with this application showing that the individual signing this document is a duly authorized partner, officer, or owner of said corporation, partnership, or Limited Liability Company.

For any individual or organization who consents to act as an agent for the entity for purposes of receiving any process, notice or demand:

Entity Name or File Number: \_\_\_\_\_

Provide a most recent public information report that includes:

1. All general partners
2. File Number
3. Registered agent name
4. Mailing address

(You may order a copy of a Public Information Report from [open.records@cpa.texas.gov](https://open.records@cpa.texas.gov) or Comptroller of Public Accounts, Open Records Section, PO Box 13528, Austin, Texas 78711 or go to <https://mycpa.cpa.state.tx.us/coa/search.do>)

FEB 05 2024

PD24-01

RE: Street address and Description of property

This is a resubmittal of the proposed PD, the civil has no change, the building has been updated to a more modern design with 3 color schemes to create variety throughout the site.

The applicant is proposing a Single-Family Attached (Townhome) Residential development of 69 home sites on a 13.65-acre tract along SH-360, at Euless Grapevine Road, in Grapevine.

The request is to apply a Planned Development Overlay with R-TH uses for a total of 69 Townhome Lots, with requested deviations to allow for a three-story structure and customizing the product to meet the high-quality intent of the development and meet market demand. There are 3 versions of the modern style homes to create variety within the development. In addition, these deviations enable us to incorporate more of a curvilinear street layout, increase openings and visibility to the open space, and build a three-story product- minimizing the impact of the layout on the open space and increasing views toward the open space reserve/ park dedication.

Specifically, the deviations we are requesting to accomplish this are:

1. A decrease in the minimum lot size from 2,550 s.f to 2,423 s.f.
2. A decrease in the minimum Side Yard Setback between buildings from 15' to 5'.
3. A decrease in the minimum Side Yard Setback adjacent to a street from 25' to 15'. (Only for Lots 11 & 13, Block 3)
4. A reduction in the Front Yard Setback for a front facing garage from 25' to 20'.
5. A reduction in the minimum Lot Width from 30' to 28'.
6. A reduction in the minimum Lot Depth from 85' to 78'.
7. An increase in the Maximum Building Height from 2 stories/35' to 3 stories/45'.
8. Allow front entry garages for lots less than 40 feet in width.

The property is bounded on the north by Big Bear Creek, to the East by Euless Grapevine Road and the southwest by State Highway 360. There are no immediate neighbors to this property.

The property gently slopes from west to east, toward the Big Bear Creek, where the floodway area will be retained in a natural state, preserving this tree covered area. There are also underground pipeline easements traversing the site. The plan has been designed to work around this easement, but will utilize the resulting greenbelt for a pedestrian trail connecting the internal walks with a Trail along the creek open space. Additional, internal open space areas for the use of the residents, have also been provided within the plan.

Architecturally, we are proposing a unique, custom theme for the design on the townhomes. Given all this, we believe this zoning change would allow for the Highest and Best Use of the property.

FEB 05 2024

PD24-01

**PLANNED DEVELOPMENT OVERLAY APPLICATION  
AND SITE PLAN SET CHECKLISTS**

PLATTING VERIFICATION:

- It has been determined that the property described below does **require platting or replatting** and the applicant has been instructed on this procedure.
  
- It has been determined that the property described below is **currently platted or does not require platting or replatting** at this time.

Address of subject property 4201 SH 360

Legal description of subject property \_\_\_\_\_

*Elkynobk* \_\_\_\_\_ 2/5/2024  
Public Works Department Date

FEB 05 2024

ORDINANCE NO. 2024-028

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS ISSUING PLANNED DEVELOPMENT OVERLAY PD24-01 TO DEVIATE FROM, BUT NOT BE LIMITED TO, MINIMUM LOT SIZE, SIDE YARD SETBACK, FRONT YARD SETBACK, LOT WIDTH, LOT DEPTH, MAXIMUM BUILDING HEIGHT, AND TO ALLOW FRONT ENTRY GARAGES FOR LOTS LESS THAN 40-FEET IN WIDTH IN CONJUNCTION WITH TOWNHOUSE DEVELOPMENT REQUIREMENTS (4201 STATE HIGHWAY 360) ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS PLANNED DEVELOPMENT OVERLAY PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a planned development overlay by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested planned development overlay should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this

ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested planned development overlay should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 41 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this planned development overlay, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the planned development overlay lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this planned development overlay and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this planned development overlay for the particular piece of property is needed, is called for, and is in the best

interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a planned development overlay in accordance with Section 41 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Planned Development Overlay PD24-01 to deviate from, but not be limited to, minimum lot size, side yard setbacks, front yard setbacks, lot width, lot depth, maximum building height, and to allow front entry garages for lots less than 40-feet in width in conjunction with townhouse development requirements in Section 20, Subsection G, *Area Regulations* within the following described property, The Reserve at Bear Creek, 69 townhome lots and 8 common area lots (4201 State Highway 360) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following:

1. A Homeowners Association (HOA) maintain any portion of the trail that is traversed onto their current property;
2. \$50,000 be paid to the City of Grapevine to construct a portion of the trail in Tract D as per original agreement;
3. Lot 22X and the trail that is wholly in 22X be dedicated to the City; and
4. The trail currently traversing into lots 34-37 at the southeast portion of the development be a trail easement.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein planned development overlay.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safely from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its

peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. That this ordinance shall become effective from and after the date of its final passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of March, 2024.

APPROVED:

---

William D. Tate  
Mayor

ATTEST:

---

Tara Brooks  
City Secretary

APPROVED AS TO FORM:

---

Matthew C.G. Boyle  
City Attorney



SILVER TREE PARTNERS

January 31, 2018

City of Grapevine  
200 S Main Street  
Grapevine, TX 76051

Mayor, Members of City Council, and P&Z Commissioners,

The Exhibit attached to this letter outlines our proposal as to the Extension, Construction, and Regional Connectivity of the Grapevine Trail System.

Trail Portion A - Will be installed simultaneously with The Preserve development, which will commence approximately 90 days after Council approval.

Trail Portion B - Will be installed upon Council approval and development on that tract of land.

Trail Portion C - Will be installed upon Council approval of development, which request is coming before the City within the next 2-3 months.

Trail Portion D - This Bear Creek Park Trail extension has full support of the Grapevine Parks and Recreation Department. The landowners of Tracts A and B agree to provide \$200,000 and the landowner of Tract C agrees to provide \$50,000 to the City of Grapevine for construction of this portion of the Trail.

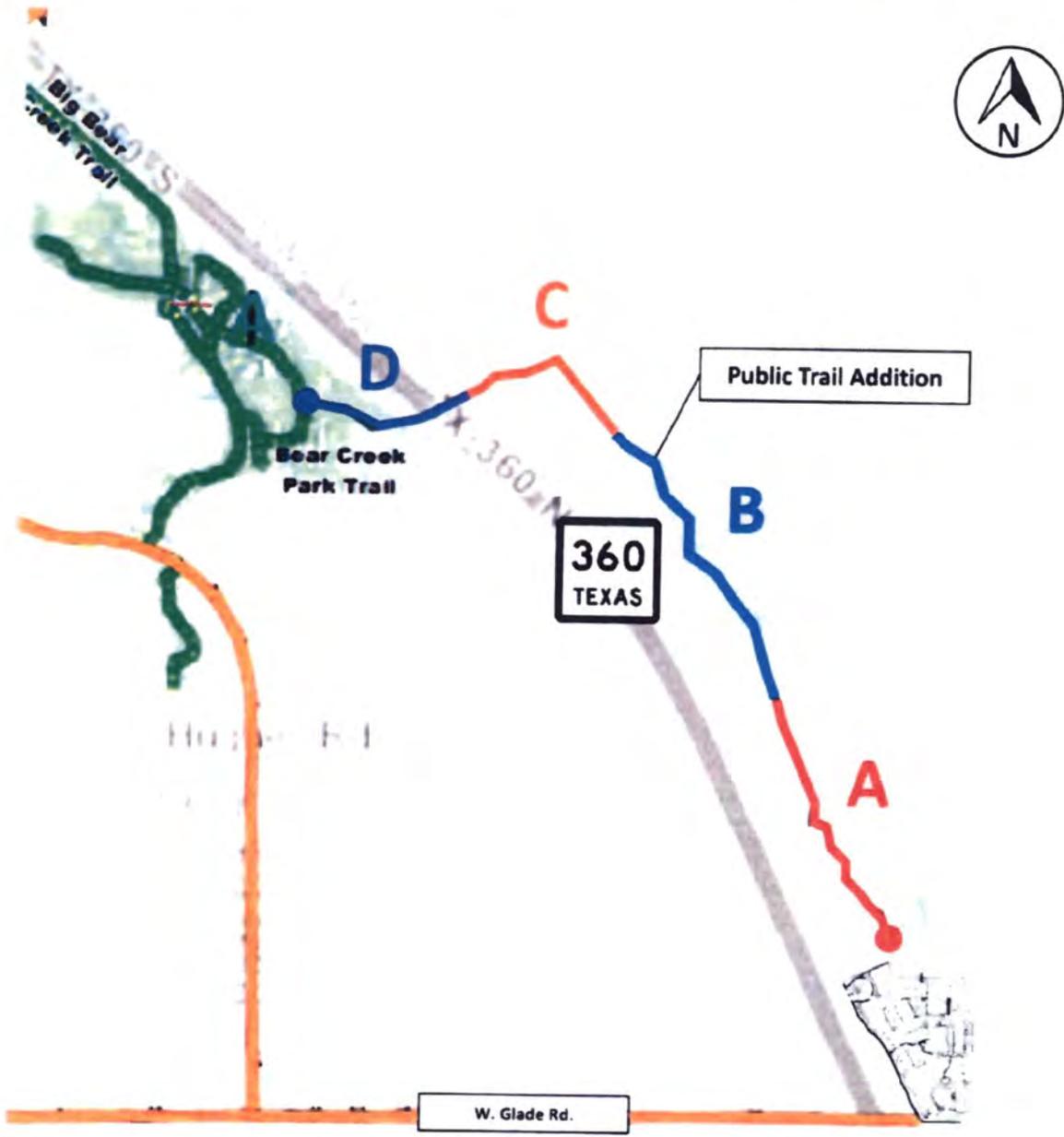
Hope the details above help explain the Exhibit attached to this letter. As always, we are happy to answer any questions you may have concerning this proposal.

Sincerely,

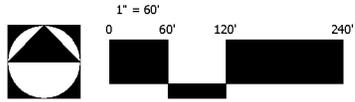
Paul A. Gardner  
Landowner Tracts A and B

Terry Castleberry  
Landowner Tract C

**Proposed Grapevine Trail Extension Exhibit**



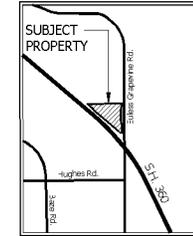
# Reserve at Bear Creek - PD Overlay Plan



**Zoning Notes:**

- Planned Development Overlay PD24-01 is a request for a planned development overlay to deviate from, but not be limited to lot size, side yard setback, front yard setback, lot width, lot depth, maximum building height, and to allow front entry garages for lots less than 40 feet in width.
- One subdivision sign per 50 lots.
- Maximum Density: 5.05 dwelling units / ac. of gross area
- Lot width is 28' minimum

- Front setbacks are 20'
- Rear setbacks are 15'
- Side setbacks are 5'-All residences to be equipped with an approved fully automatic sprinkling system.
- The Reserve at Bear Creek is requesting to deviate from the normal requirement for rear entry (for lots less than 40' wide), and provide front entry access.
- All required trees to be selected from the approved tree list and be a minimum of 3 inches in diameter and 7 feet in height in time of planting.



**Owner:**  
 Bear Creek Grapevine Townhomes, LLC  
 2548 Dickerson Parkway  
 Carrollton, TX 75006  
 Contact: Rajab Ali Bardaie

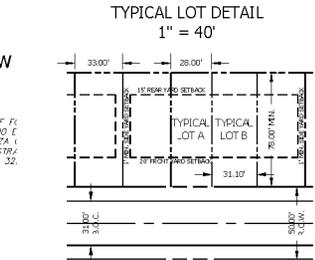
**Surveyor:**  
 Miller Surveying, Inc.  
 430 Mid Cities Blvd.  
 Hurst, TX 76054  
 TEL: 817-557-1052  
 Contact: Jason Rawlings, R.P.L.S.

**Engineer:**  
 Deotte, Inc.  
 420 Johnson Rd., ste. 303  
 Keller, TX 76248  
 TEL: 817-337-8899  
 Contact: Richard DeOtto, P.E.

**Architect:**  
 Wright Group  
 1430 Broadway Street  
 Carrollton, TX 75006  
 TEL: 972-242-1015  
 Contact: Terry Wright

**Applicant:**  
 Wright Group  
 1430 Broadway Street  
 Carrollton, TX 72006  
 TEL: 972-242-1015  
 Contact: Terry Wright

**Planner:** SAGE GROUP, INC.  
 Master Planning  
 Urban Design  
 Architecture  
 Landscape Architecture  
 12320 N. Carroll Ave., Ste. 200  
 Southlake, Texas 76092  
 817-424-2626



**Site Data Summary Chart**

Townhome Lots	69	
-Phase I	34	
-Phase II	35	
Common Areas	8	
Residential Lots	31.80%	4.34 ac.
-Open Space	17.29%	2.36 ac.
-Park Dedication	32.38%	4.42 ac.
Total Open Space	49.67%	6.78 ac.
R.O.W.	18.53%	2.53 ac.
Gross Acreage	100.00%	13.65 ac.

**Site Data**

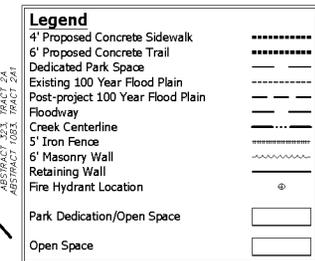
Gross Acreage	13.65 ac.
Gross Density (lots / Acre)	5.05

**Lot Summary**

Residential Lots	69
Minimum Lot Size	2,424 s.f.
Maximum Lot Size	4,102 s.f.
Average Lot Size	2,739 s.f.
Common Areas	8

**Zoning & Current Use**

Existing Zoning: R-TH Townhome District  
 Proposed Zoning: Planned Development Overlay / R-TH  
 Current Use: Vacant  
 Proposed Use: Townhome Residential



Case Name: Reserve at Bear Creek  
 Case Number: PD24-01  
 Location: 4201 State Highway 360

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN: \_\_\_\_\_

SECRETARY: \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: 1 OF 16

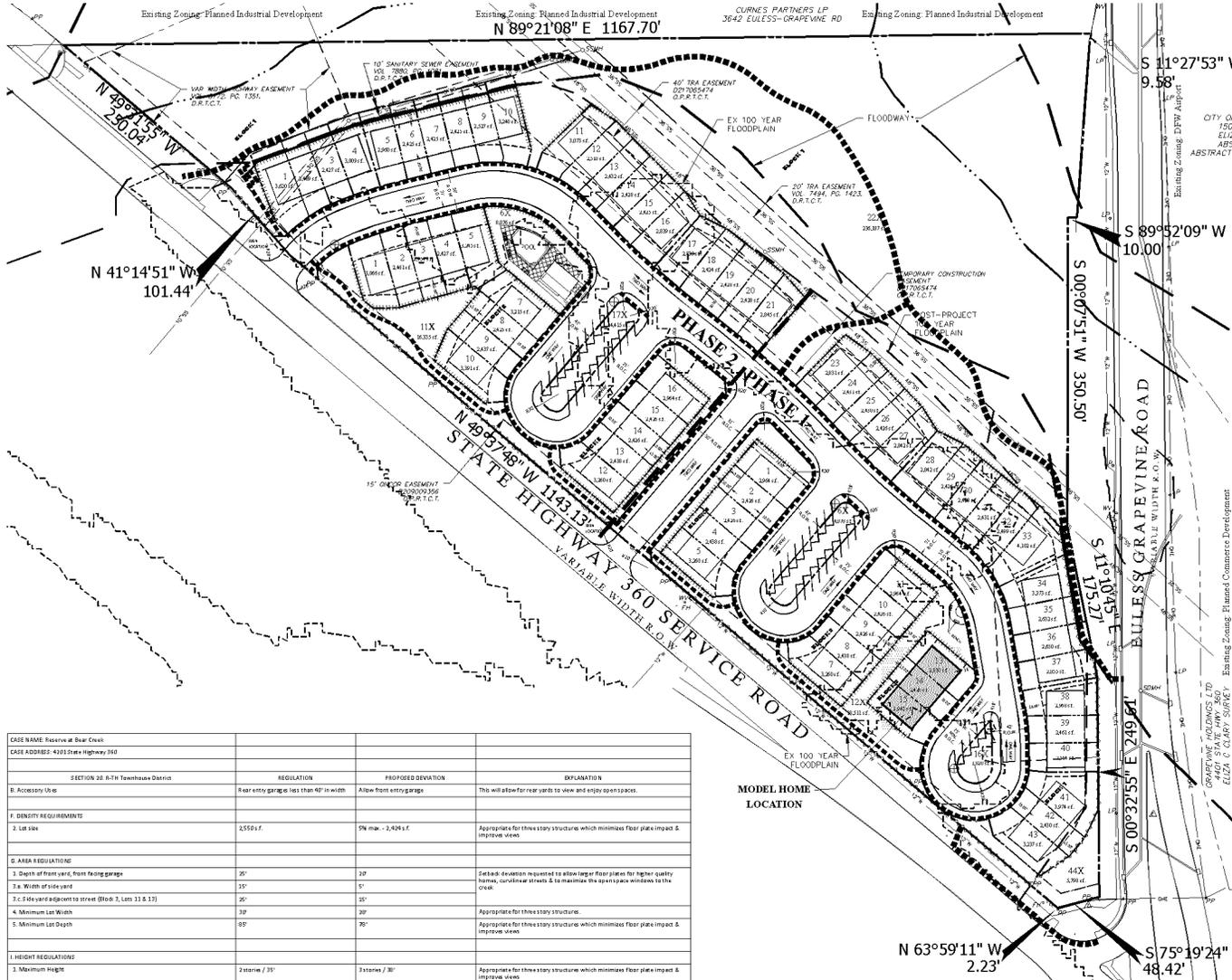
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF PLANNING SERVICES

**PD Overlay Plan**  
 For  
**Reserve at Bear Creek**  
 Block 1, Lots 1-21, 22X, 23-43 & 44X, Block 2, Lots 1-5, 6X, 7-10, 11X, 12-16 & 17X, Block 3, Lots 1-5, 6X, 7-11, 12X, 13-15 & 16X, 4201 State Highway 360

James H. Hughes Survey, No.2028  
 City of Grapevine, Tarrant County, Texas  
 13.65 Acres (594,439 s.f.)

