



CITY OF GRAPEVINE, TEXAS
REGULAR JOINT MEETING OF
CITY COUNCIL AND PLANNING AND ZONING COMMISSION
TUESDAY, OCTOBER 15, 2019

GRAPEVINE CITY HALL, COUNCIL CHAMBERS
200 SOUTH MAIN STREET
GRAPEVINE, TEXAS

6:15 p.m.	Dinner – City Council Conference Room
6:45 p.m.	Call to Order of City Council Meeting – City Council Chambers
6:45 p.m.	Executive Session – City Council Conference Room
7:30 p.m.	Joint Regular Meeting – City Council Chambers

CALL TO ORDER: 6:45 p.m. – City Council Chambers

EXECUTIVE SESSION:

1. City Council to recess to the City Council Conference Room to conduct a closed session relative to:
 - A. Real property relative to deliberation to the purchase, exchange, lease, sale or value of real property (City facilities, Public Works, and the 185 acres) pursuant to Section 551.072, Texas Government Code.
 - B. Conference with City Manager and Staff to discuss and deliberate commercial and financial information received from business prospects the City seeks to have locate, stay, or expand in the City; deliberate the offer of a financial or other incentive; with which businesses the City is conducting economic development negotiations pursuant to Section 551.087, Texas Government Code.

City Council to reconvene in open session in the City Council Chambers and take any necessary action relative to items discussed in Executive Session.

REGULAR MEETING: 7:30 p.m. – City Council Chambers

2. Invocation and Pledge of Allegiance: Commissioner Beth Tiggelaar

JOINT PUBLIC HEARINGS

3. Historic Landmark District **HL19-01** (619 South Church Street) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by the City of Grapevine requesting a designation as a historic landmark sub-district. The subject property is currently zoned “R-7.5” Single Family District.

4. Zoning Change Application **Z19-04**, Conditional Use Permit **CU19-28**, Planned Development Overlay **PD19-01** (Jefferson Shady Brook) and **Preliminary Plat** of Lot 1, Block 1, Jefferson Shady Brook – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by JPI Real Estate Acquisition requesting to rezone approximately 15 acres from “R-MH” Manufactured Home District and “R-MF-2” Multifamily District to “R-MF” Multifamily District for the development of a multifamily complex; a conditional use permit to exceed density, reduce the front yard setback, increase height, and reduce parking; and a planned development overlay to deviate from, but not limited to, reducing the side yard setback, increasing the overall percentage of units between 600-750 square feet, increasing maximum building length, and reducing building separation. The subject property is located at 427 and 431 North Scribner Street.
5. Conditional Use Permit **CU19-30** (Crush It Sports) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Masterplan requesting a conditional use permit to amend the previously approved site plan of CU94-22 (Ordinance No. 1994-80) for a planned commercial center allowing the possession, storage, retail sale and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages), specifically to revise the building elevations, allow outdoor speakers, outside dining, golf simulators and a forty-foot pole sign in conjunction with a restaurant. The subject property is located at 401 West State Highway 114 and is currently zoned “CC” Community Commercial District.

Planning and Zoning Commission to recess to the Planning and Zoning Commission Conference Room, Second Floor, to consider published agenda items.

City Council to remain in session in the Council Chambers to consider published business.

CITIZEN COMMENTS

6. Any person who is not scheduled on the agenda may address the City Council under Citizen Comments by completing a Citizen Appearance Request form with the City Secretary. In accordance with the Texas Open Meetings Act, the City Council is restricted in discussing or taking any action during Citizen Comments.

NEW BUSINESS

7. Consider **Resolution No. 2019-030** authorizing the Local Project Advance Funding Agreement with Texas Department of Transportation to establish funding participation levels for State Highway 26 Green Ribbon Project - Phase VI and take any necessary action.
8. Consider the award of a Landscape Architecture contract for landscape plan and construction documents for the State Highway 26 Green Ribbon Project - Phase

VI to Schrickel Rollins and Associates (dba Schrickel Rollins | Parkhill, Smith & Cooper), **Ordinance No. 2019-063** appropriating and transferring funds, and take any necessary action.

9. Consider a contract for a Guaranteed Maximum Price with Byrne Construction Services for the construction of Fire Stations 2 and 3, **Ordinance No. 2019-064** appropriating funds, and take any necessary action.

CONSENT AGENDA

Consent items are deemed to need little Council deliberation and will be acted upon as one business item. Any member of the City Council or member of the audience may request that an item be withdrawn from the consent agenda and placed before the City Council for full discussion. Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations.

10. Consider the purchase and installation of LED Christmas lights on South Main Street between Dallas Road and State Highway 114 from IlluminArt Inc. Convention and Visitors Bureau Director and Parks and Recreation Director recommend approval.
11. Consider the purchase of fiberglass Christmas decorations from Arnett Marketing, LLC. Convention and Visitors Bureau Director and Parks and Recreation Director recommend approval.
12. Consider the renewal of an annual contract for enterprise sourcing services with Ion Wave Technologies, Inc. Chief Financial Officer recommends approval.
13. Consider the renewal of annual contracts for post-65 retiree health insurance with Aetna Inc. and Group Administrative Concepts. Chief Financial Officer recommends approval.
14. Consider **Ordinance No. 2019-065** appropriating and transferring funds to Public Agencies Retirement Services (PARS) for the purpose of funding retiree healthcare through the City's Other Post-Employment Benefits Trust. Chief Financial Officer recommends approval.
15. Consider the renewal of annual contracts for railroad liability and physical damage insurance coverage with Westchester Insurance Company and RLI Insurance Company. Chief Financial Officer recommends approval.
16. Consider renewal of an Interlocal Agreement for the Metroport Teen Court program with the Cities of Colleyville, Southlake and Keller. Chief Financial Officer recommends approval.

17. Consider the renewal of an annual Enterprise License Agreement for Geographic Information Systems software with Esri, Inc. Chief Technology Officer recommends approval.
18. Consider the purchase and installation of playground equipment for Parkwood Park from Playground Solutions of Texas, Inc. Parks and Recreation Director recommends approval.
19. Consider **Ordinance No. 2019-046** amending the Grapevine Code of Ordinances Chapter 23 Traffic, Article V Parking, prohibiting stopping, standing, and parking restrictions on the south side of East Worth Street from Austin Street to Ruth Street. Public Works Director recommends approval. *This item was tabled from the August 2, 2019 City Council Meeting.*
20. Consider Amendment No. 1 to the contract for engineering services for the Wastewater Treatment Plant Ultraviolet Light Disinfection Improvement Project with Parkhill, Smith & Cooper, Inc. and **Ordinance No. 2019-066** appropriating and transferring funds. Public Works Director recommends approval.
21. Consider **Resolution No. 2019-031** authorizing the Local Project Advance Funding Agreement with the Texas Department of Transportation to establish funding participation levels for the Highway Safety Improvement Program. Public Works Director recommends approval.
22. Consider the award of an informal request for quote for a pump replacement valve from Legacy Contracting. Public Works Director recommends approval.
23. Consider the minutes of the October 1, 2019 Regular City Council meeting. City Secretary recommends approval.

Pursuant to the Texas Open Meetings Act, Texas Government Code, Chapter 551.001 et seq, one or more of the above items may be considered in Executive Session closed to the public. Any decision held on such matter will be taken or conducted in open session following conclusion of the executive session.

PLANNING AND ZONING COMMISSION RECOMMENDATIONS

24. Historic Landmark District **HL19-01** (619 South Church Street) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2019-067**, if applicable, and take any necessary action.
25. Zoning Change Application **Z19-04** (Jefferson Shady Brook) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2019-068**, if applicable, and take any necessary action.