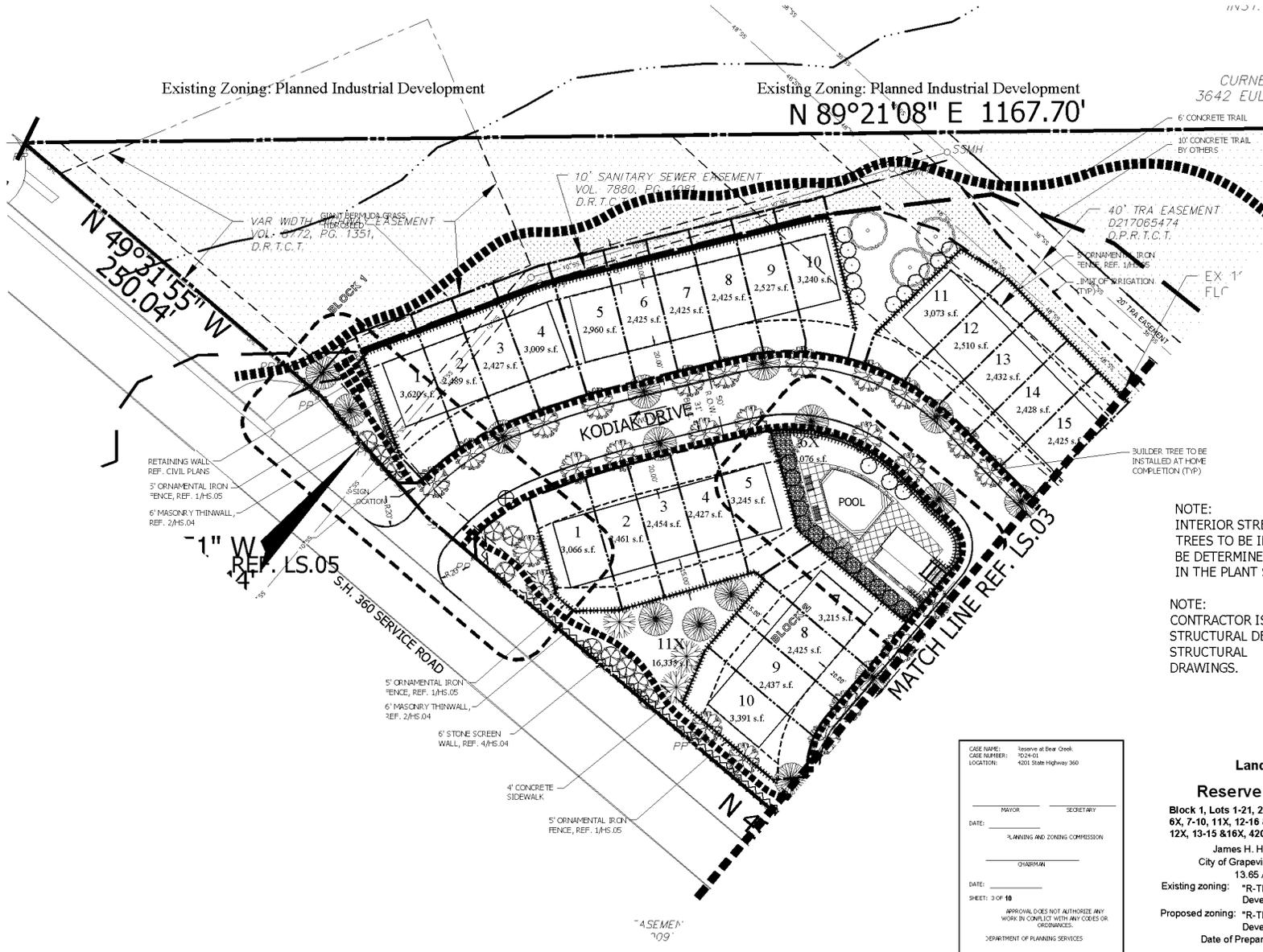
Existing zoning: "R-TH", Townhome District with Planned Development Overlay  
 Proposed zoning: "R-TH", Townhome District with Planned Development Overlay  
 Date of Preparation: February 23, 2024



SECTION 20.6-TH Townhome District	REGULATION	PROPOSED DEVIATION	EXPLANATION
B. Accessory Use	Rear entry garages 161' than 40' in width	Allow front entry garage	This will allow for rear yards to view and enjoy open spaces.
F. DENSITY REQUIREMENTS			
2. Lot Size	2,550 s.f.	5% max. - 2,424 s.f.	Appropriate for three story structure which minimizes floor plate impact & improves views.
G. AREA REGULATIONS			
3. Depth of front yard, front facing garage	20'	20'	Setback deviation requested to allow larger floor plate for higher quality homes, curb-line streets & to maximize the open space windows to the creek.
3a. Width of side yard	15'	5'	
3.c. 3 feet yard adjacent to street (Block 3, Lots 13 & 17)	20'	20'	
4. Minimum lot width	28'	28'	Appropriate for three story structure.
5. Minimum lot depth	20'	20'	Appropriate for three story structure, which minimizes floor plate impact & improves views.
H. HEIGHT REGULATIONS			
1. Maximum height	2 stories / 35'	3 stories / 30'	Appropriate for three story structure which minimizes floor plate impact & improves views.

Signature: *Justin W. Gifford* MA  
 State of Texas Seal  
 State of Texas Seal





**LANDSCAPE LEGEND**

- Terce Red Oak (Quercus shumardii)
- Calla Elm (Ulmus crinitus)
- Live Oak (Quercus virginiana)
- Chinese Elm (Ulmus parviflorus)
- Blarica Elm (Ulmus alatus)
- Common Red Oak (Quercus sp.)
- Trident Maple (Acer sp.)
- Desert Willow (Chrysothamnus sp.)
- Navajo Elm (Ulmus sp.)
- Little Leaf Magnolia (Magnolia sp.)
- Wax Jamboree (Copaiba sp.)
- Shamrock (Syringa sp.)
- Desert Burford Holly (Ilex sp.)
- Hardy Holly (Ilex sp.)
- Gal Maple (Acer sp.)
- Blue Gum (Eucalyptus sp.)
- Star Magnolia (Magnolia sp.)
- By Blue Liriodendron (Liriodendron sp.)
- Semipalmate Yucca (Yucca sp.)
- Obsidian River Rock
- 4" Concrete Sidewalk
- 6" Concrete Trail

NOTE:  
INTERIOR STREET TREES ARE BUILDER TREES TO BE INSTALLED. LOCATION TO BE DETERMINED. THEY ARE INCLUDED IN THE PLANT SCHEDULE, REF. LS.07

NOTE:  
CONTRACTOR IS RESPONSIBLE FOR STRUCTURAL DESIGN, PERMITS & STRUCTURAL DRAWINGS.

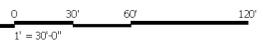
DATE NAME: Reserve at Bear Creek  
 CASE NUMBER: 1024-01  
 LOCATION: 4201 State Highway 360

MAJOR: \_\_\_\_\_ SECRETARY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION

CHAIRMAN: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 SHEET: 3 OF 10

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.  
 DEPARTMENT OF PLANNING SERVICES

**Landscape Plan**  
 For  
**Reserve at Bear Creek**  
 Block 1, Lots 1-21, 22X, 23-43 & 44X, Block 2, Lots 1-5, 6X, 7-10, 11X, 12-16 & 17X, Block 3, Lots 1-5, 6X, 7-11, 12X, 13-15 & 16X, 4201 State Highway 360  
 James H. Hughes Survey, No. 2028  
 City of Grapevine, Tarrant County, Texas  
 13.65 Acres (594,439 s.f.)  
 Existing zoning: "R-TH", Townhouse District with Planned Development Overlay  
 Proposed zoning: "R-TH", Townhouse District with Planned Development Overlay  
 Date of Preparation: February 19, 2024



Landscape Plan - Entry  
 PLAN

**LANDSCAPE PLAN**

**SHEET**  
 LS.02

**APPLICANT**  
 Wright Group  
 1432 Broadway Street  
 Carrollton, TX 75006  
 Phone: 972-242-3015  
 Contact: Terry Wright

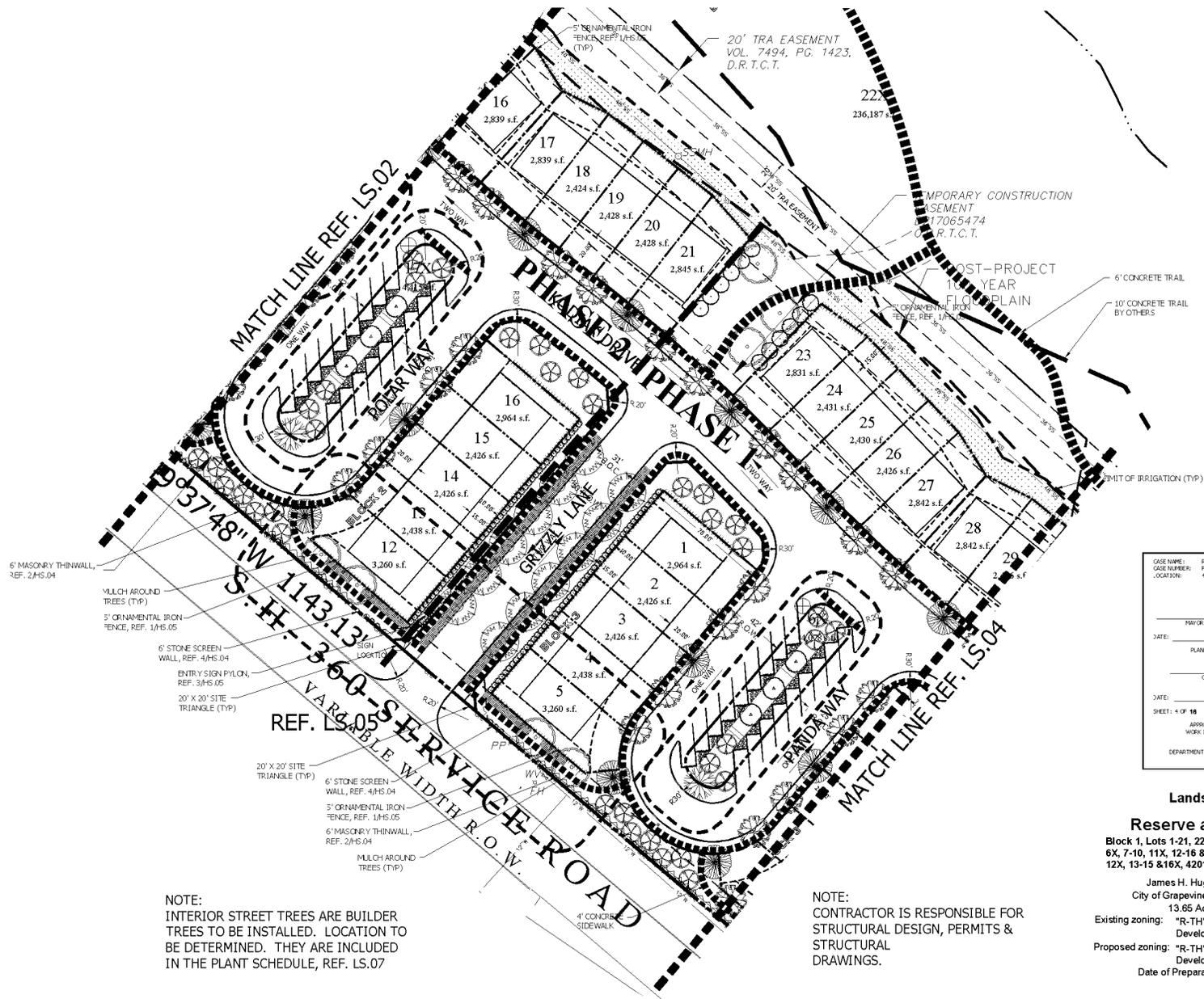
**Reserve at Bear Creek**  
 Grapevine, Texas

**Issued**  
 Mar 29, 2022

**Revisions**

**LANDSCAPE PLAN**

**SHEET**  
 LS.02



LANDSCAPE LEGEND

- Texas Red Oak *Quercus shumardii*
- Cedar Elm *Liriodendron texense*
- Live Oak *Quercus agrifolia*
- Chinese Pistache *Pistacia chinensis*
- Black Gum *Nyctanthes arborescens*
- Eastern Red Cedar *Juniperus horizontalis*
- Texas Holly *Ilex verticillata*
- Desert Willow *Chrysothamnus*
- Mexican Plum *Prunus mexicana*
- Little Leaf Linden *Magnolia parvifolia*
- Black Diamond Creeper *Lappaceum Black Diamond*
- Shocker Juniper *Juniperus sp.*
- Dwarf Burford Holly *Ilex burfordii*
- Maiden Grass *Tripsaculum daniellii*
- Gulf Holly *Magnolia lucidula*
- Blue Grama *Bouteloua gracilis*
- Blue Broomrape *Hydnora*
- Big Blue Linum *Linum lewisii*
- Bermuda Grass *Cynodon dactylon*
- Colorado River Rock
- 4" Concrete Sidewalk
- 6" Concrete Trail

CASE NAME: Reserve at Bear Creek  
CASE NUMBER: PZ0403  
LOCATION: 4201 State Highway 360

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN: \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: 4 OF 18

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.  
DEPARTMENT OF PLANNING SERVICES

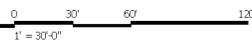
**Landscape Plan**  
For  
**Reserve at Bear Creek**  
Block 1, Lots 1-21, 22X, 23-43 & 44X, Block 2, Lots 1-5, 6X, 7-10, 11X, 12-16 & 17X, Block 3, Lots 1-5, 6X, 7-11, 12X, 13-15 & 16X, 4201 State Highway 360

James H. Hughes Survey, No. 2028  
City of Grapevine, Tarrant County, Texas  
13.65 Acres (594,439 s.f.)

Existing zoning: "R-TH", Townhouse District with Planned Development Overlay  
Proposed zoning: "R-TH", Townhouse District with Planned Development Overlay

Date of Preparation: February 19, 2024

Landscape Plan  
PLAN



**SAGE GROUP, INC.**  
1130 N. Carroll Ave., Ste. 200  
Southlake, Texas 76092  
TEL 817-424-2626

Visitor Planning  
Urban Design  
Architecture  
Landscape Architecture



**APPLICANT**  
Wright Group  
1432 Broadway Street  
Carrollton, TX 75006  
Phone: 972-242-3015  
Contact: Terry Wright

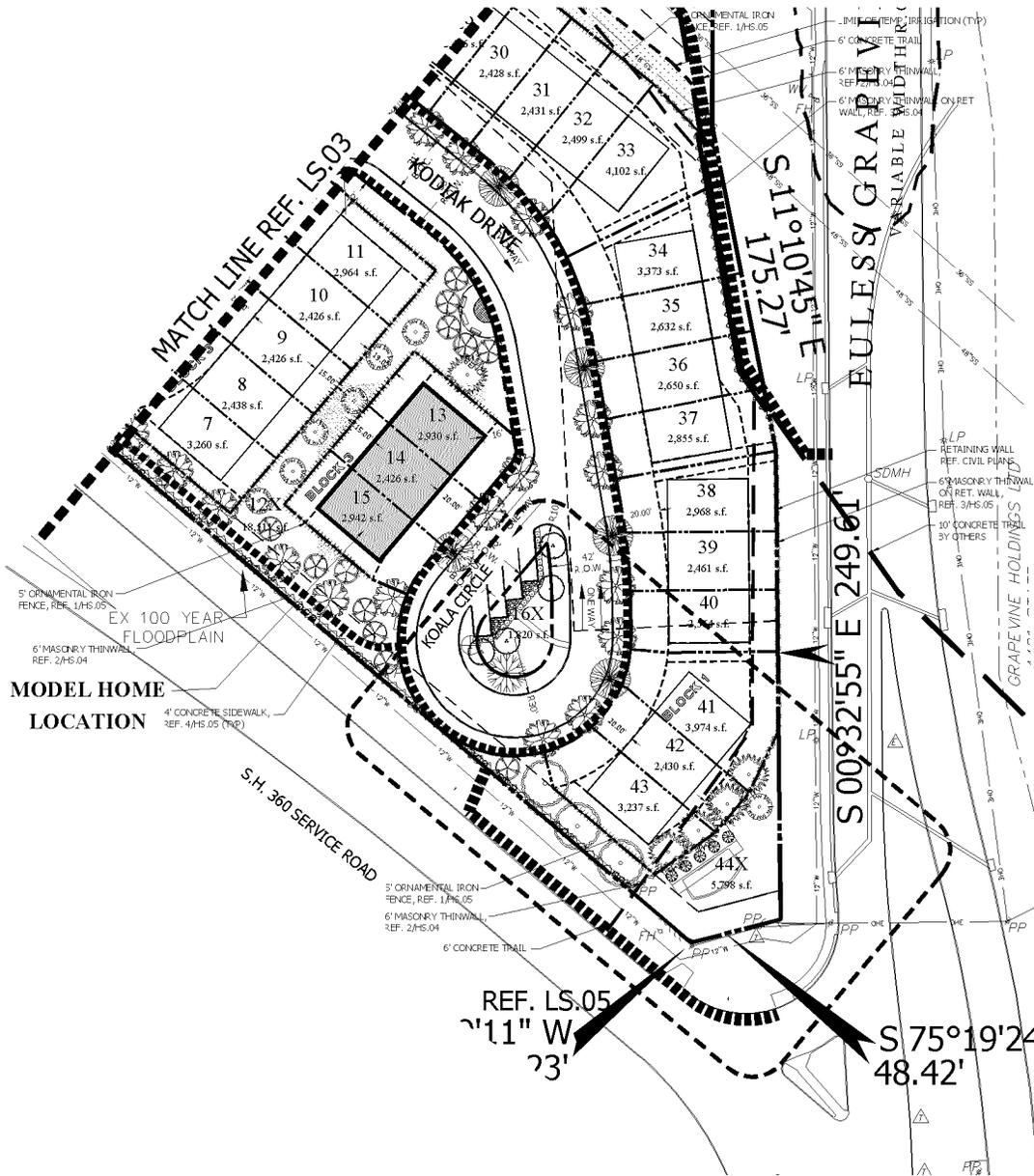
**Reserve at Bear Creek**  
Grapevine, Texas

Issued  
Mar 29, 2022

Revisions


LANDSCAPE PLAN

SHEET  
**LS.03**



LANDSCAPE LEGEND

- Texas Red Oak *Quercus shumardii*
- Cedar Elm *Liriodendron tulipifera*
- Live Oak *Quercus virginiana*
- Chinese Pistache *Prunus chinensis*
- Silver Cholla *Cholla arborescens*
- Eastern Red Oak *Quercus virginiana*
- Yucca Holly *Yucca wendlandi*
- Desert Willow *Chilopsis linearis*
- Mexican Plum *Prunus mexicana*
- White Oak *Quercus macrocarpa*
- Magnolia grandiflora *Magnolia grandiflora*
- Weibull Cactus *Cholla macrocarpa*
- Skunk Cactus *Cholla macrocarpa*
- Desert Yucca *Yucca wendlandi*
- Mission Olive *Olea mexicana*
- Gulf Hibiscus *Hibiscus grandiflorus*
- Blue Grass *Bouteloua curtipendula*
- Bottlebrush *Brickellia grandiflora*
- Green Burdocks *Hydrangea coccinea*
- No Blue Linings *Unsp. masticifolia*
- Bermuda Grass *Cynodon dactylon*
- Oklahoma River Rock
- 4" Concrete Sidewalk
- 4" Concrete Trail

NOTE:  
INTERIOR STREET TREES ARE BUILDER TREES TO BE INSTALLED. LOCATION TO BE DETERMINED. THEY ARE INCLUDED IN THE PLANT SCHEDULE, REF. LS.07

NOTE:  
CONTRACTOR IS RESPONSIBLE FOR STRUCTURAL DESIGN, PERMITS & STRUCTURAL DRAWINGS.

CASE NAME: Reserve at Bear Creek  
CASE NUMBER: 2024-01  
LOCATION: 4201 State Highway 360

\_\_\_\_\_  
MAYOR                      SECRETARY

DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

\_\_\_\_\_  
CHAIRMAN

DATE: \_\_\_\_\_  
SHEET: 5 OF 16

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.  
DEPARTMENT OF PLANNING SERVICES

**Landscape Plan**  
For  
**Reserve at Bear Creek**  
Block 1, Lots 1-21, 22X, 23-43 & 44X. Block 2, Lots 1-5, 6X, 7-10, 11X, 12-16 & 17X. Block 3, Lots 1-5, 6X, 7-11, 12X, 13-15 & 16X, 4201 State Highway 360  
James H. Hughes Survey, No.2028  
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Existing zoning: "R-TH", Townhouse District with Planned Development Overlay  
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Date of Preparation: February 19, 2024

SAGE GROUP, INC.  
1130 N. Carroll Ave., Ste. 200  
Southlake, Texas 76092  
TEL 817-424-2626

Visitor Planning  
Urban Design  
Architecture  
Landscape Architecture

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19 FEB 24

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**APPLICANT**  
Wright Group  
1432 Broadway Street  
Carrollton, TX 75006  
Phone: 972-242-3015  
Contact: Terry Wright

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**Reserve at Bear Creek**  
Grapevine, Texas

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**Issued**  
Mar 29, 2022

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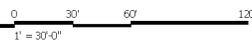
**Revisions**

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**LANDSCAPE PLAN**

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**SHEET**  
**LS.04**

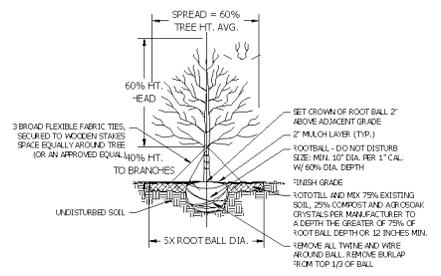






**Landscape Installation Notes**

- INSPECTION**
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE PLANDRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND BE SUBJECT TO A VERIFICATION OF CONFORMANCE. CONTACT APPROPRIATE CITY SERVICE DEPARTMENT'S FOR LANDSCAPE INSPECTIONS AS REQUIRED.
  - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES SHALL BE ACCESSIBLE, ADJACENT TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH APPROVED CITY DESIGN STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND R.O.W. INSPECTIONS.
- NOTIFICATION**
- NO NOTIFICATION SHALL OCCUR IN CITY R.O.W. WITHOUT CONTACTING THE APPROPRIATE CITY SERVICE DEPARTMENT.
  - THE CONTRACTOR SHALL MARK ALL UNDERGROUND UTILITIES (E.G. WATER LINES, SEWER LINES, GAS LINES, ETC.) AND TREE LOCATIONS PRIOR TO NOTIFICATION. REFERENCE BLUE PLANS FOR PROPOSED UNDERGROUND UTILITY LOCATIONS.
- SOIL**
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM BROWNS AND/OR STORED AS NEEDED.
  - NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY & MARKED PER S&D LABORATORY'S RECOMMENDATIONS.
  - IMPORTED TOPSOIL (TYPICALLY FROM A BOTTOM LAYER SOIL) SHALL BE NATURAL, PEAT-FREE SOIL NATIVE TO THE REGION. TREE ROOTS MUST BE PROTECTED FROM BROWNS, ROOTS, LIMBS, AND/OR STEMES, ETC. IT SHALL CONTAIN HUMUS, AND BE OF A BLACK TO BROWN COLOR.
- IRRIGATION**
- ANY CHANGES TO THE APPROVED IRRIGATION PLANDRAWINGS SHALL REQUIRE AUTHORIZATION BY THE CITY.
  - CONTACT THE APPROPRIATE CITY SERVICE DEPARTMENT FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
  - IRRIGATION VALVES, ADD-ON PROMOTION ASSEMBLIES, CHECK COUPLERS ETC. SHALL NOT BE LOCATED CLOSER THAN 18" (15") FEET FROM THE BACK OF CURB AT STREET OR DRIVE INTERSECTIONS.
  - IRRIGATION VALVES SHALL BE LOCATED A MINIMUM OF FIVE (5) FEET AWAY FROM STORM SEWERS, SANITARY SEWER LINES, CITY FIRE HYDRANTS, AND WATER MAINS.
  - IRRIGATION MAIN LINES, VALVES, AND/OR ELECTRICAL WIRES SHALL NOT BE LOCATED IN THE CITY'S R.O.W.
  - AN IRRIGATION FEED (S) FEET OF SEWER IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND/OR SANITARY SEWER LINES.
  - IRRIGATION HEADS THAT RUN PARALLEL AND/OR NEAR PUBLIC WATER AND/OR SANITARY SEWER LINES SHALL BE PROTECTED WITH A MINIMUM 18" WALL.
  - THE ROSE DEPTH FOR IRRIGATION IN URBAN STREETS, DRIVE ALLEYS, FIRE LINES SHALL PROVIDE (2) OF CLEARANCE (MINIMUM).
  - IRRIGATION OVERSPRAY ON STREETS AND WALLS IS PROHIBITED.
  - ELECTRICAL TIED IRRIGATION CONTROLLERS SHALL BE PROHIBITED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE AS SHOWN FOR IRRIGATION OF LANDSCAPE EXPOSITION.



**TREE PLANTING NOTES**

USE 3" BROAD FLEXIBLE FABRIC "T" W/ WARES, SECURED TO WOODEN STAKES SPACED EQUALLY AROUND TREE (OR AN APPROVED EQUAL).

CHECK RECIRCULATION RATE. INSTALL TREE SUMP IF RATE IS UNACCEPTABLE FOR QUANTITIES.

WRAP RED OAK, LIVE OAK & CADDIS MAPLE TREE TRUNKS W/ BURLAP, STARTING AT BASE OF TRUNK EXTENDING UP TO BOTTOM BRANCHING.

TYPICAL TREES PLANTED IN TYPICAL PRESERVATION MINIMUMS: USE THE GREATER OF CALIBER OR BALL DIAMETER 888 BALLS. REQUIRE 30:1 BALL TO CALIBER RATIO MINIMUM. CONTAINER BALLS MAY BE SMALLER, SO USE CALIBER SIZE.

S	B=30	30=60%	D=8x5	CD=10/25%	TD=ED/75%
Tree Size	Min. Root	Min. Root	Tree Plt.	Compost	Tree Plt.
Color and	Ball Dia.	Ball Depth	Diameter	Min. Depth	Tree Depth

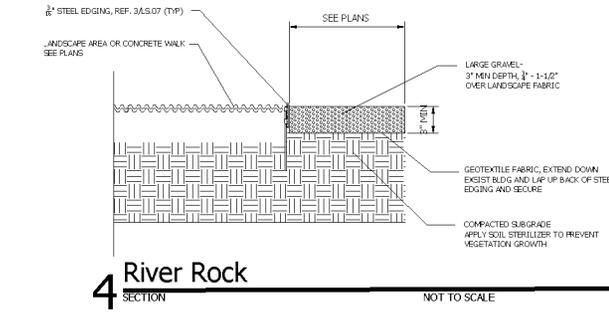
\*BELOW ARE TYPICAL EXAMPLES TO ADD IN CALCULATIONS FOR OTHER SIZES.

TYPICAL TREES PLANTED IN TYPICAL PRESERVATION MINIMUMS: USE THE GREATER OF CALIBER OR BALL DIAMETER 888 BALLS. REQUIRE 30:1 BALL TO CALIBER RATIO MINIMUM. CONTAINER BALLS MAY BE SMALLER, SO USE CALIBER SIZE.

S	B=30	30=60%	D=8x5	CD=10/25%	TD=ED/75%
Tree Size	Min. Root	Min. Root	Tree Plt.	Compost	Tree Plt.
Color and	Ball Dia.	Ball Depth	Diameter	Min. Depth	Tree Depth

\*BELOW ARE TYPICAL EXAMPLES TO ADD IN CALCULATIONS FOR OTHER SIZES.

TYPICAL TREES PLANTED IN TYPICAL PRESERVATION MINIMUMS: USE THE GREATER OF CALIBER OR BALL DIAMETER 888 BALLS. REQUIRE 30:1 BALL TO CALIBER RATIO MINIMUM. CONTAINER BALLS MAY BE SMALLER, SO USE CALIBER SIZE.



**4 River Rock**

**Plant List and Schedule**

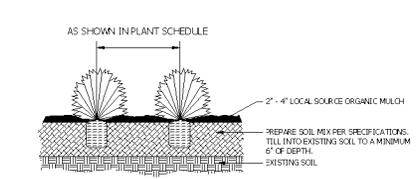
SYMBOL	PLANT NAME	QUANTITY	SIZE	CONDITION / REMARKS
(Symbol)	Yucca Red Oak Quercus douglasii	12	7" GAL. / 14" HT. / 11" SPREAD	single trunk clear to 8" b.b. matching growth
(Symbol)	Cedar Elm Ulmus crassifolia	65	7" GAL. / 14" HT. / 11" SPREAD	single trunk clear to 8" b.b. matching growth
(Symbol)	Lime Oak Quercus virginiana	13	7" GAL. / 14" HT. / 11" SPREAD	single trunk clear to 8" b.b. matching growth
(Symbol)	Chinese Pistache Pistacia chinensis	33	7" GAL. / 14" HT. / 11" SPREAD	single trunk clear to 8" b.b. matching growth
(Symbol)	Blarina Tree Fraxinus velutina	6	7" GAL. / 14" HT. / 11" SPREAD	single trunk b.b. matching growth
(Symbol)	Eastern Red Oak Quercus virginiana	5	7" GAL. / 14" HT. / 11" SPREAD	single trunk b.b. matching growth
(Symbol)	Yucca thorned Yucca thorned	14	7" GAL. / 14" HT. / 11" SPREAD	multi trunk container matching growth
(Symbol)	Skunk Cabbage Amorpha canescens	7	7" GAL. / 14" HT. / 11" SPREAD	single trunk container matching growth

NOTE: ALL TREES TO HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.

**PLANTING STANDARDS**

- ALL PLANTS (TREES, SHRUBS, TURF, ETC.) SHALL COMPLY WITH THE CITY'S LANDSCAPE REGULATIONS AND REQUIREMENTS (DESIGN STANDARDS, VISIBILITY REQUIREMENTS, ETC.).
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z603.1-2018) OR LATEST VERSION SHALL GOVERN ALL PLANT (TREES, SHRUBS, TURF, ETC.) SELECTION, QUALIFICATIONS, GRADING, AND STANDARDS.
- TREES PLANTED SHALL COMPLY WITH PLANTING DETAILS AS SHOWN HEREIN THE LANDSCAPE PLANS (AND AVOID THE CITY VERTICAL APPROVAL OF ALL PLANTING SPECIFICATIONS).
- UNLESS SPECIFIED OTHERWISE, TREES SHALL BE PLANTED A MINIMUM OF FIVE (5) FEET FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL ON ALL TREE PLACEMENTS.
- TREES WHERE REQUIRED, SHALL BE PLANTED A MINIMUM TEN (10) FEET FROM THE EDGE OF A STORM SEWER INLET.
- TREES WHERE REQUIRED, SHALL BE PLANTED A MINIMUM FIVE (5) FEET FROM WATER METERS.
- AN IRRIGATION FEED (S) FEET OF SEWER IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND/OR SANITARY SEWER LINES.
- TREES SETS SHALL BE TESTED FOR WATER INFILTRATION. IF WATER DOES NOT DRAIN OUT OF THE SET WITHIN 24 HOURS THE TREE SHALL BE MOVED OR CHANGED AS NEEDED.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER ONE (1) GROWING SEASON AND SHALL REMAIN LONGER THAN ONE (1) YEAR AFTER INSTALLATION. TREE STAKES, WIRES AND HOSES ARE PROHIBITED.
- FRESH GRADE IS TO BE APPROVED BY THE OWNER OR HIS REPRESENTATIVE PRIOR TO TURF INSTALLATION.
- CONTRACTOR SHALL PROVIDE TWO (2) INCHES OF IMPORTED TOPSOIL. CHAIR WALKS ARE TO BE REMOVED. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION WORKERS.
- ALL AREAS TO RECEIVE TURF SHALL BE LEFT AT A MINIMUM OF ONE (1) INCH ABOVE FINAL FRESH GRADE, AND ARE TO BE MOVED AND REGRASS SEEDS. ALL TREES ARE TO BE CONSULTED, SETTING AND COVERED APPROPRIATELY.
- THE GRADE AREA TO RECEIVE FINAL CONTROLS INDICATED BY THE GRADING PLAN, IF FEEDS, ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE. CONTOUR CONTROLERS SHALL BE PROHIBITED. STRUCTURES PROVIDE UNIFORM CURB AND AT THE TOP OF CURB TO RECEIVE CURB AND OTHER GRADE WORK. CORRECT SPECIFICATIONS AND REVISIONS WHERE NEEDED.

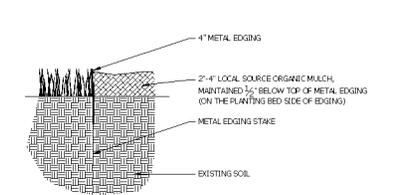
**1 Tree Planting and Staking**



**SHRUB PLANTING NOTES**

- REMOVE CONTAINER.
- REMOVE ANY SOIL THAT HAS BEEN ADDED ABOVE THE TOP OF ROOT BALLS.
- EXPOSE THE ACTUAL TOP OF THE ROOT BALL.
- TOP OF ROOT BALL SHOULD BE 1" HIGHER THAN EXISTING GRADE.
- ADD 2" OF NATIVE ORGANIC MULCH OVER ROOT BALL.
- DO NOT PILE MULCH AROUND TRUNKS.

**2 Shrub Planting**



**3 Metal Edging**



**NOTE:**

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF ALL QUANTITIES PERTAINING TO THIS PROJECT. THE QUANTITIES SHOWN ARE FOR BIDDING PURPOSES ONLY.

SUCCESSFUL BIDDER IS RESPONSIBLE FOR ACTUAL MATERIAL QUANTITIES REQUIRED FOR COMPLETION OF THE PROJECT.