26. Conditional Use Permit **CU19-28** (Jefferson Shady Brook) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2019-069**, if applicable, and take any necessary action.
27. Planned Development Overlay **PD19-01** (Jefferson Shady Brook) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2019-070**, if applicable, and take any necessary action.
28. **Preliminary Plat** of Lot 1, Block 1, Jefferson Shady Brook – Consider the recommendation of the Planning and Zoning Commission and take any necessary action.
29. Conditional Use Permit **CU19-30** (Crush It Sports) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2019-071**, if applicable, and take any necessary action.

ADJOURNMENT

In accordance with the Open Meetings Law, Texas Government Code, Chapter 551, I hereby certify that the above agenda was posted on the official bulletin boards at Grapevine City Hall, 200 South Main Street and on the City's website on October 11, 2019 by 5:00 p.m.

Tara Brooks

Tara Brooks, TRMC, CRM
City Secretary



If you plan to attend this public meeting and you have a disability that requires special arrangements at the meeting, please contact the City Secretary's Office at 817.410.3182 at least 24 hours in advance of the meeting. Reasonable accommodations will be made to assist your needs.

This meeting can be adjourned and reconvened, if necessary, the following regular business day.



CITY OF GRAPEVINE, TEXAS
REGULAR PLANNING AND ZONING COMMISSION MEETING
TUESDAY, OCTOBER 15, 2019

GRAPEVINE CITY HALL, SECOND FLOOR
200 SOUTH MAIN STREET
GRAPEVINE, TEXAS 76051

-
- 7:00 p.m. Briefing Session - Planning and Zoning Commission Conference Room
7:30 p.m. Joint Meeting with City Council - City Council Chambers
7:30 p.m. Regular Session - Planning and Zoning Commission Conference Room
-

CALL TO ORDER: 7:00 p.m. - Planning and Zoning Commission Conference Room

BRIEFING SESSION

1. Planning and Zoning Commission to conduct a briefing session to discuss all items scheduled on tonight's agenda. No action will be taken. Each item will be considered during the Regular Session which immediately follows the Joint Public Hearings.

JOINT MEETING WITH CITY COUNCIL: 7:30 p.m. - City Council Chambers

2. Invocation and Pledge of Allegiance: Commissioner Beth Tiggelaar

JOINT PUBLIC HEARINGS

3. Historic Landmark District **HL19-01** (619 South Church Street) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by the City of Grapevine requesting a designation as a historic landmark sub-district. The subject property is currently zoned “R-7.5” Single Family District.
4. Zoning Change Application **Z19-04**, Conditional Use Permit **CU19-28**, Planned Development Overlay **PD19-01** (Jefferson Shady Brook) and **Preliminary Plat** of Lot 1, Block 1, Jefferson Shady Brook – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by JPI Real Estate Acquisition requesting to rezone approximately 15 acres from “R-MH” Manufactured Home District and “R-MF-2” Multifamily District to “R-MF” Multifamily District for the development of a multifamily complex; a conditional use permit to exceed density, reduce the front yard setback, increase height, and reduce parking; and a planned development overlay to deviate from, but not limited to, reducing the side yard setback, increasing the overall percentage of units between 600-750 square feet, increasing maximum building length, and reducing building separation. The subject property is located at 427 and 431 North Scribner Street.

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Planning and Zoning Commission to recess to Planning and Zoning Commission Conference Room, Second Floor, to consider published agenda items.

REGULAR SESSION: 7:30 p.m. (Immediately following Joint Public Hearings) – Planning and Zoning Commission Conference Room

NEW BUSINESS

6. Historic Landmark District **HL19-01** (619 South Church Street) – Consider the application and make a recommendation to City Council.
7. Zoning Change Application **Z19-04** (Jefferson Shady Brook) – Consider the application and make a recommendation to City Council.
8. Conditional Use Permit **CU19-28** (Jefferson Shady Brook) – Consider the application and make a recommendation to City Council.
9. Planned Development Overlay **PD19-01** (Jefferson Shady Brook) – Consider the application and make a recommendation to City Council.
10. **Preliminary Plat** of Lot 1, Block 1, Jefferson Shady Brook – Consider the application and make a recommendation to City Council.
11. Conditional Use Permit **CU19-30** (Crush It Sports) – Consider the application and make a recommendation to City Council.
12. Consider the minutes of the September 17, 2019 Regular Planning and Zoning Commission meeting.

NOTE: Following the adjournment of the Planning and Zoning Commission meeting, a representative will present the recommendations of the Planning and Zoning Commission to the City Council for consideration in the City Council Chambers.

ADJOURNMENT

In accordance with the Open Meetings Law, Texas Government Code, Chapter 551, I hereby certify that the above agenda was posted on the official bulletin boards at Grapevine City Hall, 200 South Main Street and on the City's website on October 11, 2019 by 5:00 p.m.

Tara Brooks

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City Secretary



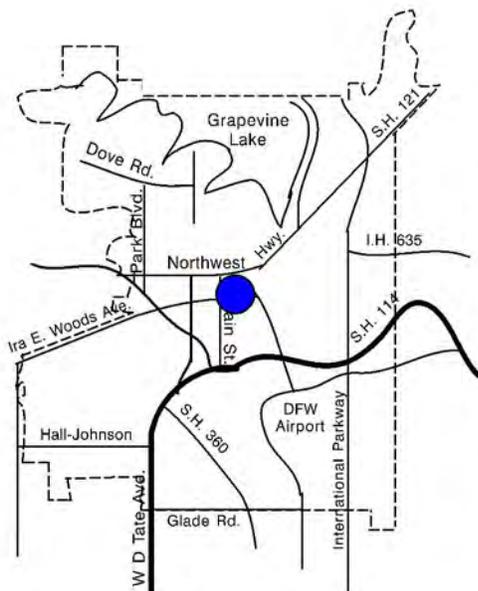
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TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER ^{BZ}
J. SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: OCTOBER 15, 2019

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF
HISTORIC LANDMARK SUBDISTRICT HL19-01



APPLICANT: City of Grapevine

PROPERTY LOCATION AND SIZE:

The subject property is located at 619 South Church Street and platted as Lots 3C & 6, Block 14, City of Grapevine.

REQUESTED HISTORIC LANDMARK SUBDISTRICT AND COMMENTS:

The applicant is requesting a Historic Landmark Subdistrict designation for property located at 619 South Church Street and platted as Lots 3C & 6, Block 14, City of Grapevine.

The Historic Preservation Commission, at their May 22, 2019 meeting, adopted the preservation criteria for the subject property. No plans have been approved for this property.

The property contains a vacant house and was recently purchased by the Convention & Visitors Bureau for the purpose of extending the Ted R. Ware Plaza and to create the Grapevine International Outreach Museum to highlight and promote Grapevine's international outreach.

The 1947 Ruby Tillery Moore House is a minimal traditional cottage built in 1947 to serve as the home of Deward R. and Ruby Moore. The house is symmetrical in plan with a small projecting gable covering the front entrance; it contains four rooms and an enclosed porch across the back of the house. The house was continuously lived in by its owner Ruby Moore for 74 years from 1947 until her death. Through the years Miss Ruby developed an eclectic assemblage of plants and figurines.

PRESENT ZONING AND USE:

The property is currently zoned "R-7.5" Single Family Residential.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject property and the surrounding properties to the north, south, east, and west were zoned "R-1" Single Family District prior to the 1984 City Rezoning.

SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH: "R-7.5" Single Family Residential – residential structures
- SOUTH: "GU" Governmental Use – Settlement to the City Museum
- EAST: "GU" Governmental Use – Convention and Visitors Bureau
- WEST: "R-7.5" Single Family Residential – residential structures

AIRPORT IMPACT:

The subject tract is not located within any of the noise zones as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map.