CASE NAME: Reserve at Bear Creek  
 CASE NUMBER: 4201 State Highway 360  
 LOCATION: 4201 State Highway 360

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

DATE: \_\_\_\_\_

SHEET: 8 OF 18

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF PLANNING SERVICES

**Landscape Plan**  
 For  
**Reserve at Bear Creek**  
 Block 1, Lots 1-21, 22X, 23-43 & 44X, Block 2, Lots 1-5, 6X, 7-10, 11X, 12-16 & 17X, Block 3, Lots 1-5, 6X, 7-11, 12X, 13-15 & 16X, 4201 State Highway 360  
 James H. Hughes Survey, No.2028  
 City of Grapevine, Tarrant County, Texas  
 13.65 Acres (694,439 s. f.)  
 Existing zoning: "R-TH", Townhouse District with Planned Development Overlay  
 Proposed zoning: "R-TH", Townhouse District with Planned Development Overlay  
 Date of Preparation: February 19, 2024

**SAGE GROUP, INC.**  
 1130 N. Carroll Ave., Ste. 200  
 Southlake, Texas 76092  
 TEL 817-424-2626

Visitor Planning  
 Urban Design  
 Architecture  
 Landscape Architecture

19 FEB 24

**APPLICANT**  
 Wright Group  
 1402 Broadway Street  
 Carrollton, TX 75006  
 Phone: 972-242-1015  
 Contact: Terry Wright

**Reserve at Bear Creek**  
 Grapevine, Texas

**Issued**  
 Mar 29, 2022

**Revisions**

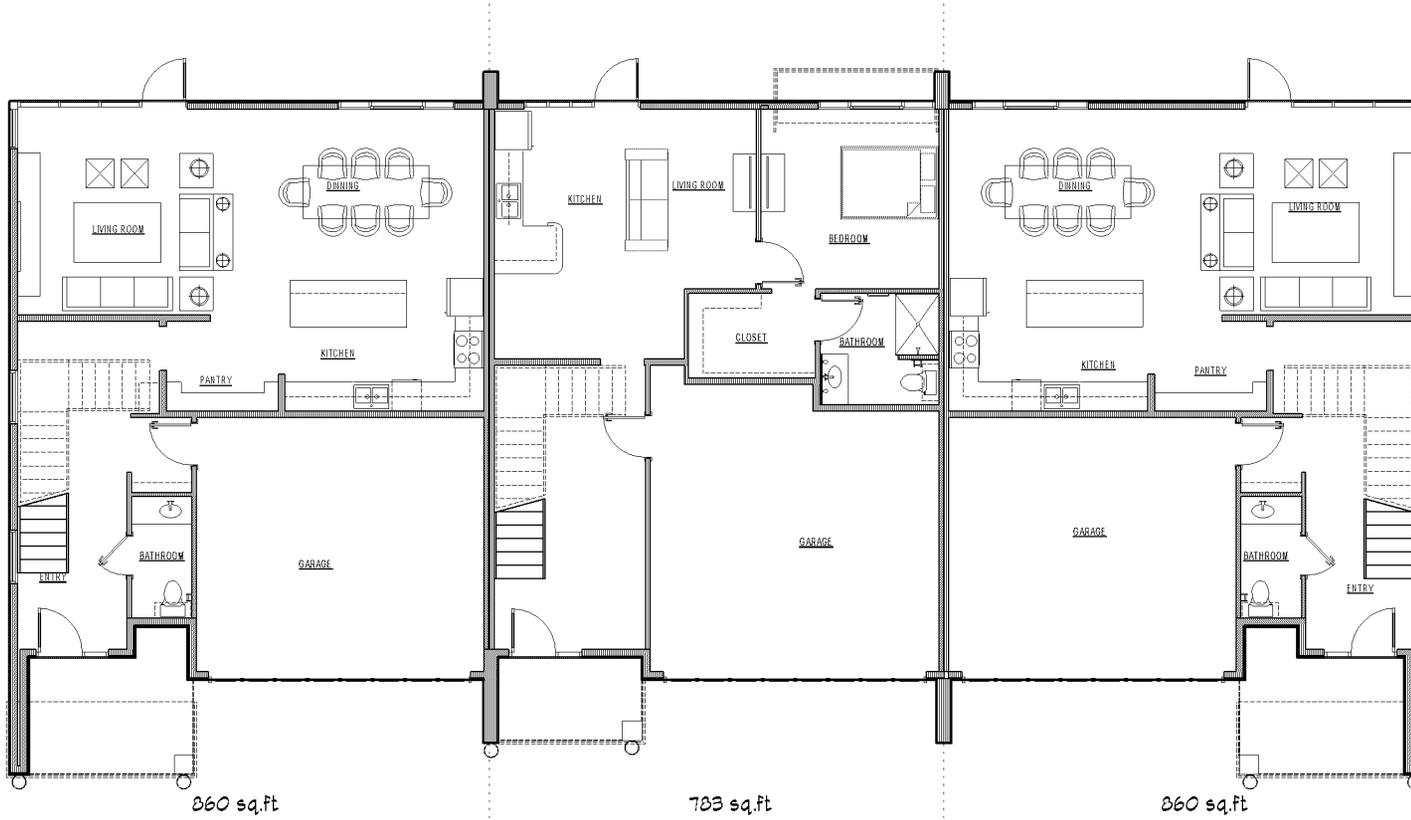
**LANDSCAPE PLAN**  
 SHEET  
**LS.07**

**WRIGHT GROUP**  
ARCHITECTS - PLANNERS, PLLC

1430 S BROADWAY STREET  
CARROLLTON, TEXAS  
7 5 0 0 6  
(972) 242 - 1015



10/15/2023



**1 FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

*The Reserve At Bear Creek*  
Grapevine Townhomes  
Texas 360 Service Rd  
Grapevine, Texas 76051

JOB NO. A2166

**First Floor Plan**  
For  
**Reserve at Bear Creek**  
Block 1, Lots 1-21, 22X, 23-43 & 44X. Block 2, Lots 1-5, 6X, 7-10, 11X, 12-16 & 17X. Block 3, Lots 1-5, 6X, 7-11, 12X, 13-15 & 16X, 4201 State Highway 360  
James H. Hughes Survey, No.2028  
City of Grapevine, Tarrant County, Texas  
13.65 Acres (594,439 s.f.)  
Existing zoning: "R-TH", Townhouse District with Planned Development Overlay  
Proposed zoning: "R-TH", Townhouse District with Planned Development Overlay  
Date of Preparation: May 19, 2023

CASE NAME: Reserve at Bear Creek  
CASE NUMBER: PD24-01  
LOCATION: 4201 State HWY 360

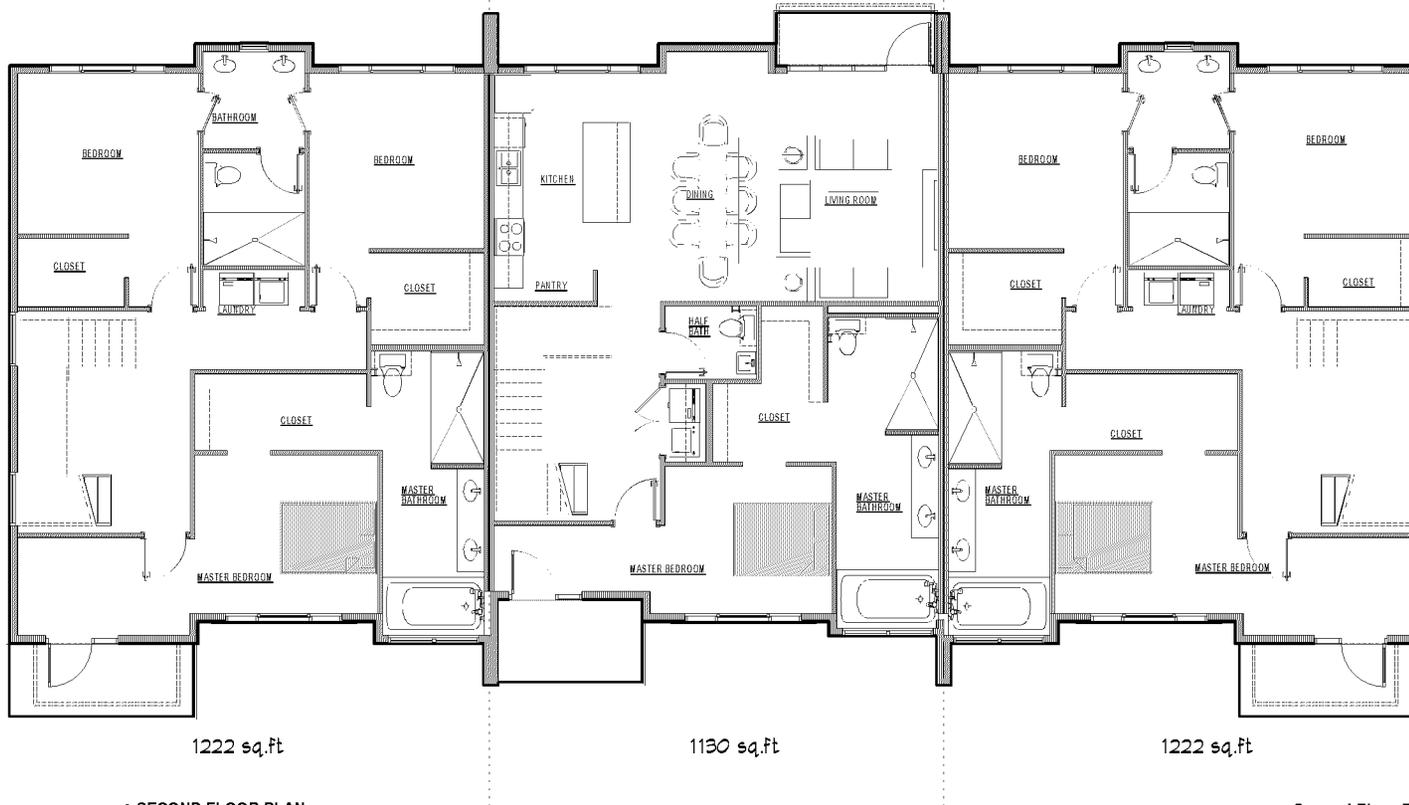
MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 9 OF 16

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF PLANNING SERVICES

**SHEET 9 OF 16**



10/13/2023



**1 SECOND FLOOR PLAN**  
 SCALE: 1/4"=1'-0"

*The Reserve At Bear Creek*  
 Grapevine Townhomes  
 Texas 360 Service Rd  
 Grapevine, Texas 76051

JOB NO. A2166

CASE NAME: Reserve at Bear Creek  
 CASE NUMBER: PD24-01  
 LOCATION: 4201 State HWY 360

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET 10 OF 16

APPROVAL DOES NOT AUTHORIZE ANY  
 WORK IN CONFLICT WITH ANY CODES  
 OR ORDINANCES

DEPARTMENT OF PLANNING SERVICES

**Second Floor Plan**

For  
**Reserve at Bear Creek**

Block 1, Lots 1-21, 22X, 23-43 & 44X, Block 2, Lots 1-5,  
 6X, 7-10, 11X, 12-16 & 17X, Block 3, Lots 1-5, 6X, 7-11,  
 12X, 13-15 & 16X, 4201 State Highway 360

James H. Hughes Survey, No.2028  
 City of Grapevine, Tarrant County, Texas  
 13.65 Acres (594,439 s.f.)

Existing zoning: "R-TH", Townhouse District with Planned  
 Development Overlay

Proposed zoning: "R-TH", Townhouse District with Planned  
 Development Overlay

Date of Preparation: May 19, 2023

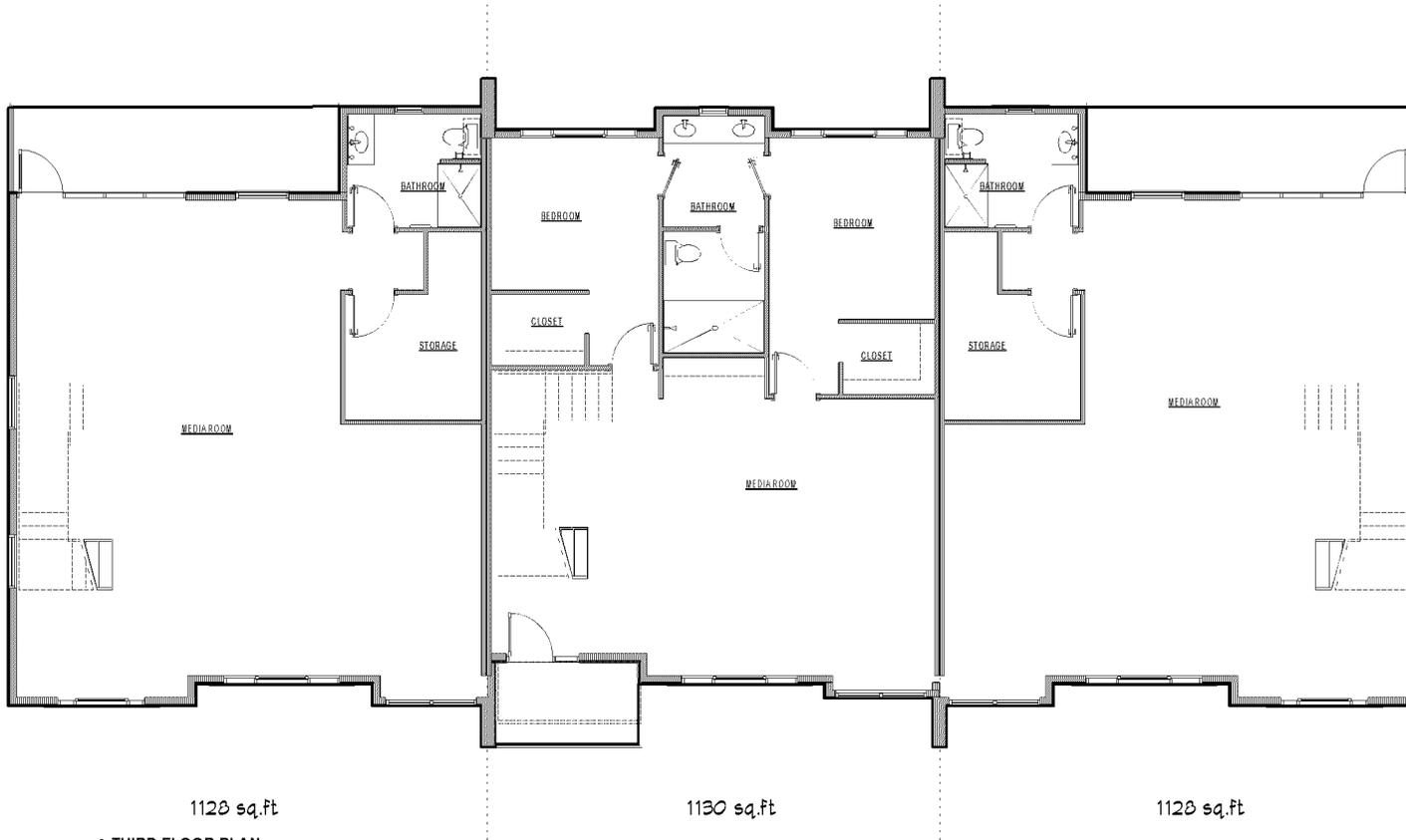
**SHEET 10 OF 16**

**WRIGHT GROUP**  
ARCHITECTS - PLANNERS, PLLC

1430 S BROADWAY STREET  
CARROLLTON, TEXAS  
7 5 0 0 6  
(972) 242 - 1015



10/18/2023



**1 THIRD FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**The Reserve At Bear Creek**  
Grapevine Townhomes  
Texas 360 Service Rd  
Grapevine, Texas 76051

JOB NO. A2166

**Third Floor Plan**  
For  
**Reserve at Bear Creek**  
Block 1, Lots 1-21, 22X, 23-43 & 44X. Block 2, Lots 1-5, 6X, 7-10, 11X, 12-16 & 17X. Block 3, Lots 1-5, 6X, 7-11, 12X, 13-15 & 16X, 4201 State Highway 360  
James H. Hughes Survey, No.2028  
City of Grapevine, Tarrant County, Texas  
13.65 Acres (594,439 s.f.)  
Existing zoning: "R-TH", Townhouse District with Planned Development Overlay  
Proposed zoning: "R-TH", Townhouse District with Planned Development Overlay  
Date of Preparation: May 19, 2023

CASE NAME: Reserve at Bear Creek	
CASE NUMBER: PD24-01	
LOCATION: 4201 State HWY 360	
MAYOR _____	SECRETARY _____
DATE: _____	
PLANNING AND ZONING COMMISSION	
CHAIRMAN _____	
DATE: _____	
SHEET 11 OF 16	
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES	
DEPARTMENT OF PLANNING SERVICES	

**WRIGHT GROUP**  
 ARCHITECTS - PLANNERS, PLLC

1430 S BROADWAY STREET  
 CARROLLTON, TEXAS  
 7 5 0 0 6  
 (972) 242 - 1015



10/19/2023



MATERIAL %	
BRICK	24%
STUCCO	32%
STONE	44%
100% MASONRY	

**1 FRONT ELEVATION**  
 SCALE: 3/16"=1'-0"

*The Reserve At Bear Creek*  
 Grapevine Townhomes  
 Texas 360 Service Rd  
 Grapevine, Texas 76051

JOB NO. A2166



**3 HOME BUILDING**

CASE NAME: Reserve At Bear Creek  
 CASE NUMBER: PD24-01  
 LOCATION: 4201 State Hwy 360

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

DATE \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE \_\_\_\_\_

SHEET **12** OF **16**

APPROVAL DOES NOT AUTHORIZE ANY  
 WORK IN CONFLICT WITH ANY CODES  
 OR ORDINANCES

DEPARTMENT OF DEVELOPMENT SERVICES

**3 Home Elevation**

For

**Reserve At Bear Creek**

Block 2, Lots 1-5, 6X, 7-11, 15A, 15B, 15C, 15D, 15E, 15F, 15G, 15H, 15I, 15J, 15K, 15L, 15M, 15N, 15O, 15P, 15Q, 15R, 15S, 15T, 15U, 15V, 15W, 15X, 15Y, 15Z, 16A, 16B, 16C, 16D, 16E, 16F, 16G, 16H, 16I, 16J, 16K, 16L, 16M, 16N, 16O, 16P, 16Q, 16R, 16S, 16T, 16U, 16V, 16W, 16X, 16Y, 16Z, 17A, 17B, 17C, 17D, 17E, 17F, 17G, 17H, 17I, 17J, 17K, 17L, 17M, 17N, 17O, 17P, 17Q, 17R, 17S, 17T, 17U, 17V, 17W, 17X, 17Y, 17Z, 18A, 18B, 18C, 18D, 18E, 18F, 18G, 18H, 18I, 18J, 18K, 18L, 18M, 18N, 18O, 18P, 18Q, 18R, 18S, 18T, 18U, 18V, 18W, 18X, 18Y, 18Z, 19A, 19B, 19C, 19D, 19E, 19F, 19G, 19H, 19I, 19J, 19K, 19L, 19M, 19N, 19O, 19P, 19Q, 19R, 19S, 19T, 19U, 19V, 19W, 19X, 19Y, 19Z, 20A, 20B, 20C, 20D, 20E, 20F, 20G, 20H, 20I, 20J, 20K, 20L, 20M, 20N, 20O, 20P, 20Q, 20R, 20S, 20T, 20U, 20V, 20W, 20X, 20Y, 20Z, 21A, 21B, 21C, 21D, 21E, 21F, 21G, 21H, 21I, 21J, 21K, 21L, 21M, 21N, 21O, 21P, 21Q, 21R, 21S, 21T, 21U, 21V, 21W, 21X, 21Y, 21Z, 22A, 22B, 22C, 22D, 22E, 22F, 22G, 22H, 22I, 22J, 22K, 22L, 22M, 22N, 22O, 22P, 22Q, 22R, 22S, 22T, 22U, 22V, 22W, 22X, 22Y, 22Z, 23A, 23B, 23C, 23D, 23E, 23F, 23G, 23H, 23I, 23J, 23K, 23L, 23M, 23N, 23O, 23P, 23Q, 23R, 23S, 23T, 23U, 23V, 23W, 23X, 23Y, 23Z, 24A, 24B, 24C, 24D, 24E, 24F, 24G, 24H, 24I, 24J, 24K, 24L, 24M, 24N, 24O, 24P, 24Q, 24R, 24S, 24T, 24U, 24V, 24W, 24X, 24Y, 24Z, 25A, 25B, 25C, 25D, 25E, 25F, 25G, 25H, 25I, 25J, 25K, 25L, 25M, 25N, 25O, 25P, 25Q, 25R, 25S, 25T, 25U, 25V, 25W, 25X, 25Y, 25Z, 26A, 26B, 26C, 26D, 26E, 26F, 26G, 26H, 26I, 26J, 26K, 26L, 26M, 26N, 26O, 26P, 26Q, 26R, 26S, 26T, 26U, 26V, 26W, 26X, 26Y, 26Z, 27A, 27B, 27C, 27D, 27E, 27F, 27G, 27H, 27I, 27J, 27K, 27L, 27M, 27N, 27O, 27P, 27Q, 27R, 27S, 27T, 27U, 27V, 27W, 27X, 27Y, 27Z, 28A, 28B, 28C, 28D, 28E, 28F, 28G, 28H, 28I, 28J, 28K, 28L, 28M, 28N, 28O, 28P, 28Q, 28R, 28S, 28T, 28U, 28V, 28W, 28X, 28Y, 28Z, 29A, 29B, 29C, 29D, 29E, 29F, 29G, 29H, 29I, 29J, 29K, 29L, 29M, 29N, 29O, 29P, 29Q, 29R, 29S, 29T, 29U, 29V, 29W, 29X, 29Y, 29Z, 30A, 30B, 30C, 30D, 30E, 30F, 30G, 30H, 30I, 30J, 30K, 30L, 30M, 30N, 30O, 30P, 30Q, 30R, 30S, 30T, 30U, 30V, 30W, 30X, 30Y, 30Z, 31A, 31B, 31C, 31D, 31E, 31F, 31G, 31H, 31I, 31J, 31K, 31L, 31M, 31N, 31O, 31P, 31Q, 31R, 31S, 31T, 31U, 31V, 31W, 31X, 31Y, 31Z, 32A, 32B, 32C, 32D, 32E, 32F, 32G, 32H, 32I, 32J, 32K, 32L, 32M, 32N, 32O, 32P, 32Q, 32R, 32S, 32T, 32U, 32V, 32W, 32X, 32Y, 32Z, 33A, 33B, 33C, 33D, 33E, 33F, 33G, 33H, 33I, 33J, 33K, 33L, 33M, 33N, 33O, 33P, 33Q, 33R, 33S, 33T, 33U, 33V, 33W, 33X, 33Y, 33Z, 34A, 34B, 34C, 34D, 34E, 34F, 34G, 34H, 34I, 34J, 34K, 34L, 34M, 34N, 34O, 34P, 34Q, 34R, 34S, 34T, 34U, 34V, 34W, 34X, 34Y, 34Z, 35A, 35B, 35C, 35D, 35E, 35F, 35G, 35H, 35I, 35J, 35K, 35L, 35M, 35N, 35O, 35P, 35Q, 35R, 35S, 35T, 35U, 35V, 35W, 35X, 35Y, 35Z, 36A, 36B, 36C, 36D, 36E, 36F, 36G, 36H, 36I, 36J, 36K, 36L, 36M, 36N, 36O, 36P, 36Q, 36R, 36S, 36T, 36U, 36V, 36W, 36X, 36Y, 36Z, 37A, 37B, 37C, 37D, 37E, 37F, 37G, 37H, 37I, 37J, 37K, 37L, 37M, 37N, 37O, 37P, 37Q, 37R, 37S, 37T, 37U, 37V, 37W, 37X, 37Y, 37Z, 38A, 38B, 38C, 38D, 38E, 38F, 38G, 38H, 38I, 38J, 38K, 38L, 38M, 38N, 38O, 38P, 38Q, 38R, 38S, 38T, 38U, 38V, 38W, 38X, 38Y, 38Z, 39A, 39B, 39C, 39D, 39E, 39F, 39G, 39H, 39I, 39J, 39K, 39L, 39M, 39N, 39O, 39P, 39Q, 39R, 39S, 39T, 39U, 39V, 39W, 39X, 39Y, 39Z, 40A, 40B, 40C, 40D, 40E, 40F, 40G, 40H, 40I, 40J, 40K, 40L, 40M, 40N, 40O, 40P, 40Q, 40R, 40S, 40T, 40U, 40V, 40W, 40X, 40Y, 40Z, 41A, 41B, 41C, 41D, 41E, 41F, 41G, 41H, 41I, 41J, 41K, 41L, 41M, 41N, 41O, 41P, 41Q, 41R, 41S, 41T, 41U, 41V, 41W, 41X, 41Y, 41Z, 42A, 42B, 42C, 42D, 42E, 42F, 42G, 42H, 42I, 42J, 42K, 42L, 42M, 42N, 42O, 42P, 42Q, 42R, 42S, 42T, 42U, 42V, 42W, 42X, 42Y, 42Z, 43A, 43B, 43C, 43D, 43E, 43F, 43G, 43H, 43I, 43J, 43K, 43L, 43M, 43N, 43O, 43P, 43Q, 43R, 43S, 43T, 43U, 43V, 43W, 43X, 43Y, 43Z, 44A, 44B, 44C, 44D, 44E, 44F, 44G, 44H, 44I, 44J, 44K, 44L, 44M, 44N, 44O, 44P, 44Q, 44R, 44S, 44T, 44U, 44V, 44W, 44X, 44Y, 44Z, 45A, 45B, 45C, 45D, 45E, 45F, 45G, 45H, 45I, 45J, 45K, 45L, 45M, 45N, 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**WRIGHT GROUP**  
ARCHITECTS - PLANNERS, PLLC

1430 S BROADWAY STREET  
CARROLLTON, TEXAS  
7 5 0 0 6  
(972) 242 - 1015

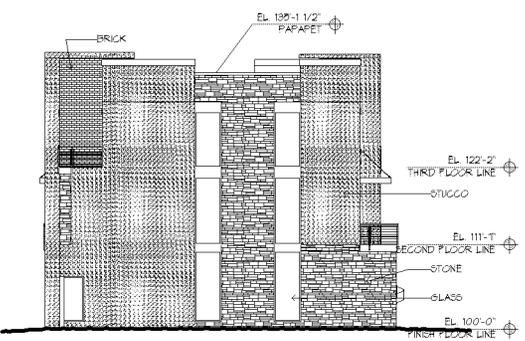


10/13/2023

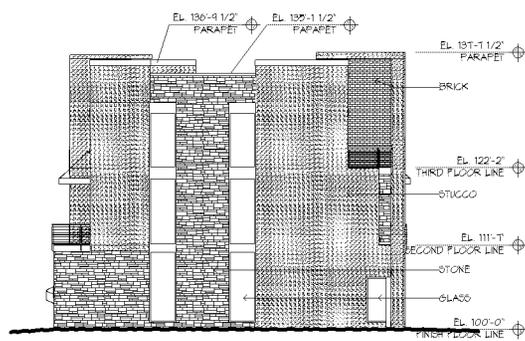


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STUCCO	29%
STONE	54%
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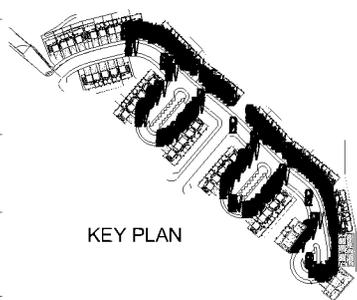
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**3 SIDE ELEVATION**  
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KEY PLAN

**3 Home Elevation**  
For  
**Reserve at Bear Creek**

Block 1, Lots 1-21, 22X, 23-43 & 44X. Block 2, Lots 1-5, 6X, 7-10, 11X, 12-16 & 17X. Block 3, Lots 1-5, 6X, 7-11, 12X, 13-15 & 16X, 4201 State Highway 360

James H. Hughes Survey, No.2028  
City of Grapevine, Tarrant County, Texas  
13.65 Acres (594,439 s.f.)

Existing zoning: "R-TH", Townhouse District with Planned Development Overlay  
Proposed zoning: "R-TH", Townhouse District with Planned Development Overlay

Date of Preparation: May 19, 2023

*The Reserve At Bear Creek*  
Grapevine Townhomes  
Texas 360 Service Rd  
Grapevine, Texas 76051

JOB NO. A2166  
DATE: Type Date 02

MAYOR	SECRETARY
DATE	
PLANNING AND ZONING COMMISSION	
	CHAIRMAN
DATE	
SHEET: 13 OF 16	
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES	
DEPARTMENT OF DEVELOPMENT SERVICES	

**3 HOME BUILDING**

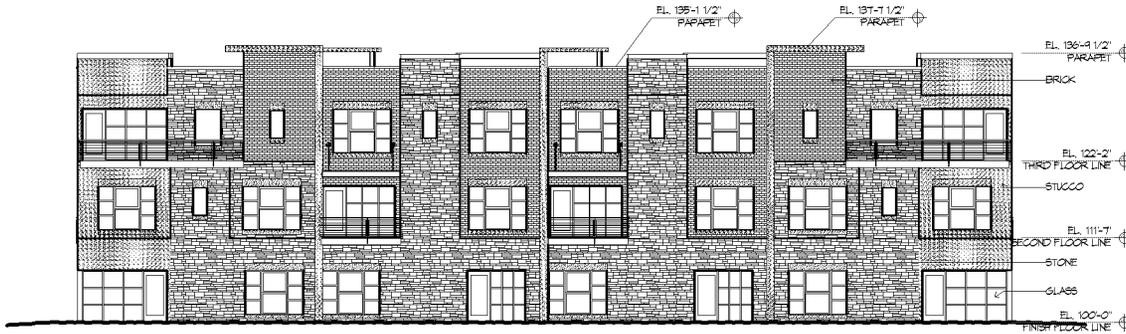


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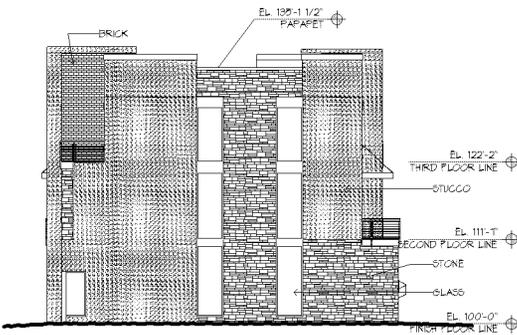


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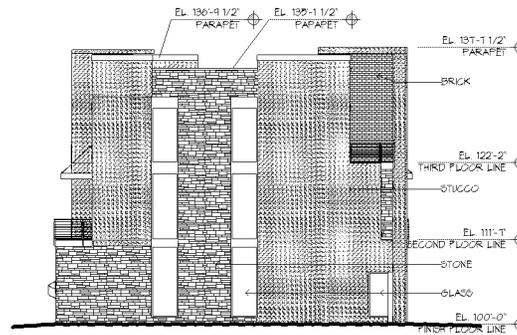
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STUCCO	29%
STONE	54%
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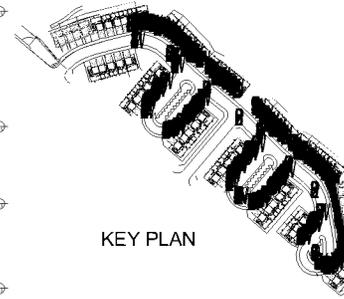
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**3 SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**4 SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



KEY PLAN

**4 Home Elevation**

For  
**Reserve at Bear Creek**

Block 1, Lots 1-21, 22X, 23-43 & 44X, Block 2, Lots 1-5, 6X, 7-10, 11X, 12-16 & 17X, Block 3, Lots 1-5, 6X, 7-11, 12X, 13-15 & 16X, 4201 State Highway 360

James H. Hughes Survey, No.2028  
City of Grapevine, Tarrant County, Texas  
13.65 Acres (594,439 s.f.)

Existing zoning: "R-TH", Townhouse District with Planned Development Overlay

Proposed zoning: "R-TH", Townhouse District with Planned Development Overlay

Date of Preparation: May 19, 2023

JOB NO. A2166

CASE NAME: Reserve at Bear Creek  
CASE NUMBER: PD24-01  
LOCATION: 4201 State Hwy 360

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

DATE: \_\_\_\_\_ PLANNING AND ZONING COMMISSION

DATE: \_\_\_\_\_ CHAIRMAN \_\_\_\_\_

SHEET: 14 of 19

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

**4 HOME BUILDING**

**SHEET 14 OF 16**

**WRIGHT GROUP**  
ARCHITECTS - PLANNERS, PLLC

1430 S BROADWAY STREET  
CARROLLTON, TEXAS  
7 5 0 0 6  
(972) 242 - 1015



10/13/2023

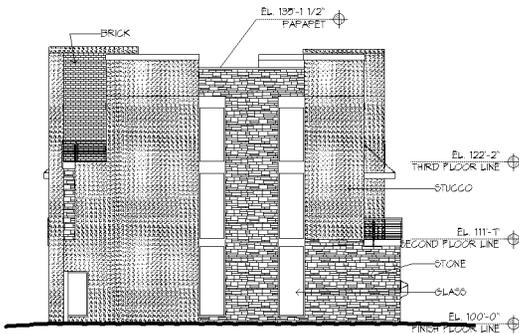


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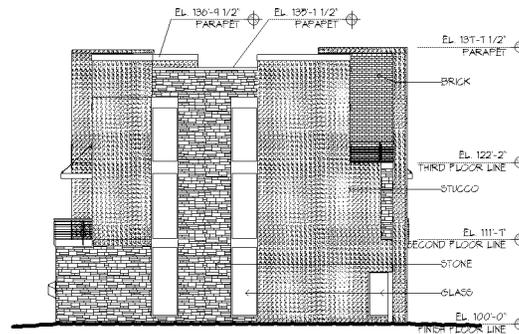
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STONE	54%
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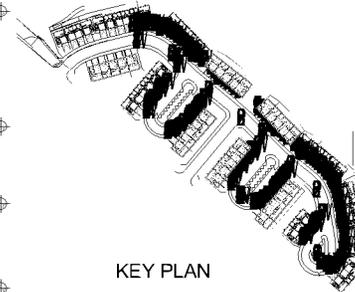
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**3 SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**4 SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



KEY PLAN

**5 HOME BUILDING**

*The Reserve At Bear Creek*  
Grapevine Townhomes  
Texas 360 Service Rd  
Grapevine, Texas 76051

JOB NO. A2166

**5 Home Elevation**

For  
**Reserve at Bear Creek**

Block 1, Lots 1-21, 22X, 23-43 & 44X. Block 2, Lots 1-5, 6X, 7-10, 11X, 12-16 & 17X. Block 3, Lots 1-4, 6X, 7-11, 12X, 13-15 & 16X, 4201 State Highway 360

James H. Hughes Survey, No. 2028  
City of Grapevine, Tarrant County, Texas  
13.85 Acres (594,439 s.f.)