MASTER PLAN APPLICATION:

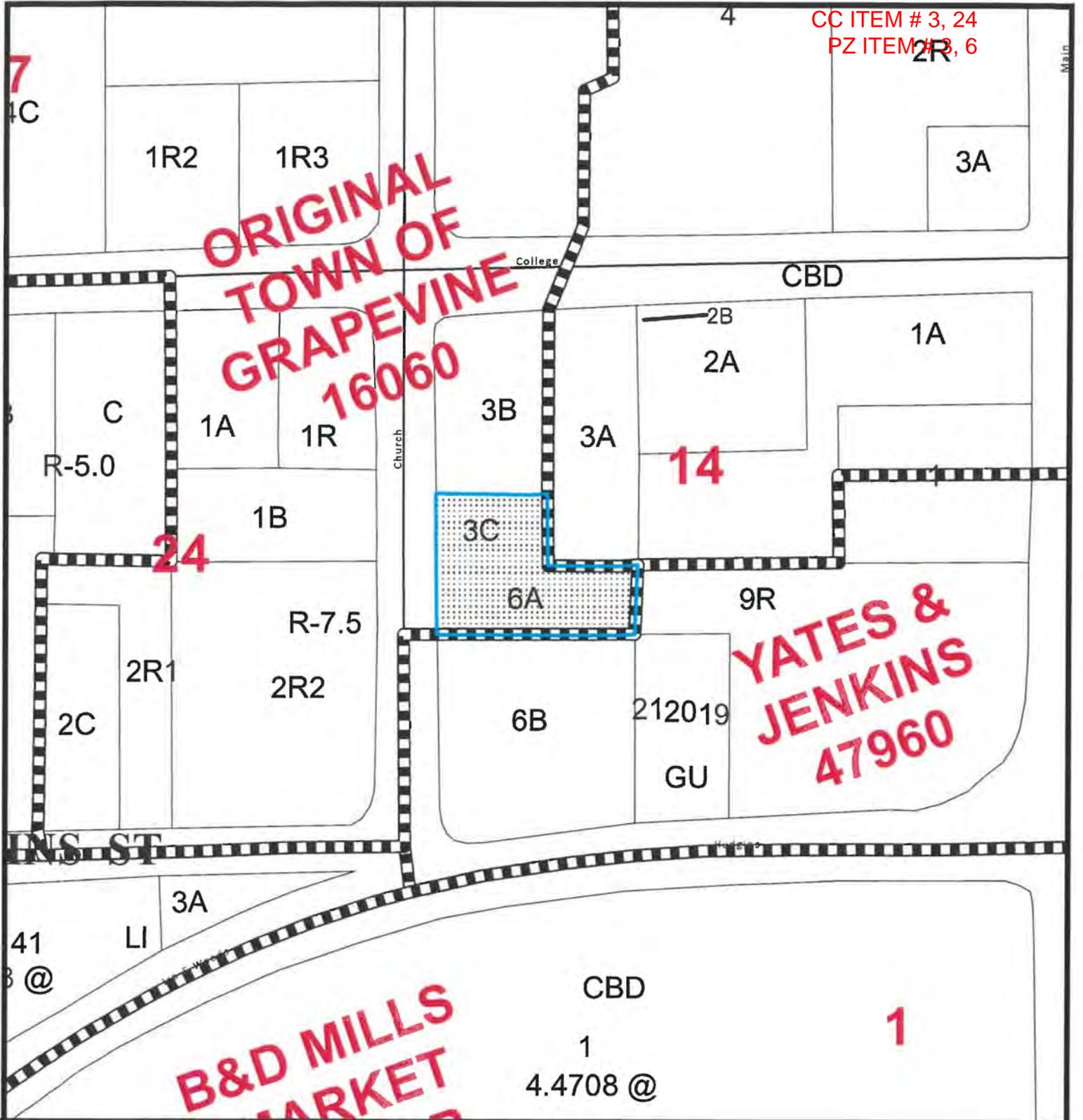
The Master Plan designates the subject property as a "RL" Residential Low Density land use. The applicant's proposal is in compliance with the Master Plan.

CC ITEM # 3, 24
PZ ITEM # 3, 6

**ORIGINAL
TOWN OF
GRAPEVINE
16060**

**YATES &
JENKINS
47960**

**B&D MILLS
MARKET**



0 50 100 150 200 Feet



**HL19-01
619 South Church Street**

Date Prepared: 9/27/2019

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

4/24/19

CITY OF GRAPEVINE

HISTORIC LANDMARK SUBDISTRICT APPLICATION

1. APPLICANT/AGENT NAME DAVID KLUMPIN, HISTORIC PRESERVATION OFFICER
 COMPANY NAME CITY OF GRAPEVINE, HISTORIC PRESERVATION
 ADDRESS 636 S. MAIN
 CITY/STATE/ZIP GRAPEVINE, TX 76051
 WORK PHONE 817.410.3197 FAX NUMBER n/a
2. APPLICANT'S INTEREST IN SUBJECT PROPERTY REPRESENT OWNER
3. PROPERTY OWNER(S) NAME CITY GRAPEVINE CVB
 ADDRESS 636 S. MAIN ST
 CITY/STATE/ZIP GV, TX 76051
 WORK PHONE 817.410.3185 FAX NUMBER _____
4. ADDRESS OF PROPERTY FOR HISTORIC LANDMARK DESIGNATION
619 SOUTH CHURCH ST
 LEGAL DESCRIPTION: LOT 3166A BLOCK 14, ADDITION GRAPEVINE CITY OF
 SIZE OF SUBJECT PROPERTY _____ ACRES 9,240 SQUARE FEET
 METES & BOUNDS MUST BE DESCRIBED ON 8 1/2" X 11" SHEET
5. PRESENT ZONING CLASSIFICATION R 7.5
6. PRESENT USE OF PROPERTY GOVERNMENT USE

7. SIGNATURE TO AUTHORIZE A ZONE CHANGE REQUEST AND PLACING A HISTORICAL LANDMARK SUBDISTRICT REQUEST SIGN ON THE SUBJECT PROPERTY.

THE DEVELOPMENT SERVICES STAFF WILL DETERMINE THE AGENDA FOR EACH OF THE PUBLIC HEARING DATES. BASED ON THE SIZE OF THE AGENDA, YOUR APPLICATION MAY BE RESCHEDULED TO A LATER DATE.

APPLICANT (PRINT) DAVID KLEWERK, HPO

APPLICANT SIGNATURE Dan Fleming

OWNER (PRINT) CITY of GRAPEVINE - CVB

OWNER SIGNATURE Dan Fleming for COG

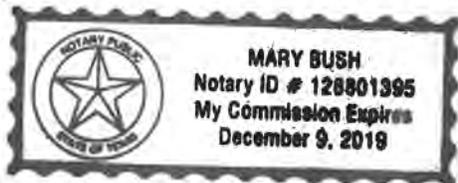
The State of TEXAS

County of TARRANT

Before me Mary Bush
DAVID KLEMPAU on this day personally appeared
_____ known to me (or proved to me on the oath of
_____ or through CITY EMPLOYEE (description of
identity card or other document) to be the person whose name is subscribed to the foregoing instrument
and acknowledged to me that he executed the same for the purposes and consideration therein
expressed.

Given under my hand and seal of office this 24 day of APRIL, A.D. 2019.

SEAL



Mary Bush
Notary Signature

The State of _____

County of _____

Before me _____ on this day personally appeared
_____ known to me (or proved to me on the oath of
_____ or through _____ (description of
identity card or other document) to be the person whose name is subscribed to the foregoing instrument
and acknowledged to me that he executed the same for the purposes and consideration therein
expressed.