Existing zoning: "R-TH", Townhouse District with Planned Development Overlay

Proposed zoning: "R-TH", Townhouse District with Planned Development Overlay

Date of Preparation: May 19, 2023

CASE NAME: Reserve at Bear Creek  
CASE NUMBER: PD24-01  
LOCATION: 4201 State Hwy 360

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET **15 OF 18**

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES



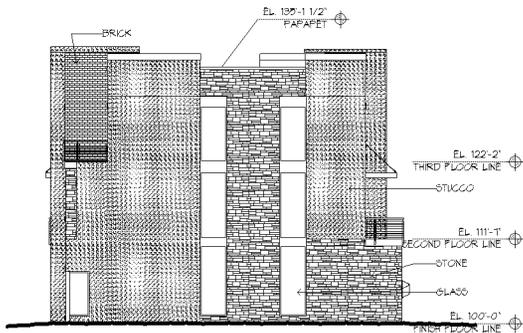
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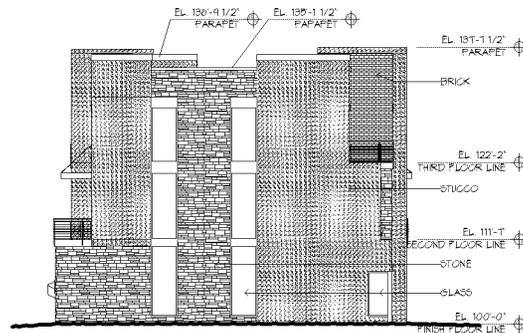
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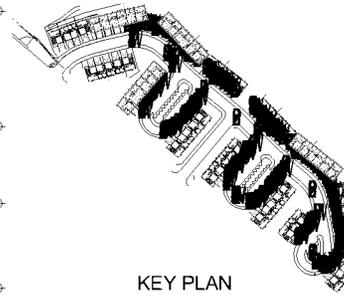
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**4 SIDE ELEVATION**  
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MATERIAL	%
BRICK	23%
STUCCO	23%
STONE	54%
100% MASONRY	

**6 Home Elevation**  
 For  
**Reserve at Bear Creek**  
 Block 1, Lots 1-21, 22X, 23-43 & 44X, Block 2, Lots 1-5,  
 6X, 7-10, 11X, 12-16 & 17X, Block 3, Lots 1-5, 6X, 7-11,  
 12X, 13-15 & 16X, 4201 State Highway 360  
 James H. Hughes Survey, No.2028  
 City of Grapevine, Tarrant County, Texas  
 13.65 Acres (594,439 s.f.)  
 Existing zoning: "R-TH", Townhouse District with Planned  
 Development Overlay  
 Proposed zoning: "R-TH", Townhouse District with Planned  
 Development Overlay  
 Date of Preparation: May 19, 2023

**6 HOME BUILDING**

*The Reserve At Bear Creek*  
 Grapevine Townhomes  
 Texas 360 Service Rd  
 Grapevine, Texas 76051

JOB NO. A2166

CASE NAME: Reserve at Bear Creek  
 CASE NUMBER: PD24-01  
 LOCATION: 4201 State HWY 360

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 \_\_\_\_\_ CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 SHEET: **16** OF **16**  
 APPROVAL DOES NOT AUTHORIZE ANY  
 WORK IN CONFLICT WITH ANY CODES  
 OR ORDINANCES.  
 DEPARTMENT OF DEVELOPMENT SERVICES

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** MARCH 19, 2024

**SUBJECT:** PURCHASE OF CONSTRUCTION REMODEL SERVICES TO PRACTICE AREA AND CHIPPING GREEN FOR THE GRAPEVINE MUNICIPAL GOLF COURSE

**RECOMMENDATION:** City Council to consider purchase of construction remodel services for the practice area and chipping green at the Grapevine Golf Course from GreenScape Six.

**FUNDING SOURCE:** Funds are available in the Lake Enterprise Fund (Golf) for an amount not to exceed \$402,175.

**BACKGROUND:** This purchase is for the expansion of the existing tee line and short game putting and chipping green to better accommodate the growing demands of golf course customers.

This purchase will be made in accordance with an existing interlocal agreement with The Local Government Purchasing Cooperative (Buy Board) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to GreenScape Six. The Public Works and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would best meet the needs of the City.

Staff recommends approval.

MT/TM

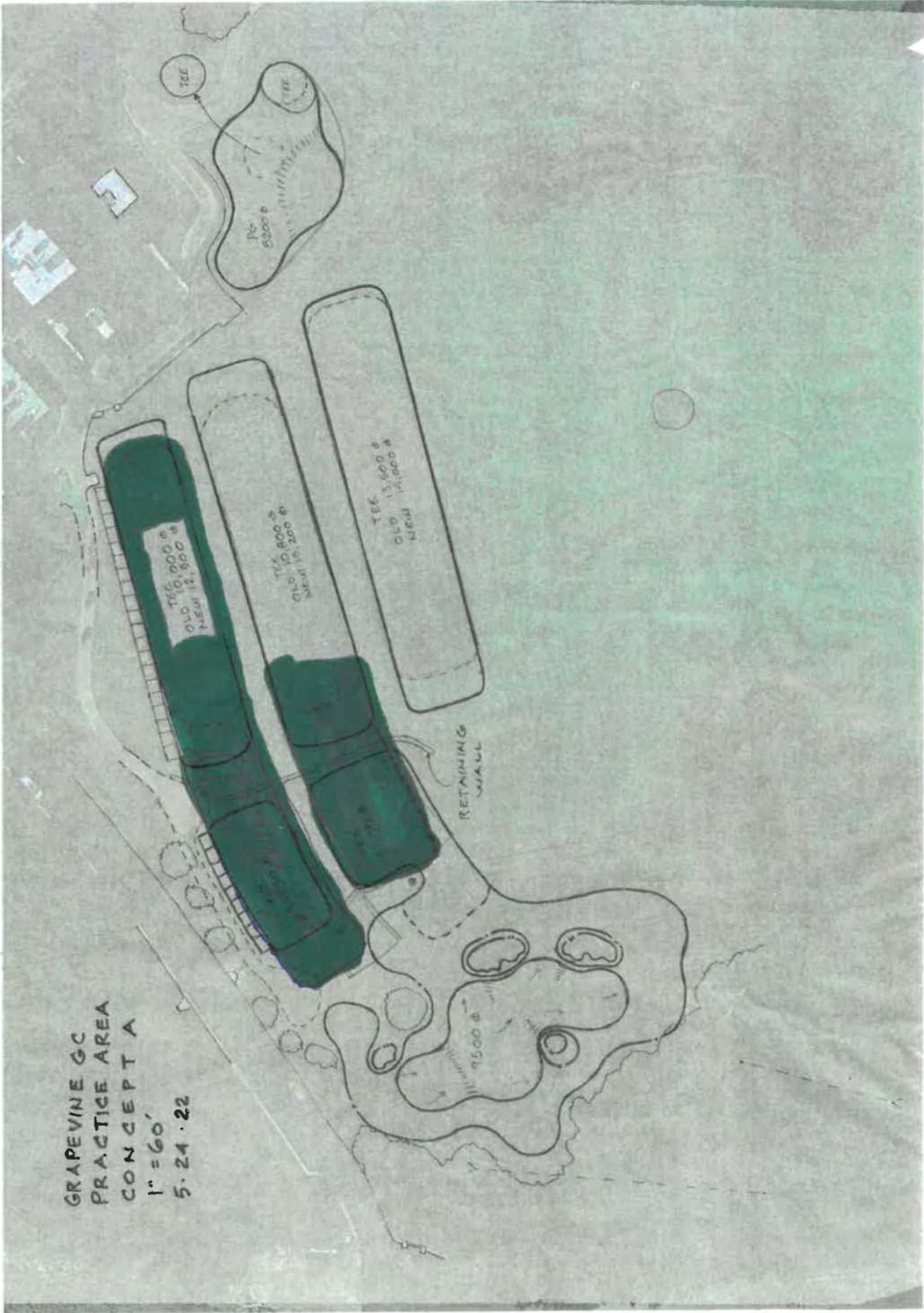
## DESCRIPTION OF IMPROVEMENTS SHORT GAME AREA



- A completely new short game area will be constructed west of the existing chipping green
- The 9,000 to 10,000 square foot green will be serpentine in shape allowing for multiple users and multiple types of shots to be practiced
- Multiple bunkers of different sizes and depths will be located around the new chipping green
- The chipping green surrounds will have a variety of mowing heights and contours that will allow for many different types of shots into the green
- Two of the Wedge Course greens will be connected to the Short Game Area and could also be used as Short Game Greens



GRAPEVINE GC  
PRACTICE AREA  
CONCEPT A  
1" = 60'  
5.24.22



Exit Fee = 34300  
New Fee

# GRAPEVINE GOLF COURSE PRACTICE AREA IMPROVEMENTS



General Contractor:  
 GreenScape Six  
 Buy Board #4582  
 #705-23 #706-23  
 Sub Contractor: Fleetwood Services LLC

**Grapevine Short game Green, Chipping Course and Tee Expansion**  
 Grapevine, Texas

Unit Abbreviations

Bid Date 3-4-24

sf	square feet	pg	per green complex
ac	acre	pt	per tee complex
ea	each	psb	per sand bunker
cy	cubic yard	pgb	per grass bunker
bu	bushel	ppp	plastic perforated pipe
t	ton	sdp	sewer and drain pipe
ls	lump sum	fv	flush boxes/cleanouts
#	pound	gi	grate inlets
hrs	hours	ph	per hole
lf	linear feet	pf	per fairway
ct	cart turnout	ff	facial foot
bldg	building		

ITEM	DESCRIPTION & PRICE IN WORDS	UNIT	QUANTITY	UNIT PRICE	TOTAL
I.	MOBILIZATION/ SUPERVISON	ls	1	\$ 20,000.00	\$20,000.00
II.	<u>Short game Green, chipping course and Tee Expansion</u>				
A.	Strip Sod (Bury Onsite)	sf	45,000	\$ 0.30	\$13,500.00
B.	Earthwork	cy	2,000	\$ 10.00	\$20,000.00
C.	Shaping	ls	1	\$ 60,000.00	\$60,000.00
D.	4" Perforated Tile	lf	850	\$ 8.50	\$7,225.00
E.	Carry Off Tile 6"	lf	500	\$ 10.00	\$5,000.00
F.	Gravel Layer - 4"	sf	10,000	\$ 2.90	\$29,000.00
G.	Greensmix - 12" (Kosse)	sf	10,000	\$ 5.90	\$59,000.00
H.	Irrigation Heads	EA	16	\$ 1,500.00	\$24,000.00
I.	Driving range Tee Expansion	LS	1	\$ 20,000.00	\$20,000.00
J.	Scaled Down Chipping Course - Turn Key	LS	1	\$ 100,000.00	\$100,000.00
K.	Finish Grading Greens	sf	10,000	\$ 0.25	\$2,500.00
L.	TifEagle 15bu/1000sf	sf	10,000	\$ 0.80	\$8,000.00
M.	Finish Grading Surrounds and Tee Top	sf	35,000	\$ 0.25	\$8,750.00
N.	Sodding Surrounds	sf	12,000	\$ 0.85	\$10,200.00
O.	Sprigging Tee Top	sf	30,000	\$ 0.50	\$15,000.00
	<b>Subtotal</b>				<b>\$402,175.00</b>

Note:Chipping Course will Cost more if done separtly (\$250K)

**Total \$402,175.00**

**Total \$402,175.00**

All An Estimate based on Today's prices

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**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER

**MEETING DATE:** MARCH 19, 2024 *BR*

**SUBJECT:** APPROVAL OF GUARANTEED MAXIMUM PRICE CONTRACTOR FOR RENOVATIONS OF THE MUNICIPAL SERVICE CENTER

**RECOMMENDATION:** City Council to consider a contract for a Guaranteed Maximum Price for the renovations of the Municipal Service Center with Sedalco Construction Services.

**FUNDING SOURCE:** Funds will be available in the Capital Projects General Facilities Fund for a total amount not to exceed \$14,873,681 upon the issuance and sale of Certificate of Obligation Bonds.

**BACKGROUND:** Approval of this contract will provide authorization for Sedalco to begin renovations of the Grapevine Municipal Service Center. In 2023 the architect firm Brown Reynolds and Watford was selected to design the new Service Center. In the same year, City staff began working with the Construction Manager at Risk (CMAR) Sedalco, an experienced Fort Worth based commercial and institutional construction firm.

The Service Center was constructed in 1992. Due to the tornadic storm event on Tuesday, December 13, 2022, the Grapevine Service Center received substantial damage and the majority of the structure became uninhabitable. On February 21, 2023, Council ratified a contract with Brown Reynolds and Watford for new design.

The staff from Sedalco, Brown Reynolds and Watford and City have worked diligently over the past months to complete the design and budget of the Grapevine Municipal Service Center with a guaranteed maximum price of \$14,023,681 and owner costs of \$850,000 for a total project cost of \$14,873,681.

Staff recommends approval.

CH/LW

---

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** MARCH 19, 2024

**SUBJECT:** OCAL PROJECT ADVANCED FUNDING AGREEMENT (LPAFA) —  
EULESS GRAPEVINE ROAD FROM STATE HIGHWAY 360 TO  
HUGHES ROAD

**RECOMMENDATION:** City Council to consider adopting a resolution approving the Local Project Advance Funding Agreement with Texas Department of Transportation (TXDOT) to establish funding participation levels for the reconstruction of Eules Grapevine Road from State Highway 360 to Hughes Road and the approval of an ordinance appropriating the funds.

**FUNDING SOURCE:** Upon approval, funds will be available in the Capital Project Streets Fund in an estimated amount of \$109,113.

**BACKGROUND:** On August 31, 2018, staff submitted the Eules Grapevine Road project to be funded through the North Central Texas Council of Government (NCTCOG) Metropolitan Transportation Plan Policy Bundle project call. The Eules Grapevine Road project was one of the approved projects and provides for reconstruction of two lanes including sidewalk and traffic signal improvements at the intersection of the State Highway 360 Frontage Road, as shown in the attached, to support both the City's and the region's transportation systems.

On December 13, 2018, the Eules Grapevine Road project was awarded federal funding through the Regional Transportation Council in the amount of \$224,560 for engineering and \$1,700,240 for construction. Typically, federal funds require a 20% local match, which equates to \$44,912 for engineering design and \$340,048 for construction. However, this project allows for the use of Transportation Development Credits (TDCs) that reduces the City's financial contribution which the City Council authorized for use on this project in March of 2019.

On July 20, 2021, Council adopted a resolution approving the Local Project Advance Funding Agreement with Texas Department of Transportation (TXDOT) to establish funding participation levels for the design of this project and the approval of an ordinance appropriating the funds.

On April 5, 2022, Council awarded a contract to LJA Engineering in the amount of \$328,000 for the design of the roadway to meet TxDOT and City standards. The Transportation Improvement Program has been modified to increase construction costs from the original estimate and increase TDC's to \$436,453.

The plans are almost complete and reaching final review with TxDOT. City staff and TxDOT have reached agreement on the proposed Local Project Advance Funding Agreement for construction, which is attached. Upon execution, this agreement will provide \$2,182,263 in federal funding for construction, this includes the \$436,553 in TDCs that are being utilized as our local match. The City is responsible for direct State costs in the amount of \$109,113 and any cost over runs.

Staff recommends approval.

RESOLUTION NO. 2024-004

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS AUTHORIZING A LOCAL PROJECT ADVANCE FUNDING AGREEMENT WITH THE TEXAS DEPARTMENT OF TRANSPORTATION ADDRESSING FUNDING PARTICIPATION LEVEL AND PROJECT SCOPE FOR THE EULESS GRAPEVINE ROAD PROJECT AND PROVIDING AN EFFECTIVE DATE

WHEREAS, federal law establishes federally funded programs for transportation improvements to implement its public purposes through Texas Department of Transportation authority; and

WHEREAS, the Texas Transportation Code, Section 201.103 establishes that the State shall design, construct and operate a system of highways in cooperation with local governments, and Section 222.052 authorizes the Texas Transportation Commission to accept contributions from political subdivisions for development and construction of public roads and the state highway system within the political subdivision; and

WHEREAS, Federal law, 23 USC §134 and 49 USC §5303, requires that State and Metropolitan Planning Organizations (MPOs) develop transportation plans and programs for urbanized areas of Texas; and

WHEREAS, Federal and State laws require local governments to meet certain contract standards relating to the management and administration of Federal and State funds, and

WHEREAS, a Master Agreement between the City of Grapevine and the State was adopted by Resolution No. 2000-60 on November 21, 2000 and the agreement states the general terms and conditions for transportation projects developed through this Local Transportation Project Advance Funding Agreement; and

WHEREAS, the City of Grapevine prepared and submitted to the North Central Texas Council of Governments (NCTCOG) a project nomination package for the 2018 Metropolitan Transportation Plan Policy Bundle, including this project which is briefly described as the Eulesse Grapevine Road Project (Project); and

WHEREAS, the Regional Transportation Council awarded \$2,182,263 in federal funding for the project; and

WHEREAS, City Council approved the use of 436,553 in previously awarded transportation development credits as proxy for the local match requirements; and

WHEREAS, the City of Grapevine is responsible for direct state costs and any cost overruns associated with this project; and

WHEREAS, the City Council of the City of Grapevine strongly supports the Texas Department of Transportation in developing the Euless Grapevine Road Project; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine approves entering into this Local Project Advance Funding Agreement for the Euless Grapevine Road Project using Transportation Development Credits for the local construction match and Capital Project Street Funds for the direct State costs.

Section 3. That this resolution shall become effective from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of March, 2024.

APPROVED:

\_\_\_\_\_  
William D. Tate  
Mayor

ATTEST:

\_\_\_\_\_  
Tara Brooks  
City Secretary

APPROVED AS TO FORM:

\_\_\_\_\_  
Matthew C.G. Boyle  
City Attorney

ORDINANCE NO. 2024-022

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE APPROPRIATION OF \$109,113 IN THE CAPITAL PROJECT STREETS FUND; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City Council of the City of Grapevine desires to construct the Euless Grapevine Road project; and

WHEREAS, funding is available in the Capital Projects Streets Fund; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act and Chapter 211 of the Local Government Code; and

WHEREAS, the City Council deems the adoption of this ordinance to be in the best interests of the health, safety, and welfare of the public.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council hereby authorizes and estimated amount of \$109,113 be appropriated from the Capital Projects Streets Fund for the construction of the Euless Grapevine Road project.

Section 3. That a copy of the revised FY 2023-2024 Capital Improvements Plan budget document shall be kept on file in the office of the City Secretary.

Section 4. That the terms and provisions of this ordinance shall be deemed to be severable, and that if the validity of any section, subsection, word, sentence or phrase shall be held to be invalid, it shall not affect the remaining part of this ordinance.

Section 5. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of March, 2024.

APPROVED:

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William D. Tate  
Mayor

ATTEST:

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Tara Brooks  
City Secretary

APPROVED AS TO FORM:

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Matthew C.G. Boyle  
City Attorney

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**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>

**MEETING DATE:** MARCH 19, 2024

**SUBJECT:** COMPENSATION UPDATE FOR SWORN POLICE AND FIRE PERSONNEL

**RECOMMENDATION:** City Council to consider approval of a compensation update for sworn police and fire personnel, and take any necessary action.

**FUNDING SOURCE:** Funding is available in the General Fund (Fire Department) and the CCPD Fund (Police) in an estimated amount of \$375,000.

**BACKGROUND:** Each year, the City of Grapevine evaluates both civilian and public safety jobs to ensure we maintain a market position at the 50th percentile (also often called “the median” or keeping in the middle) per the City Council stated goal in 2006.

The City of Grapevine has historically compared jobs and compensation with the same 18 cities. Use of the same comparison cities over time provides a steady measure of any market fluctuation.

Annually, the two pay plans (“open range” pay table for civilians and a “grade/step scale” for Police and Fire) are reviewed and compared to the 18 cities, and as necessary, a market adjustment is proposed to maintain the 50th percentile.

Annual budget discussions consider merit increases for civilian staff and step increases for Sworn Police and Fire staff using the City’s performance program. This year, the following compensation adjustments were approved effective October 1:

- 2% market adjustment to both civilian and public safety pay plans
- 3% merit for civilian employees
- 5%/3% step increases for employees on the public safety pay plan

There are some cities in the 18-city survey group that adjust their pay plans effective January 1 instead of October 1. Human Resources staff begins collecting the most recent data in January to ensure we stay within the 50th percentile. Based on the most recent data collected in January, we are recommending an average of 5-6% mid-year market adjustment to Sworn Police and Fire in order to remain at the 50th percentile of our comparator cities effective the first payroll in June 2024. The estimated impact to the budget this fiscal year is \$374,864.

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** MARCH 19, 2024

**SUBJECT:** RENEWAL OF AN ANNUAL CONTRACT FOR INTERACTIVE VOICE RESPONSE SYSTEM (IVR) FOR THE UTILITY BILLING DEPARTMENT

**RECOMMENDATION:** City Council to consider approval for the renewal of an annual contract for interactive voice response system with DivDat, Inc. for the Utility Billing Department.

**FUNDING SOURCE:** Funds are available in the Utility Enterprise Fund for an estimated amount of \$19,000.

**BACKGROUND:** The Utility Billing Department currently maintains an Interactive Voice Response system (IVR). This system enables residents to monitor their account balances and make electronic payments towards their bills, 24 hours per day.

This procurement was made as a sole source in accordance with Local Government Code Chapter 252, Subchapter B, § 252.022. General Exemptions (a)(7)(A). DivDat, Inc. is the sole source provider for interactive voice response system. The City has utilized DivDat, Inc. in the past with positive results.

The Utility Billing and Purchasing Departments reviewed the contract for specification compliance and pricing and determined that the contract would provide the best service and pricing for meeting the needs of the City. The contract was for an initial one-year period with four, one-year renewal options. If approved, this will be the second available renewal.

Staff recommends approval.

RC/TM

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** MARCH 19, 2024

**SUBJECT:** APPROVAL OF A CONTRACT FOR INSURANCE CONSULTANT SERVICES FOR GROUP HEALTH BENEFITS

**RECOMMENDATION:** City Council to consider the approval of a three-year contract for insurance consultant services for group health benefits with McGriff Insurance Services, Inc. for the Human Resources Department.

**FUNDING SOURCE:** Funds are available in the General Fund (Risk Department) for an amount not to exceed \$50,000.

**BACKGROUND:** The insurance consultant assists with insurance placement for medical, dental, vision, life, disability, and stop-loss insurance coverages. The consultant also ensures that benefit designs are consistent with the strategic benchmarks, provides compliance tools and legislative information, and provides data analysis on plans and performance.

McGriff has provided these services to the City in the past with successful results and they agree to a renewal with no increase in fee.

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** MARCH 19, 2024

**SUBJECT:** RENEWAL OF CONTRACT FOR EMPLOYEE HEALTH CLINICS

**RECOMMENDATION:** City Council to consider renewal of a professional service contract for employee health clinics with Texas Health Physicians Group.

**FUNDING SOURCE:** Funds are available in the General Fund (Risk Department) in an estimated amount of \$60,000.

**BACKGROUND:** Approval of this contract renewal will provide clinic services for employees and their families with Texas Health Physician Group. As part of the City's total benefits package Grapevine provides free sick visits at eight local doctors' offices. This convenient care allows employees and their families access to the care they need to return to work quickly.

Staff recommends approval.

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>

**MEETING DATE:** MARCH 19, 2024

**SUBJECT:** RENEWAL OF ANNUAL CONTRACT FOR MASONRY SERVICES

**RECOMMENDATION:** City Council to consider the approval for renewal of annual contracts for masonry services to Chibli Stone Works, Inc. as the primary vendor and Weatherproofing Services as the secondary vendor for the Parks and Recreation Department.

**FUNDING SOURCE:** Funds are available in the General Fund (Parks Department) for an annual estimated amount of \$200,000.

**BACKGROUND:** The purpose of this contract is to establish annual pricing for masonry services.

Bids were taken in accordance with Local Government Code Chapter 252, Subchapter B, Section 252.021 (a) and Section 252.041 (a). The contracts were for an initial two-year period with four, two-year optional renewals. This contract will be the first two-year renewal period. The City has utilized both of these vendors in the past with positive results.

Staff recommends approval.

TS/TM

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**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** MARCH 19, 2024

**SUBJECT:** RENEWAL OF ANNUAL CONTRACT FOR POLICE EQUIPMENT, ACCESSORIES, AND AMMUNITION

**RECOMMENDATION:** City Council to consider approval for renewal of an annual contract for police equipment, accessories, and ammunition from Precision Delta Corporation for the Police Department.

**FUNDING SOURCE:** Funds are available in the General Fund (Police Department) for an annual estimated amount of \$40,000.

**BACKGROUND:** The purpose of this contract is to purchase ammunition for Police Department firearms training and qualifications throughout the year. The department annually purchases thousands of rounds of both 9mm and .223 ammunition to maintain proficiency with Police Department issued firearms. Due to a global ammunition shortage due to world events and continuous depletion of ammunition, the department must purchase ammunition when available throughout the year to maintain adequate stock. The maintenance of our ammunition stock allows us to continue training and qualifications.

This purchase will be made in accordance with an existing interlocal agreement with The Local Government Purchasing Cooperative (Buy Board) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791. The contract was for an initial one-year period with two, one-year renewal options. If approved, this will be for the first renewal available.

Bids were taken by the Cooperative and a contract was awarded to Precision Delta Corporation. The Police and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best service and pricing for meeting the needs of the City.

Staff recommends approval.

WE/TM

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** MARCH 19, 2024

**SUBJECT:** PURCHASE OF CUSTOM DUAL-PURPOSE NARCOTICS K9 SERVICES

**RECOMMENDATION:** City Council to consider the approval for the purchase of custom dual-purpose narcotics K9 services from Hill Country Dog Center for the Grapevine Police Department.

**FUNDING SOURCE:** Funds are available in the CCPD Fund for an amount not to exceed \$16,600.

**BACKGROUND:** The current animal has been in service for seven years with three different handlers and is close to his useful timeframe of service.

Staff recommends approval.

WS/LW

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** MARCH 19, 2024

**SUBJECT:** PURCHASE OF A T-WELL REPLACEMENT PUMP FOR THE WATER TREATMENT PLANT

**RECOMMENDATION:** City Council to consider approval for the purchase of a T-well replacement pump for the Water Treatment Plant from FCX Performance Inc. for the Public Works Department.

**FUNDING SOURCE:** Funds are available in the Utility Enterprise Fund for a total amount not to exceed \$51,595.

**BACKGROUND:** This purchase is for a replacement T-well pump for the Water Treatment Plant. The existing pump is at the end of its useful life and must be replaced.

This procurement will be made as a sole source form from FCX Performance Inc. in accordance with Local Government Code Chapter 252, Subchapter B, § 252.022. General Exemptions (a)(7)(A).

Staff recommends approval.

JH/LW

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** MARCH 19, 2024

**SUBJECT:** PURCHASE OF A XYLEM REPLACEMENT PUMP FOR THE OPRYLAND LIFT STATION

**RECOMMENDATION:** City Council to consider approval for the purchase of a Xylem replacement pump for the Opryland Lift Station from Xylem Water Solutions, Inc. for the Public Works Department.

**FUNDING SOURCE:** Funds are available in the Utility Enterprise Fund for a total amount not to exceed \$50,200.

**BACKGROUND:** This purchase is for a replacement Flygt submersible sewage pump for the Opryland lift station. The existing pump is at the end of its useful life and must be replaced.

This procurement will be made as a sole source form from Xylem Water Solutions, Inc. in accordance with Local Government Code Chapter 252, Subchapter B, § 252.022. General Exemptions (a)(7)(A).

Staff recommends approval.

JH/LW

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**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>

**MEETING DATE:** MARCH 19, 2024

**SUBJECT:** ANNUAL CONTRACT FOR WATER METERS, SEWER MONITORING AND ASSOCIATED EQUIPMENT

**RECOMMENDATION:** City Council to consider renewal of the sole source agreement for the purchase and installation of water meters, associated equipment, and manhole monitoring equipment from HydroPro Solutions, LLC and an ordinance to appropriate the funds.

**FUNDING SOURCE:** Upon approval of the above recommendation, funds will be available in the Utility Enterprise Fund in the estimated amount of \$750,000.

**BACKGROUND:** This item provides for the renewal of a sole source agreement with HydroPro Solutions, LLC for the purchase and as-needed installation of water meters from 5/8" (residential meters) up to 8" (industrial users). The HydroPro installation will also include a lead and copper inventory as the meters are replaced, as required by the Environmental Protection Agency (EPA) through the Texas Commission on Environmental Quality (TCEQ).

City Council approved the contract with HydroPro on November 17, 2020 and renewed the contract on September 19, 2023. This renewal includes two optional, one year renewals with no more than a 5% increase due to market conditions.

In addition, this contract renewal will also include the ability to purchase equipment to monitor hydrogen sulfide and sewer levels from specific manholes in the collection system where we have intermittent odor complaints.

The purchase of water meters, sewer monitoring, and required communication hardware will be made as a sole source purchase from HydroPro Solutions, LLC in accordance with Local Government Code Chapter 252, Subchapter B, §252.022. General Exemptions (a)(7)(A).

Staff recommends approval.

ORDINANCE NO. 2024-023

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE APPROPRIATION OF \$700,000 IN THE UTILITY ENTERPRISE CAPITAL FUND; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City Council of the City of Grapevine desires to purchase and install additional water meters and sanitary sewer equipment; and

WHEREAS, funding is available in the Utility Enterprise Capital Fund; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act and Chapter 211 of the Local Government Code; and

WHEREAS, the City Council deems the adoption of this ordinance to be in the best interests of the health, safety, and welfare of the public.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council hereby authorizes an estimated amount of \$700,000 be appropriated from the Utility Enterprise Capital Fund for the desires to purchase and install additional water meters and sanitary sewer equipment.

Section 3. That a copy of the revised FY 2023-2024 annual budget document shall be kept on file in the office of the City Secretary.

Section 4. That the terms and provisions of this ordinance shall be deemed to be severable, and that if the validity of any section, subsection, word, sentence or phrase shall be held to be invalid, it shall not affect the remaining part of this ordinance.

Section 5. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF  
GRAPEVINE, TEXAS on this the 19th day of March, 2024

APPROVED:

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William D. Tate  
Mayor

ATTEST:

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Tara Brooks  
City Secretary

APPROVED AS TO FORM:

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Matthew C.G. Boyle  
City Attorney

89pSTATE OF TEXAS  
COUNTY OF TARRANT  
CITY OF GRAPEVINE

The City Council of the City of Grapevine, Texas met in Regular Session on this the 5th day of March, 2024 in the City Council Chambers, Second Floor, 200 South Main Street, with the following members present:

William D. Tate	Mayor
Darlene Freed	Mayor Pro Tem
Sharron Rogers	Council Member
Chris Coy	Council Member
Duff O'Dell	Council Member
Paul Slechta	Council Member
Leon Leal	Council Member

constituting a quorum, and with the following members of the City Staff:

Bruno Rumbelow	City Manager
Jennifer Hibbs	Assistant City Manager
Matthew C.G. Boyle	City Attorney
Tara Brooks	City Secretary

Call to Order

Mayor Tate called the meeting to order at 7:02 p.m. in the City Council Chambers.

Item 1. Executive Session

Mayor Tate announced the City Council would recess to the City Council Conference Room to conduct a closed session regarding:

- A. Real property relative to deliberation of the purchase, exchange, lease, sale or value of real property (City facilities, Public Works, historic preservation, and the 185 acres) pursuant to Section 551.072, Texas Government Code.
- B. Conference with City Manager and Staff to discuss and deliberate commercial and financial information received from business prospects the City seeks to have locate, stay, or expand in the City; deliberate the offer of a financial or other incentive; with which businesses the City is conducting economic development negotiations pursuant to Section 551.087, Texas Government Code.

The City Council recessed to the City Council Conference Room and began the closed session at 7:05 p.m. The closed session ended at 7:30 p.m.

Upon reconvening in open session in the Council Chambers at 7:34 p.m., Mayor Tate asked if there was any action necessary relative to Sections 551.072 or 551.087.

City Manager Bruno Rumbelow requested Council approve the Memorandum of Understanding with JL Land, LLC and authorize the City Manager to execute same, and to take all other necessary action.

Motion was made to approve the Memorandum of Understanding with JL Land, LLC and authorize the City Manager to execute same, and to take all other necessary action.

Motion: Slechta  
Second: Rogers  
Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal  
Nays: None  
Approved: 7-0

In order to allow the Tax Increment Reinvestment Zones Board of Directors Meetings scheduled for 7:30 pm to take place, Mayor Tate announced Council would take a break at 7:34 p.m.

## REGULAR MEETING

Following Tax Increment Reinvestment Zones Board of Directors Meetings, Mayor Tate called the regular meeting to order at 7:38 p.m. in the City Council Chambers.

### Item 2. Invocation

Senior Pastor Doug Page with First Baptist Church gave the invocation.

### Item 3. Posting of the Colors and Pledges of Allegiance

Boy Scout Troop 168 posted the colors and led the Pledges of Allegiance.

### Item 4. Citizen Comments

No one spoke during Citizen Comments.

## PUBLIC HEARING AND RELATED ITEM

Item 5. City Council to conduct a public hearing to receive public input relative to the proposed 50th Year Community Development Block Grant (CDBG) Program street reconstruction program.

Mayor Tate opened the public hearing.

Public Works Director Bryan Beck presented this item in conjunction with item 6. The proposed project is for the reconstruction of a portion of Austin Street from the railroad to Franklin Street. The construction cost estimate for this project, including engineering is

\$816,500 of which approximately \$180,000 is expected to be provided by Tarrant County. The City's match is expected to be \$656,500. Engineering costs, estimated at \$106,500, will also be paid by the City.

Director Beck answered questions from Council.

No one spoke during the public hearing.

Motion was made to close the public hearing.

Motion: O'Dell  
Second: Freed  
Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal  
Nays: None  
Approved: 7-0

Item 6. Consider authorizing staff to proceed with the application submittal to Tarrant County for the 50th Year Community Development Block Grant (CDBG) Program street reconstruction project, and take any necessary action.

Public Works Director Beck presented this item in conjunction with item 5, and there was not a separate presentation for item 6.

Motion was made to authorize the staff to proceed with the application submittal to Tarrant County for the 50th Year Community Development Block Grant (CDBG) Program street reconstruction project, and take any necessary action.

Motion: Freed  
Second: O'Dell  
Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal  
Nays: None  
Approved: 7-0

## PRESENTATIONS

Item 7. Naman Mahajan, President, Baylor Scott and White Medical Center to provide an update on the hospital.

Mr. Mahajan was unable to attend the meeting therefore his presentation will be rescheduled to a future meeting.

Item 8. FORVIS, LLC, the City's auditing firm, to present the annual audit report in compliance with the City Charter, Article 3, Section 3.14.

Internal Auditor Shellie Johnson introduced FORVIS, LLC Partner Rachel Ormsby, who detailed the audit and reported the City received a an "unmodified opinion" meaning there are no material exceptions found to the fairness criteria under which the records were audited.

Ms. Ormsby answered questions from Council.

Council did not take any action on this item.

## NEW BUSINESS

Item 9. Consider a reimbursement agreement for Tax Increment Financing Reinvestment Zone Number One with the Grapevine-Colleyville Independent School District City of Grapevine, and the Board of Directors of Tax Increment Reinvestment Zone Number One, and take any necessary action.

Assistant Finance Director Matt Feryan presented this item which would authorize eligible operating expenses to be reimbursed for costs related to Mustang-Panther Stadium in accordance with the amended Project and Financing Plan that was approved by Council on February 20, 2024.

Motion was made to approve a reimbursement agreement for Tax Increment Financing Reinvestment Zone Number One with the Grapevine-Colleyville Independent School District, the City of Grapevine, and the Board of Directors of Tax Increment Reinvestment Zone Number One.

Motion: Coy  
 Second: O'Dell  
 Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal  
 Nays: None  
 Approved: 7-0

Item 10. Consider a reimbursement agreement for Tax Increment Financing Reinvestment Zone Number Two with the Grapevine-Colleyville Independent School District City of Grapevine, and the Board of Directors of Tax Increment Reinvestment Zone Number Two, and take any necessary action.

Assistant Finance Director Feryan presented this item which would authorize eligible operating expenses to be reimbursed for costs related to Grapevine Middle School in accordance with the amended Project and Financing Plan that was approved by Council on February 20, 2024.

Motion was made to approve a reimbursement agreement for Tax Increment Financing Reinvestment Zone Number Two with the Grapevine-Colleyville Independent School District, the City of Grapevine, and the Board of Directors of Tax Increment Reinvestment Zone Number Two, and take any necessary action.

Motion: Slechta  
 Second: Rogers  
 Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal  
 Nays: None  
 Approved: 7-0

Item 11. Consider a three-year Convention and Visitors Bureau title sponsorship of the Texas Women's Open to be played at the Grapevine Golf Course on May 28-31, 2024, and in May of 2025 and 2026, and take any necessary action.