Given under my hand and seal of office this _____ day of _____, A.D. _____.

SEAL

Notary Signature

Design Guidelines

**Ruby Tillery Moore House
619 South Church Street
Grapevine, Texas**

**Grapevine Township Revitalization Project, Inc.
City of Grapevine
636 South Main Street
Grapevine, Texas 76051**

May 22, 2019

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- Exterior Lighting

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- Additions to Historic Buildings

Preface



619 South Church Street, photo 2002

This minimal traditional cottage was built in 1947 to serve as the home of Deward R and Ruby Tillery Moore. The land on which the house stands was carved from larger lot that included the historic Keeling House, then owned by D. R. Moore who lived next door in the Keeling House.

A gable roof extends over the entire house. Roofing is asphalt shingles and 1940s era manufactured siding covers the exterior of the house. The house is 1,189 square feet in size and features a living room, two bedrooms, kitchen and bath. An enclosed porch extends across the length of the back of the house. The front door has small porch roof supported by wrought iron columns and is flanked by a tall 6 over 6 wood window on each side. The Tax card indicates the home was built utilizing Cameron building products.

A large chicken house was located in the rear corner of the lot. Through the years Ruby developed the lot into a verdant oasis with many pass along plants, punctuated with decorative statues and animal figurines.

This house was built in 1947 for the Deward R. and Ruby Tillery Moore family. Ruby was the daughter of Vander and Beulah Tillery and was a life-long resident of Grapevine. She was born on August 16, 1926, and passed away on July 24, 2018, at the age of 91. She had two children and became a single mom to Kathy Moore of Fort Worth and Terry Moore of San Antonio. She was preceded in death by 8 siblings.

Ruby worked in the cafeteria at Grapevine Middle School and made the best, most memorable hot rolls. In her later years, Ruby was an employee of City Drug store. She was always smiling and loved to tell stories. She was well liked and loved by the community. Ruby was a member of First Baptist Church and several women's classes and organizations.

Ruby's son, Terry Moore, was an outstanding athlete at Grapevine High School. In 1969, Terry was named to the All-West Texas Academic High School Football Team selected by the West Texas Chamber of Commerce. The selection was made on the basis of academic standing, athletic ability, character, citizenship and leadership. To be eligible for nomination, Terry had to have an overall grade average of at least 88 for all subjects at the end of his junior year and must have made the All-District Team in his school district. In 1964, as a 7th grade student, he was the best speller at Grapevine Junior High.

SITE

Retain the historic relationships between buildings, landscaping features and open space. Avoid rearranging the site by moving or removing buildings and site features, such as walks, drives and fences that help define the residence's historic value.

SETBACKS

Building setbacks should be consistent with adjacent buildings or with the style of the building. Setbacks are an important ingredient in creating an attractive streetscape. Buildings should be set back to a line that is consistent with their neighbors and land use. For example, a residential setback should retain the setback of adjacent and nearby structures, with landscaping along the street right-of-way.

Residential buildings with a commercial use in residential areas should be set back in a manner consistent with setbacks of neighboring or similar residential structures.

Maintain building orientation pattern, with the front facade facing the street. Maintain spacing patterns between buildings.

DRIVEWAYS, PARKING LOTS AND VACANT SITES

Driveways should be located perpendicular to the street; no circular drives shall be allowed (unless proven with historic documentation) in front or corner side yard, so that the character of the landscaped yard can be reinforced.

New parking lots for commercial uses should not be located adjacent to sidewalks in the district.

Off-street parking lots should not be allowed to interrupt the continuity of landscaped front or corner side yards. This is important to both the preservation of historic character, and to the strengthening of the residential district.

Screen existing parking lots from streets and pedestrian areas in the Historic District. Existing parking lots located adjacent to streets and sidewalks may be screened to the height of car hoods. This will provide a certain level of continuity of the building façade line; it will screen unsightly views; and it will provide a level of security by allowing views to and from the sidewalk.

FENCES

Historically, fences around historic houses defined yards and the boundary around property and gardens. Wood picket fences, wood rail fences and barbed wire or decorative wire fences were the common fence types in Grapevine. Traditionally, picket fences surrounded the front of the house while rail and wire fences surrounded the agricultural portions of the property. Maintain historic fences.

New fences. Simple wood picket fences, wood and wire and wrought iron fences are appropriate. Avoid chain-link fences, privacy fences and concrete block fences for the street sides of property. Wood privacy fences may be allowed when installed in the rear yard and behind the front façade of a property. Utilitarian/privacy fences should not be installed in front of a historic building or beyond the line of the front façade of a historic building.

Replacing fences. If replacement is required due to deterioration, remove only those portions of historic fences that are damaged beyond repair and replace in-kind, matching the original in material, design and placement. If replacement is necessary for non-historic fences, or new fences are proposed, locate and design the fence in such a way that will compliment the historic boundary of the property without concealing the historic character of the property.

SERVICE AND MECHANICAL AREAS

Service and mechanical areas and equipment should be screened from the street and other pedestrian areas.

All garbage and equipment storage areas should be screened from the street.

Mechanical equipment, including satellite dishes, shall not be located in front or corner side yards or should be set back from the edges of roofs, and screened so that they are not visible to pedestrians and do not detract from the historic character of buildings.

BUILDING FABRIC

PRESERVATION

Preserve, stabilize, and restore original building form, ornament and materials.

Any missing or severely deteriorated elements may be replaced with replicas of the original. Ensure that roof, window, porch and cornice treatments are preserved, or when preservation is not possible duplicate the original building element.

When rehabilitating, remove non-historic alterations.

Often, "modern" renovations conceal the original facade details. If not, the original style may be recreated through the use of historic photographs.

Where replication of original elements is not possible, a new design consistent with the original style of the building may be used.

Reconstruction of building elements should reflect the size, scale, material and level of detail of the original design.

Preserve older renovations that have achieved historic significance. Older structures or additions may have, at some time, been renovated with such care and skill that the renovation itself is worthy of preservation. Usually, such renovations may date from before 1940.

EXTERIOR FINISHES

Original wood finishes should be maintained and painted or, when necessary, replaced in kind. Modern synthetic siding materials such as vinyl or metal bear little resemblance to historic siding materials. The application of such modern synthetic materials often involves the removal of original decorative elements such as cornice, corner boards, brackets, window and door trim, etc. New synthetic siding shall not be installed; removal of existing such materials is not required, but strongly encouraged, to restore historic patina, finish and appearance.

Original asbestos siding should be maintained and painted, or when necessary, replaced with synthetic siding to match the existing asbestos siding. The removal of asbestos siding over existing wood siding is not required, but strongly encouraged, to restore historic patina, finish and appearance.

Original masonry surfaces should be maintained and not be painted, unless severe deterioration of the brick or stone can be shown to require painting. If the color or texture of replacement brick or stone cannot be matched with existing, painting may be an appropriate treatment.

Paint colors should be complimentary to each other and the overall character of the house. When possible, research the original paint color and finishes of the building's historic period; the right colors respect the historic building.

The Historic Preservation Commission shall adopt, as necessary, a paint palette(s) appropriate to the district's character, which may be proposed and approved through the Minor Exterior Alteration application process. Any colors proposed outside the adopted palette may be reviewed by the Commission in the regular Certificate of Appropriateness process.

WINDOWS

Original window framing and lites (panes of glass) configurations should be preserved and maintained or replaced in kind.