Golf Director Robert Singletary introduced Mark Harrison, Chief Executive Officer at Northern Texas PGA, who outlined the Texas Women's Open events that will be played at the Grapevine Golf Course in May. Approval of this item will allow the Convention and Visitors Bureau to serve as the title sponsor for the 2024, 2025 and 2026 Texas Women's Open, for an amount of \$75,000 per year.

Council discussed this item.

Motion was made to approve a three-year Convention and Visitors Bureau title sponsorship of the Texas Women's Open to be played at the Grapevine Golf Course on May 28-31, 2024, and in May of 2025 and 2026, and take any necessary action.

Motion: Freed  
 Second: Slechta  
 Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal  
 Nays: None  
 Approved: 7-0

### CONSENT AGENDA

Consent items are deemed to need little Council deliberation and were acted upon as one business item. Any member of the City Council or member of the audience may request that an item be withdrawn from the consent agenda and placed before the City Council for full discussion. Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations.

City Manager Rumbelow requested item 18 be removed from the consent agenda. This item was considered separately after the remaining consent items.

Item 12. Consider the renewal of a contract for Microsoft licenses from SHI Government Solutions, Inc.

Chief Information Officer Tessa Allberg recommended approval of the renewal of the three-year Microsoft Enterprise Licenses Agreement with an initial payment of \$364,649 per year.

Motion was made to approve the consent agenda as presented.

Motion: Rogers  
 Second: Coy  
 Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal  
 Nays: None  
 Approved: 7-0

Item 13. Consider the renewal of an annual contract for VMware Carbon Black Antivirus, Malware, and Ransomware license and support for network security from SHI Government Solutions, Inc.

Chief Information Officer Allberg recommended approval of the renewal of the annual contract for the security protection for all laptops, desktops, virtual machines and servers for an amount not to exceed \$30,068.

Motion was made to approve the consent agenda as presented.

Motion: Rogers  
 Second: Coy  
 Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal  
 Nays: None  
 Approved: 7-0

Item 14. Consider an annual contract for aquatic maintenance services from CK Pools.

Parks and Recreation Director Chris Smith recommend approval of the contract to establish fixed annual pricing for swimming pool and fountain maintenance on an as-needed basis for an annual amount not to exceed \$40,000.

Motion was made to approve the consent agenda as presented.

Motion: Rogers  
 Second: Coy  
 Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal  
 Nays: None  
 Approved: 7-0

Item 15. Consider the renewal of annual services for veterinary medical care from Northwest Animal Hospital (Grapevine Veterinary Services).

Police Chief Mike Hamlin recommended approval of the annual agreement to provide veterinary medical care to shelter animals for an annual estimated amount of \$60,000.

Motion was made to approve the consent agenda as presented.

Motion: Rogers  
 Second: Coy  
 Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal  
 Nays: None  
 Approved: 7-0

Item 16. Consider an annual contract for electrical, lighting, data communications and security products and related products, services and solutions with Graybar Electric.

Public Works Director Beck recommended approval of the annual contract to establish fixed annual pricing for purchasing electrical equipment and supplies on an as-needed basis for an annual amount not to exceed \$125,000.

Motion was made to approve the consent agenda as presented.

Motion: Rogers  
 Second: Coy  
 Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal  
 Nays: None  
 Approved: 7-0

Item 17. Consider the purchase of equipment for the Screened Materials Recycling Program from Kirby Smith Machinery, Inc., Wastequip Texas and Powerscreen Texas Inc. and **Ordinance No. 2024-020** to appropriate the funds.

Public Works Director Beck recommended approval of the purchase of a dirt screener, dewatering box, and perforated bucket to be used to screen soil spoils for reuse for City projects. The North Central Texas Council of Governments will provide \$200,000 in grant funds and the City will provide \$75,000 through the Utility Enterprise Fund.

Motion was made to approve the consent agenda as presented.

Motion: Rogers  
 Second: Coy  
 Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal  
 Nays: None  
 Approved: 7-0

#### ORDINANCE NO. 2024-020

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, INCREASING ESTIMATED RECEIPTS IN THE AMOUNT OF \$200,000 IN THE GRANTS FUND TO BE RECEIVED FROM THE STATE OF TEXAS (TEXAS COMMISSION ON ENVIRONMENTAL QUALITY) THROUGH THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS; TRANSFERRING \$75,000 FROM THE UTILITY ENTERPRISE FUND TO THE GRANTS FUND; AND AUTHORIZING THE APPROPRIATION OF \$275,000 IN THE GRANT FUND; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 19. Consider the purchase of mobile vehicle barriers through grant funding from Meridian Rapid Defense Group.

Police Chief Hamlin and Public Works Director Beck recommended approval of the purchase of mobile vehicle barriers to be utilized around the Historic District for various City events. The City received a grant for \$105,000 for the purchase of these barriers.

Motion was made to approve the consent agenda as presented.

Motion: Rogers  
 Second: Coy  
 Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal  
 Nays: None  
 Approved: 7-0

Item 20. Consider the purchase of mobile vehicle barriers from Meridian Rapid Defense Group.

Police Chief Hamlin and Public Works Director Beck recommended approval of the purchase of additional barriers to be used during events at the Northwest Highway and Main Street intersection and the Dallas Road and Main Street intersection. This item will also include the purchase of emergency access gates. The total amount for the purchase of these components is \$145,000.

Motion was made to approve the consent agenda as presented.

Motion: Rogers  
 Second: Coy  
 Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal  
 Nays: None  
 Approved: 7-0

Item 21. Consider the minutes of the February 20, 2024 Regular City Council meeting.

City Secretary Tara Brooks recommended approval of the minutes as provided.

Motion was made to approve the consent agenda as presented.

Motion: Rogers  
 Second: Coy  
 Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal  
 Nays: None  
 Approved: 7-0

Item 18. Consider **Ordinance No. 2024-021** amending the Grapevine Code of Ordinances Chapter 25 – Utilities and Services Article V. Drought Contingency Plan – Division compliance – moderate condition, Section 141 – Stage 2, mandatory compliance – severe condition and Section 142 – Stage 3, mandatory compliance – critical condition.

Public Works Director Beck clarified the proposed changes are needed to remove conflicting wording from the Drought Contingency plan that was approved in 2011 per the request of the Texas Commission on Environmental Quality. Mr. Beck described the various stages of the Drought Contingency Plan.

Director Back and City Manager Rumbelow answered questions from Council.

Motion was made to approve Ordinance No. 2024-021 amending the Grapevine Code of Ordinances Chapter 25 – Utilities and Services Article V. Drought Contingency Plan – Division compliance – moderate condition, Section 141 – Stage 2, mandatory compliance – severe condition and Section 142 – Stage 3, mandatory compliance – critical condition.

Motion: O'Dell  
Second: Slechta  
Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal  
Nays: None  
Approved: 7-0

ORDINANCE NO. 2024-021

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS DELETING SECTIONS 25-140 THROUGH 25-142 OF ARTICLE V, DROUGHT CONTINGENCY PLAN OF THE GRAPEVINE CODE OF ORDINANCES, PROVIDING A SAVINGS CLAUSE; AND PROVIDING AN EFFECTIVE DATE

ADJOURNMENT

Motion was made to adjourn the meeting at 8:07 p.m.

Motion: Coy  
Second: Slechta  
Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal  
Nays: None  
Approved: 7-0

Passed and approved by the City Council of the City of Grapevine, Texas on this the 19th day of March, 2024.

APPROVED:

\_\_\_\_\_  
William D. Tate  
Mayor

ATTEST:

\_\_\_\_\_  
Tara Brooks  
City Secretary



CITY OF GRAPEVINE, TEXAS  
REGULAR JOINT MEETING OF CITY COUNCIL AND  
PLANNING AND ZONING COMMISSION MINUTES  
TUESDAY, FEBRUARY 20, 2024

GRAPEVINE CITY HALL, COUNCIL CHAMBERS  
200 SOUTH MAIN STREET  
GRAPEVINE, TEXAS

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5:45 p.m. Special Meeting – Planning and Zoning Conference Room  
 7:00 p.m. Briefing Session – Planning and Zoning Conference Room  
 7:30 p.m. Joint Regular Meeting – City Council Chambers

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The Planning and Zoning Commission of the City of Grapevine, Texas met in Regular Session on this the 20<sup>TH</sup> day of February 2024 in the Planning and Zoning Conference Room with the following members present-to-wit:

Monica Hotelling	Vice Chair
Dennis Luers	Member
Beth Tiggelaar	Member
David Hallberg	Member
Jason Parker	Member
Traci Hutton	Member
Mark Assaad	Alternate
Ben Johnson	Alternate

With Larry Oliver absent, constituting a quorum. Sharron Rogers was present as a Council representative. The following City Staff were present:

Matthew Boyle	City Attorney
Erica Marohnic	Planning Services Director
Albert Triplett	Planner II
Natasha Gale	Planner I
Lindsay Carey	Planning Technician

**SPECIAL MEETING CALL TO ORDER: 5:45 p.m.** - Planning and Zoning Commission Conference Room

**WORKSHOP**

1. Hold a discussion and provide staff direction regarding possible amendments to the Comprehensive Zoning Ordinance (Ordinance No. 82-73) same being Appendix “D” of the Code of Ordinances, as follows: amend Subsection A.3, Noise Regulation of

Section 55, Performance Standards by adding an exception for whole-home emergency generators during testing periods.

*The Commission discussed this item.*

*The Commission directed staff to draft language for residential standby generators with conditions for testing limits.*

2. Hold a discussion and provide staff direction regarding possible amendments to the Comprehensive Zoning Ordinance (Ordinance No. 82-73) same being Appendix “D” of the Code of Ordinances, as follows: create and amend definitions in Section 12, Definitions; and create zoning districts, Condominium District and Brownstone District; establish bulk, dimensional, and setback standards relative to condominiums and brownstones, and Section 41B, Transit District Overlay.

*The Commission discussed this item.*

*The Commission directed staff to review language on efficiency units and living and work spaces.*

3. Hold a discussion and provide staff direction with proposed amendments to the Comprehensive Master Plan (1974-1994, updated 1987) of the City of Grapevine Ordinance (87-11).

*The Commission discussed this item.*

*Staff presented an updated assessment area map and a table for the Central Northeast assessment area. The Commission discussed potential changes to the Central Northwest assessment area.*

### **Adjournment**

Motion was made to adjourn the meeting at **7:00 p.m.**

PASSED AND APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF GRAPEVINE, TEXAS ON THIS THE 19<sup>th</sup> DAY OF MARCH 2024.

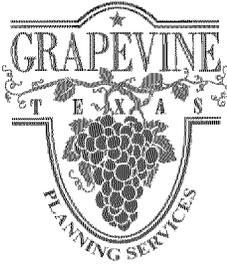
APPROVED:

\_\_\_\_\_  
CHAIRMAN

ATTEST:

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PLANNING TECHNICIAN



CITY OF GRAPEVINE, TEXAS  
REGULAR JOINT MEETING OF CITY COUNCIL AND  
PLANNING AND ZONING COMMISSION MINUTES  
TUESDAY, FEBRUARY 20, 2024

GRAPEVINE CITY HALL, COUNCIL CHAMBERS  
200 SOUTH MAIN STREET  
GRAPEVINE, TEXAS

---

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Dennis Luers	Member
Beth Tiggelaar	Member
David Hallberg	Member
Jason Parker	Member
Traci Hutton	Member
Mark Assaad	Alternate
Ben Johnson	Alternate

With Larry Oliver absent, constituting a quorum. Sharron Rogers was present as council representative. The following City Staff were present:

Matthew Boyle	City Attorney
Erica Marohnic	Planning Services Director
Albert Triplett	Planner II
Natasha Gale	Planner I
Lindsay Carey	Planning Technician

**SPECIAL MEETING CALL TO ORDER: 5:45 p.m.** - Planning and Zoning Commission Conference Room

**WORKSHOP**

1. Hold a discussion and provide staff direction regarding possible amendments to the Comprehensive Zoning Ordinance (Ordinance No. 82-73) same being Appendix “D” of the Code of Ordinances, as follows: amend Subsection A.3, Noise Regulation of

Section 55, Performance Standards by adding an exception for whole-home emergency generators during testing periods.

2. Hold a discussion and provide staff direction regarding possible amendments to the Comprehensive Zoning Ordinance (Ordinance No. 82-73) same being Appendix “D” of the Code of Ordinances, as follows: create and amend definitions in Section 12, Definitions; and create zoning districts, Condominium District and Brownstone District; establish bulk, dimensional, and setback standards relative to condominiums and brownstones, and Section 41B, Transit District Overlay.
3. Hold a discussion and provide staff direction with proposed amendments to the Comprehensive Master Plan (1974-1994, updated 1987) of the City of Grapevine Ordinance (87-11).

**REGULAR MEETING CALL TO ORDER: 7:00 p.m.** - Planning and Zoning Commission Conference Room

**BRIEFING SESSION**

4. Conduct a briefing session to discuss all items scheduled on tonight’s agenda. No action will be taken. Each item will be considered during the Regular Session, which immediately follows the Joint Public Hearings.

Briefing Session adjourned at **7:25 p.m.**

**JOINT MEETING WITH CITY COUNCIL: 7:30 p.m.** – City Council Chambers

5. Invocation and Pledge of Allegiance: Council Member Sharron Rogers

**JOINT PUBLIC HEARINGS**

6. Conditional Use Permit **CU23-32** (Stellini Trattoria) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Mitchell Wegner requesting a conditional use permit to amend the previously approved site plan CU19-10 (Ordinance No. 2019-027) to allow for the possession, storage, retail sales, and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages) in conjunction with a restaurant, and the possession, storage, retail sales and off-premise consumption of alcoholic beverages (beer and wine only) in conjunction with a market. This request is specifically to revise the floor plan by adding restaurant seating to the former market area. The subject property is located at 400 East Dallas Road, Suite 100 and is currently zoned “CBD”, Central Business District.

*The Commission and Council received a report from staff and held the public hearing.*

7. Conditional Use Permit **CU24-04** (Portillo's) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by HDGroup, Inc requesting a conditional use permit for a planned commercial center to allow for the possession, storage, retail sales of on- and off-premise consumption of alcoholic beverages (beer and wine only) in conjunction with a 6,750 square foot restaurant with a drive-through, outdoor dining, and outdoor speakers. The subject property is located at 460 West State Highway 114 and is currently zoned "HC", Highway Commercial District.

*The Commission and Council received a report from staff and held the public hearing. Applicant, Amanda Schwerin, presented and answered questions.*

8. Zoning Change Application **Z23-08** and Conditional Use Permit **CU23-35** (Stuart's Paint & Body) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Oweis Enterprises, LLC requesting to rezone 2.4 acres from "CC", Community Commercial District to "LI", Light Industrial District. The applicant is also requesting a conditional use permit to develop an automotive repair body shop with outdoor vehicle storage and an 18-foot pole sign. The subject property is located at 2051 State Highway 121.

*The Commission and Council received a report from staff and held the public hearing. Applicant, Omar Oweis, managing partner, and Jared Garret, CEO of Quality Collision, presented and answered questions.*

Planning and Zoning Commission recessed to the Planning and Zoning Commission Conference Room, Second Floor, to consider published agenda items.

**REGULAR SESSION:** *(Immediately following the Joint Public Hearings)* Planning and Zoning Conference Room

Vice Chair Hotelling called the regular session to order at **7:59 p.m.**

#### 9. CITIZEN COMMENTS

*No one spoke during citizen comments.*

#### OLD BUSINESS

None.

#### NEW BUSINESS

10. Conditional Use Permit **CU23-32** (Stellini Trattoria) – Consider the application and

make a recommendation to City Council.

*The Commission discussed this item.*

Motion was made to **approve** text amendment **CU23-32** (400 East Dallas Road, Suite 100):

Motion: Luers

Second: Assaad

Ayes: Hutton, Hotelling, Tiggelaar, Hallberg, Parker

Nays: None

Approved: 7 - 0

11. Conditional Use Permit **CU24-04** (Portillo's) – Consider the application and make a recommendation to City Council.

*The Commission discussed this item.*

Motion was made to **approve** text amendment **CU24-04** (460 West State Highway 114):

Motion: Hallberg

Second: Hutton

Ayes: Hotelling, Tiggelaar, Hallberg, Parker, Luers

Nays: None

Approved: 7 – 0

12. Zone Change request **Z23-08** (Stuart's Paint & Body) – Consider the application and make a recommendation to City Council.

*The Commission discussed this item.*

Motion was made to **deny** zone change request **Z23-08** (2051 State Highway 121)

Motion: Hutton

Second: Tiggelaar

Ayes: Parker, Luers, Hotelling

Nays: Hallberg, Assaad

Approved: 5 – 2

13. Conditional Use request **CU23-35** (Stuart's Paint & Body) - Consider the application and make a recommendation to City Council.

*The Commission discussed this item.*

Motion was made to **deny** Conditional Use request **CU23-35** (2051 State Highway 121)

Motion: Parker  
Second: Hutton  
Ayes: Hotelling, Luers, Tiggelaar  
Nays: Hallberg, Assaad  
Approved: 5 – 2

14. Consider the minutes of the January 16, 2024 Regular Planning and Zoning Commission meeting.

*The Commission discussed this item.*

Motion was made to **approve** the minutes of the January 16, 2024 Planning and Zoning Commission meeting.

Motion: Hutton  
Second: Tiggelaar  
Ayes: Parker, Hotelling, Assaad, Hallberg, Luers  
Nays: None  
Abstained: None  
Approved: 7 – 0

**Adjournment**

Motion was made to adjourn the meeting at **8:04 p.m.**  
Motion: Assaad  
Second: Parker  
Ayes: Hotelling, Hutton, Luers, Hallberg, Tiggelaar  
Nays: None  
Approved: 7 - 0

PASSED AND APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF GRAPEVINE, TEXAS ON THIS THE 19<sup>th</sup> DAY OF MARCH 2024.

APPROVED:

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CHAIRMAN

ATTEST:

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PLANNING TECHNICIAN