When replacement is necessary, do so within existing historic opening. Replacement of non-original windows should consider the use of historically appropriate wood windows. Use same sash size to avoid filling in or enlarging the original opening. Clear or very slightly tinted window glass may be used. No reflective or heavily tinted glass shall be used.

Should the owner wish to install security bars, they should be installed on the interior of windows and doors.

Storm windows. The use of interior storm windows is encouraged. Storm windows are available which can be installed on the interior of windows. This helps to preserve the exterior historic character of the building.

Should storm windows need to be installed on the exterior of the historic windows, storm windows constructed of wood and configured to match the historic sashes (i.e. one over one sashes) are recommended.

If metal storm windows are installed, paint to blend with surrounding elements.

EMBELLISHMENTS

AWNINGS-CANOPIES

New awnings and canopies should not be installed above windows or doors.

EXTERIOR LIGHTING

Lighting is an important element in residential areas. Fixtures should be consistent with the

historic character of the house.

Appropriate incandescent light fixtures to the style of the district should be used.

Avoid exposed lighting of any kind unless part of a historic fixture.

NEW BUILDING CONSTRUCTION

INFILL

The Secretary of the Interior's guidelines for new buildings in historic districts encourage similarity of form and materials, but not actual replication. New construction proposals and the rehabilitation of non-historic buildings will be reviewed based on these Criteria. Judgement will be based on the compatibility of the design within the context of the property's adjacent and nearby historic buildings.

The design of new buildings should have key elements of the building's historic period of significance including massing, scale, fenestration and materials.

Infill buildings should not be absolute reproductions, and appear as clearly contemporary. Only when a previously demolished historic Grapevine building can be accurately replicated may a reproduction be considered.

Infill buildings between historic buildings should be similar in setback, roof form, cornice line and materials, to one of the adjacent buildings. Relate height of new building to the heights of adjacent structures. Avoid new buildings that tower over existing ones.

Horizontal wood siding (either novelty, tongue and groove, shiplap or equivalent) and brick are appropriate exterior building finishes for the historic house. Fake brick or stone or gravel aggregate materials shall never be used.

ADDITIONS TO HISTORIC BUILDINGS

Additions to historic buildings should replicate the style of the main building if possible; otherwise they should adhere to the general style with simplified details.

As a minimum, new additions should reflect the massing, roof shape, bay spacing, cornice lines and building materials of the primary structure.

All new wood or metal materials should have a painted finish except on some 20th century buildings where the use of unpainted aluminum or steel was part of the original design and should be maintained.

A new addition should, if at all possible, be located at the rear of the historic building. If this is not possible, the addition may be added to the side if it is recessed at least 18 inches from the historic building façade or a connection is used to separate old from new.

New vertical additions should be set back from primary facades so as not to be readily apparent from the facing street.

When reproducing elements that were originally part of a historic building they should be replicated

when evidence of the actual detail has been documented by photographs, drawings, or remaining physical evidence. If no evidence exists, elements typical of the architectural style may be used. Historic photographs can provide information on the original elements of the building.

**GRAPEVINE HISTORIC PRESERVATION COMMISSION
HISTORIC LANDMARK DESIGNATION FORM**

1. Name

Historic
And/or common Ruby Tillery Moore House

2. Location

Address 619 South Church Street land survey
Location/neighborhood City of Grapevine block/lot Block 14, Lot 3C and 6A tract size 0.2121 acres

3. Current zoning

R 7.5 single family residential

4. Classification

Category	Ownership	Status	Present Use	
<input type="checkbox"/> district	<input checked="" type="checkbox"/> public	<input type="checkbox"/> occupied	<input type="checkbox"/> agriculture	<input checked="" type="checkbox"/> museum
<input type="checkbox"/> building(s)	<input type="checkbox"/> private	<input type="checkbox"/> unoccupied	<input type="checkbox"/> commercial	<input type="checkbox"/> park
<input checked="" type="checkbox"/> structure		<input checked="" type="checkbox"/> work in progress	<input checked="" type="checkbox"/> education	<input type="checkbox"/> residence
<input type="checkbox"/> Site	Accessible		<input type="checkbox"/> Entertainment	<input type="checkbox"/> Religious
	<input type="checkbox"/> yes: restricted		<input checked="" type="checkbox"/> government	<input type="checkbox"/> scientific
	<input checked="" type="checkbox"/> yes: unrestr.		<input type="checkbox"/> industrial	<input type="checkbox"/> transportation
	<input type="checkbox"/> no		<input type="checkbox"/> military	<input type="checkbox"/> other

5. Ownership

Current owner: Grapevine Convention & Visitors Bureau phone: 817-410-3197
Address: 636 South Main Street city: Grapevine state: TX zip: 76051

6. Form Preparation

Name & title David Klempin organization: Grapevine CVB, HPP Division
Contact: phone: 817-410-3197

7. Representation on Existing Surveys

Tarrant County Historic Resources National Register of Historic Places
 Other City of Grapevine Township Recorded Texas Historic Landmark
 Map Texas Archaeological Landmark

for office use only

8. Date Rec'd: _____ Survey Verified: Yes No

9. Field Chk date: _____ By: _____

10. Nomination
 Archaeological Structure District
 Site Structure & Site

11. Historic Ownership

original owner D. R. Moore

significant later owner(s) Ruby Tillery Moore

12. Construction Dates

Original 1947

alterations/additions

13. Architect

original construction Cameron Home

alterations/additions

14. Site Features

natural

urban design

15. Physical Description

Condition
 excellent
 good
 fair

Check One:
 deteriorated
 ruins
 unexposed
 Unaltered
 altered

Check One:
 Original site
 Moved (date: _____)

Describe present and original (if known) physical appearance; include style(s) of architecture, current condition and relationship to surrounding fabric (structures, objects, etc.). Elaborate on pertinent materials used and style(s) of architectural detailing, embellishments and site details.



619 South Church Street, photo 2002

This minimal traditional cottage was built in 1947 to serve as the home of Deward R and Ruby Tillery Moore. The land on which the house stands was carved from larger lot that included the historic Keeling House, then owned by D. R. Moore who lived next door in the Keeling House.

A gable roof extends over the entire house. Roofing is asphalt shingles and 1940s era manufactured siding covers the exterior of the house. The house is 1,189 square feet in size and features a living room, two bedrooms, kitchen and bath. An enclosed porch extends across the length of the back of the house. The front door has small porch roof supported by wrought iron columns and is flanked by a tall 6 over 6 wood window on each side. The Tax card indicates the home was built utilizing Cameron building products.

A large chicken house was located in the rear corner of the lot. Through the years Ruby developed the lot into a verdant oasis with many pass along plants, punctuated with decorative statues and animal figurines.

16. Historical Significance

Statement of historical and cultural significance. Include: cultural influences, special events and important personages, influences on neighborhood, on the city, etc.

This house was built in 1947 for the Deward R. and Ruby Tillery Moore family. Ruby was the daughter of Vander and Beulah Tillery and was a life-long resident of Grapevine. She was born on August 16, 1926, and passed away on July 24, 2018, at the age of 91. She had two children and became a single mom to Kathy Moore of Fort Worth and Terry Moore of San Antonio. She was preceded in death by 8 siblings.

Ruby worked in the cafeteria at Grapevine Middle School and made the best, most memorable hot rolls. In her later years, Ruby was an employee of City Drug store. She was always smiling and loved to tell stories. She was well liked and loved by the community. Ruby was a member of First Baptist Church and several women's classes and organizations.

Ruby's son, Terry Moore, was an outstanding athlete at Grapevine High School. In 1969, Terry was named to the All-West Texas Academic High School Football Team selected by the West Texas Chamber of Commerce. The selection was made on the basis of academic standing, athletic ability, character, citizenship and leadership. To be eligible for nomination, Terry had to have an overall grade average of at least 88 for all subjects at the end of his junior year and must have made the All-District Team in his school district. In 1964, as a 7th grade student, he was the best speller at Grapevine Junior High.

17. Bibliography

Tarrant Appraisal District and historic tax records; *The Grapevine Sun* newspapers (on line); Dignity Memorial obituary and memories posted on dignitymemorial.com by family and friends.

18. Attachments

- District or Site map
- Site Plan
- Photos (historic & current)

- Additional descriptive material
- Footnotes
- Other (Grapevine Sun article 2.6.69)

Designation Merit

- | | | | |
|--|------------|---|------------|
| <p>A. Character, interest or value as part of the development, heritage or cultural characteristics of the City of Grapevine, State of Texas of the United States.</p> | _____ | <p>G. Identification as the work of an architect or master builder whose individual work has influenced the development of the city.</p> | _____ |
| <p>B. Location as the site of a significant historical event.</p> | _____ | <p>H. Embodiment of elements of architectural design, detail, materials or craftsmanship which represent a significant architectural innovation.</p> | _____ |
| <p>C. Identification with a person or persons who significantly contributed to the culture and development of the city.</p> | x
_____ | <p>I. Relationship to other distinctive buildings, sites or areas which are eligible for preservation according to a plan based on historic, cultural or architectural motif.</p> | x
_____ |
| <p>D. Exemplification of the cultural, economic, social or historical heritage of the city</p> | x
_____ | <p>J. Unique location of singular physical characteristics representing an established and familiar visual feature of a neighborhood, community or the city.</p> | _____ |
| <p>E. Portrayal of the environment of a group of people in an era of history characterized by a distinctive architectural style.</p> | _____ | <p>K. Archaeological value in that it has produced or can be expected to produce data affecting theories of historic or prehistoric value.</p> | _____ |
| <p>F. Embodiment of distinguishing characteristics of an architectural type or specimen.</p> | x
_____ | <p>L. Value as an aspect of community sentiment or public pride.</p> | x
_____ |

Recommendation

The Grapevine Township Revitalization Program requests the Grapevine Historic Preservation Commission to deem this nominated landmark meritorious of designation as outlined in Chapter 39, City of Grapevine Comprehensive Zoning Ordinance.

Further, the Grapevine Historic Preservation Commission endorses the Preservation Criteria, policy recommendations and landmark boundary as presented by the City of Grapevine Development Services Department.

Sean Shope, Chairman
Grapevine Historic Preservation Commission

David Klempin
Historic Preservation Officer

Scott Williams, Director
Development Services Department

Historical Marker

The Grapevine Historic Preservation Commission and the Grapevine Historical Society have a cooperative marker program for properties that are officially (individually or located within) designated Historic Landmark Sub-districts. Please indicate if you are interested in obtaining one or both markers for your property. There is no fee for either of the markers, however, the Grapevine Historical Society will only fund two (2) of the medallion and text plaque (second option), per year, on a first come, first serve basis.

Check One:

- Yes, I am interested in obtaining a bronze Historic Landmark Plaque for my property from the Historic Preservation Commission. I understand there is no fee for this plaque.
- No, I am not interested in obtaining a marker for my property.
-
- Yes, I am interested in obtaining a bronze Historic Marker (medallion and text plaque) for my property from the Grapevine Historical Society.

Below for office use only



- Historic Preservation Commission's Historic Landmark Plaque.



- Historic Preservation Commission's Historic District Plaque.



- Grapevine Historical Society's Historic Landmark Marker.

ORDINANCE NO. 2019-067

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS; DESIGNATING A HISTORIC LANDMARK SUBDISTRICT HL19-01 DESIGNATING THE AREA OF 619 SOUTH CHURCH STREET AND PLATTED AS LOT 3C AND 6A, BLOCK 14, CITY OF GRAPEVINE, ABSTRACT 422, WILLIAM DOOLEY SURVEY AND MORE SPECIFICALLY DESCRIBED HEREIN, IN A DISTRICT ZONED "R-7.5" SINGLE FAMILY DISTRICT REGULATIONS; PROVIDING FOR THE ADOPTION OF THE RUBY TILLERY MOORE HOUSE HISTORIC DISTRICT PRESERVATION CRITERIA; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND A ZONING CHANGE AND AMENDMENT THEREIN MADE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made by the Grapevine Historic Preservation Commission requesting a historic landmark subdistrict designation by making application for same with the Planning and Zoning Commission of the City of Grapevine, Texas as required by State statutes and the zoning ordinances of the City of Grapevine, Texas and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested historic landmark subdistrict designation should be granted or denied; safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control, protection of adjacent property from flood or water damages, noise producing elements and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood, location, lighting and types of signs and relation of signs to traffic control and adjacent property, street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood, adequacy of parking as determined by requirements of this ordinance for off-street parking facilities, location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking

areas to control dust, effect on the promotion of health and the general welfare, effect on light and air, the effect on the transportation, water sewerage, schools, parks and other facilities; and

WHEREAS, all of the requirements of Section 39 of Appendix "D" of the Code of Ordinances have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered, among other things, the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this city;

WHEREAS, the City Council of the City of Grapevine, Texas does find that there is a public necessity for the granting of this historic landmark subdistrict, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and does find that the historic landmark subdistrict designation lessens the congestion in the streets, helps secure safety from fire, panic and other dangers; promotes health and the general welfare; provides adequate light and air; prevents the overcrowding of land; avoids undue concentration of population; facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas has determined that there is a necessity and need for this historic landmark subdistrict designation and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified; and, therefore, feels that historic landmark subdistrict designation for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas and helps promote the general health, safety, and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby designate a historic landmark subdistrict (HL19-01) in accordance with Section 39 of Ordinance No. 82-73, being the Comprehensive Zoning Ordinance of the City of Grapevine, Texas same being also known as Appendix "D" of the City Code of Grapevine, Texas, in a district zoned "R-7.5" Single Family District Regulations within the following described property: 619 South Church Street and platted as Lot 3C and 6A, Block 14, City of Grapevine, Abstract 422, William Dooley Survey, more fully and completely described in Exhibit "A", attached hereto and made a part of hereof; and, in addition thereto, the adoption of the Ruby Tillery Moore House Historic District Preservation Guidelines as conditions, regulations and safeguards

in connection with the said historic landmark subdistrict, a copy of said criteria being attached hereto and labeled Exhibit "B".

Section 2. That the City Manager is hereby directed to correct the official zoning map of the City of Grapevine, Texas to reflect the "H" zoning designation.

Section 3. That in all other respects, the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinances and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future, to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. That this ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. That any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed two thousand dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety

and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of October, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Shawna Barnes
Assistant City Secretary

APPROVED AS TO FORM:

City Attorney

TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: OCTOBER 15, 2019

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF ZONE
CHANGE APPLICATION Z19-04, CONDITIONAL USE
APPLICATION CU19-28, AND PLANNED DEVELOPMENT
OVERLAY PD19-01 JEFFERSON SHADY BROOK



APPLICANT: Miller Sylvan

PROPERTY LOCATION AND SIZE:

The subject property is located at 431 Scribner Street and is proposed to be platted as Lot 1, Block 1, Jefferson Shady Brook Addition. The property contains 14.65 acres and has approximately 530 feet of frontage along Shady Brook Drive and 1,000 feet of frontage along Scribner Street.

REQUESTED ZONE CHANGE, CONDITIONAL USE, AND PLANNED DEVELOPMENT OVERLAY AND COMMENTS:

The applicant is requesting a zone change to rezone approximately 12.21 acres from "R-MH" Manufactured Home District and 2.44 acres from "R-MF-2" Multifamily District to "R-MF" Multifamily District for the development of a 362-unit multifamily project. The applicant is also seeking a conditional use permit to exceed density, reduce the front yard setback, increase height, and reduce parking. A planned development overlay is also being requested to deviate from, but not be limited to reducing the side yard setback, increasing the overall percentage of units between 600-750 square feet, increasing maximum building length, and decreasing building separation.

It is the applicant's intent to develop a 362-unit, gated multifamily complex on an

approximate 15-acre parcel of land located at the southwest corner of Shady Brook Drive and Scribner Street. This project will have a primary and secondary point of controlled access both from Scribner Street. Relative to unit mix, the complex will consist of 198 one-bedroom units ranging from 600-972 square feet in size; 134 two-bedroom units ranging from 1,020-1,210 s.f.; and 15 three-bedroom units 1,515 s.f. in size. Also as part of this project the applicant intends to develop 15 brownstone-style apartments that are three-stories in height and resemble a product similar to an attached townhome with incorporated garages on the first floor. These brownstone apartments will consist of six, two-bedroom units 1,349 s.f. in size and nine, three-bedroom units ranging from 1,596-1,799 s.f. in size.

The proposed project consists of a total of eleven primary structures with four specific building types:

- Building Type A: the largest structure within the project; four stories in height (52 feet) with a portion of the structure located below grade. This structure contains 166 units, 10 of which are below grade. Immediately adjacent to the west is a two level garage—one level below grade and the second level at grade.
- Building Type B: the project will have two structures of this type for a total of 66 units, three stories in height (39 feet) with incorporated private garages.
- Building Type C: the project will have five structures of this type for a total of 115 units, three stories in height (39 feet) with incorporated private garages.
- Building Type D: the project will have three structures of this type—the brownstone units, three stories in height (35 feet) with incorporated private garages as part of the first level.

The flexible design standards within the conditional use section of the "R-MF" Multi-Family District allow through the conditional use process consideration for increased density beyond the 20 dwelling units allowed per acre, increased height in excess of the two-story, 35 feet maximum as stated in the district as well as a reduction in the front yard setback (40 feet) and a reduction in required parking (two spaces per unit). With this request the applicant is proposing a density not to exceed 25 dwelling units per acre and a maximum height not to exceed four stories (65 feet) for a portion of Building A. The front yard setback along Scribner Street is proposed to be reduced to 20 feet for all structures with frontage along Scribner Street except for Building D-III which will be set back 16 feet. Required parking for the project is 724 spaces; the applicant conducted a parking study which recommended a ratio of one space per bedroom (550 total bedrooms) along with a guest parking ratio of 0.20 spaces per unit. With a total 623 spaces recommend by the study, the applicant has provided a total of 642 spaces for a ratio of 1.77 spaces per dwelling unit. Parking will consist of 308 general surface spaces, 106 private garage (tuck-under) spaces, and 44 tandem spaces. A two-level parking garage immediately adjacent to Building A to the west will have 80 at-grade surface spaces and 94 below-grade spaces; the applicant has also provided 10 on-street spaces along Scribner Street.

The "R-MF" Multifamily District regulations require a minimum building separation of 50 feet for structures that are arranged face-to-face or back-to-back. The applicant is seeking a planned development overlay to reduce this separation to 21 feet between Building A-I and D-I in an effort to provide a sense of community and space between the two structures. Building length is limited to 200 feet; the applicant is requesting to not exceed 300 feet for Building A which is the center piece of the development. The side yard setback within the "R-MF" Multifamily District is established at 20 feet; the applicant is requesting a side yard setback of 10 feet for Building C-I located at the southeast corner of the site to better position the structure relative to the main entrance to the site and its alignment with Peach Street. Lastly, the applicant is utilizing the planned development overlay to increase the ratio of units within the complex between 600-750 s.f. to 35 percent of the total number of units; the ordinance limits this ratio to 15 percent. This percentage increase is based on a market demand study and an above average unit size for units within the complex.

Relative to the relocation of the existing residents within the mobile home park, the applicant has partnered with GRACE to put in place a process to assist residents to transition to new living accommodations within an approximate six-month period. GRACE has hired a case manager that will help provide as-needed financial assistance and rent relief during this transition period. See the attached letter.

Contained within your packet is an affidavit of compliance signed and sealed by the project architect stating the project is in compliance with the adopted Design Standards Manual for Multifamily and Vertical Mixed Use Development. Although the project is not within any of the five specific districts listed with the design guidelines, the applicant has selected from the 24 listed criteria those standards that are directly applicable to the subject site given its unique aspects such as, location, topography, access, and visibility. The applicant has included graphic exhibits that demonstrate compliance with specific elements of the design standards.

PRESENT ZONING AND USE:

The property is currently zoned "R-MH" Manufactured Home District and "R-MF-2" Multifamily District. That portion of the property zoned "R-MH" Manufactured Home District is currently developed as a 72 lot mobile home park. That portion currently zoned "R-MF-2" Multifamily District is currently undeveloped.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject property and the property to the north and the southernmost portion of property to the east were zoned "MH" Mobile Home District prior to the 1984 City Rezoning. The property to the south and the majority of the property to the east were zoned "R-1" Single Family District prior to the 1984 City Rezoning. The property to the west was zoned "S-P" Specific Use Permit prior to the 1984 City Rezoning. At the July 19,

2016 meeting the property to the west (11.83 acres) was rezoned from "R-MF-2" Multifamily District and "PRD-12" Planned Residential Medium Density District to "R-5.0" Zero Lot Line District for the development of 52 residential lots but was never developed. A subsequent planned development request (PD17-05) was considered and approved at the January 16, 2018 meeting on the property to the west which allowed for 44 residential lots along with an increase in building and impervious coverage along with a reduction in front, rear, and side yard setbacks and a reduction in separation between structures on adjacent lots.

SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH:** "GU" Governmental Use District—City of Grapevine property; GRACE office facilities
- SOUTH:** "R-MF-1" Multifamily District and "GU" Governmental Use District—mini-storage warehouse facility; GCISD Middle School property
- EAST:** "GU" Governmental Use District, "R-MF-1" Multifamily District, and "R-5.0" Zero Lot Line District—City of Grapevine Service Center; existing single family homes
- WEST:** "R-5.0" Zero Lot Line District, "R-MF-2" Multifamily District and "GU" Governmental Use District—single family residences currently under development; existing multifamily complex; GCISD Middle School property

AIRPORT IMPACT:

The subject tract is not located within any of the noise zones as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map.

MASTER PLAN APPLICATION:

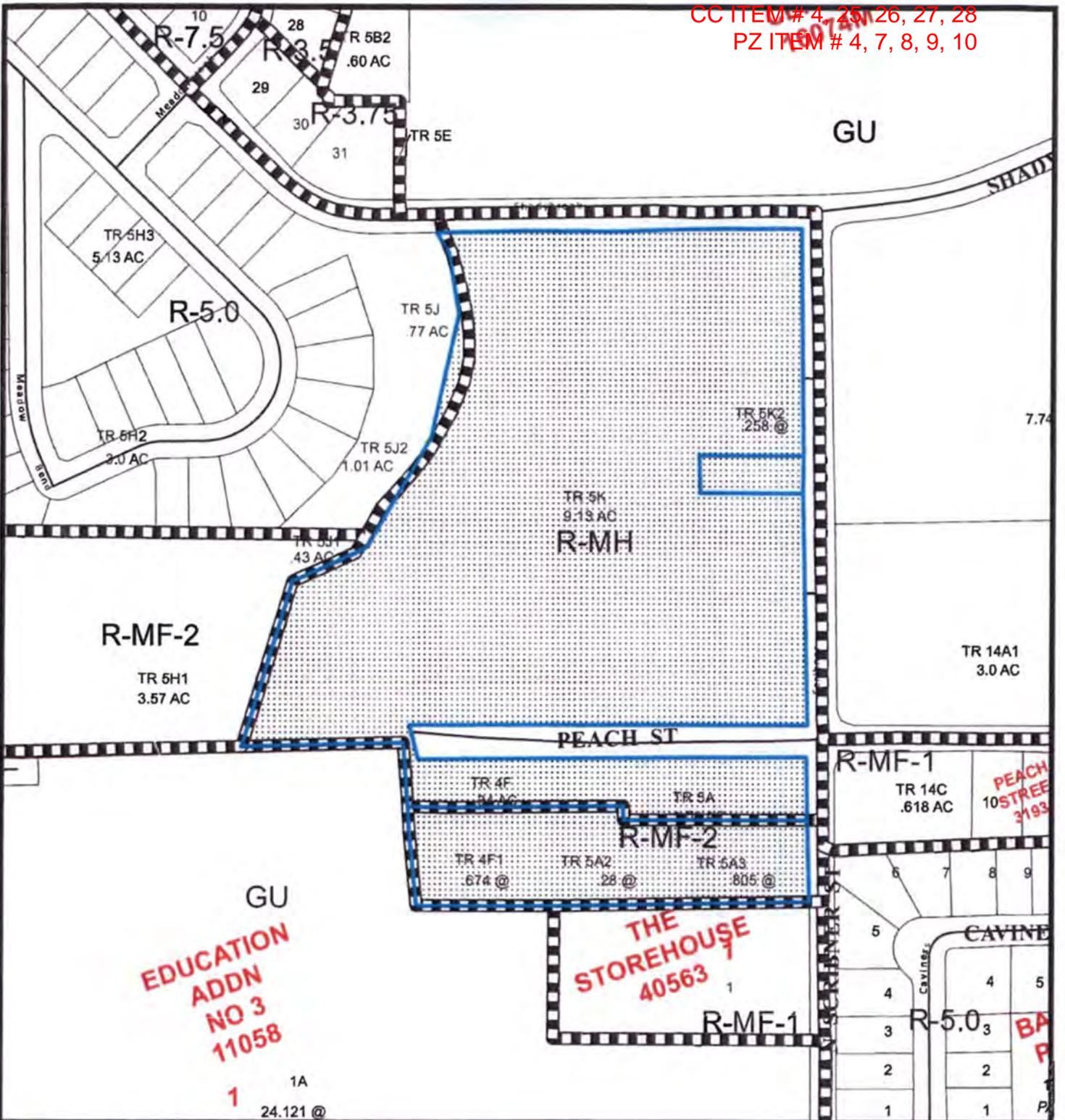
The Master Plan designates that portion of the subject property currently zoned "R-MH" Manufactured Home District between Shady Brook south to Peach Street as an "RM" Residential, Medium Density land use. That portion of the subject property zoned both "R-MH" Manufactured Home District and "R-MF-2 Multifamily District south of Peach Street is designed as an "RH" Residential, High Density land use. This multifamily project has a density of 24.7 dwelling units per acre. The land use designation of "RM" Residential, Medium Density was established to accommodate densities between four and twelve dwelling units per acre. Relative to that portion of the subject property with the land use designation of "RM" Residential, Medium Density, the request is not in compliance with the Master Plan. That portion of the subject property with the land use designation "RH" Residential, High Density is in compliance with the Master Plan.

THOROUGHFARE PLAN APPLICATION:

Shady Brook Drive and Scribner Street are not designated thoroughfares as shown on the City's Thoroughfare Plan. Scribner Street has a variable width right-of-way with paved street sections varying between 24-28 feet in width. The applicant's traffic impact analysis report suggest improvements will be needed at the intersections of Scribner Street/Northwest Highway and Scribner Street/Shady Brook Drive. If the request is approved the applicant will consider further improvements to Scribner Street and possible cost sharing with the City in a future development agreement.

/rs

CC ITEM # 4, 25, 26, 27, 28
PZ ITEM # 4, 7, 8, 9, 10



EDUCATION
ADDN
NO 3
11058

THE
STOREHOUSE
40563

0 100 200 300 400 Feet



Z19-04/CU19-28/PD19-01 Jefferson Shady Oaks

Date Prepared: 9/27/2019

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

219-04

CITY OF GRAPEVINE ZONE CHANGE APPLICATION



PART 1. APPLICANT INFORMATION

Applicant Name: JPI Real Estate Acquisition, LLC

Applicant Address: 600 E. Las Colinas Blvd., Suite 1800

City/State/Zip: Irving, TX 75039

Phone No. 972-556-1700 Fax No. _____

Email Address [REDACTED] Mobile Phone 972-556-1700

Applicant's interest in subject property Proposed Developer

PART 2. PROPERTY INFORMATION

Street Address of subject property 431 N. Scribner Street. Grapevine Texas

Legal Description: Lot _____ Block _____ Addition _____

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Size of subject property: acres 12.21 square footage 531770

Present zoning classification R-MH Manufactured Home District Requested zoning district R-MF

Present use of property Mobile Homes

Proposed use of property Multi-Family

The applicant understands the master plan designation and the most restrictive zone that would allow the proposed use is N/A

Minimum/Maximum District size for requested zoning minimum 2 acres

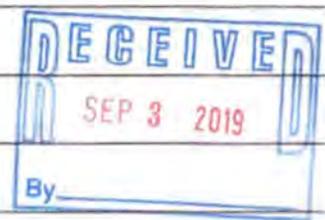
PART 3. PROPERTY OWNER INFORMATION

Property Owner Shady Oaks MHP, LLC

Prop Owner Address 1628 Marpole Ave

City/State/Zip Vancouver, BC V6J 2S1, Canada

Phone No. _____ Fax No. _____



- All Zone Change Requests are assumed to be completed when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a concept plan approved with a zone change request can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for zone change request and acknowledge that all requirements of this application have been met at the time of submittal.

PART 4. SIGNATURE TO AUTHORIZE A ZONE CHANGE REQUEST AND PLACE A ZONE CHANGE REQUEST SIGN ON THE SUBJECT PROPERTY

T. Miller Sylvan
Print Applicant's Name

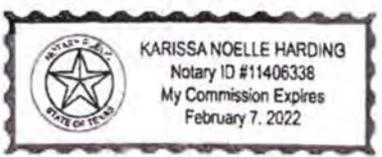
[Signature]
Applicant's Signature

The State of Texas

County of Dallas

Before me (notary) Karissa Noelle Harding on this day personally appeared (applicant) Miller Sylvan known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 1st day of September, A.D. 2019



[Signature]
Notary In and For State of Texas

JONATHAN COLLEMAN
Print Property Owner's Name

[Signature]
Property Owner's Signature

The State of _____

County of CANADA

Before me (notary) DAVID SKY on this day personally appeared (applicant) JONATHAN COLLEMAN known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 10 day of SEPTEMBER, A.D. 2019



[Signature]
Notary In and For State of BRITISH COLUMBIA

David F. Sky
BARRISTER & SOLICITOR
428 - 755 Burrard St.
Vancouver, B.C. V6Z 1X6
604-682-3338

SURVEYED PROPERTY

12.2078 ACRES

BEING a tract of land situated in the Thomas Mahan Survey, Abstract No. 1050, City of Grapevine, Tarrant County, Texas and being all of a called 12.3404 acre tract of land described in General Warranty Deed to Shady Oaks MHP, LLC, recorded in Instrument No. D206282874, Official Public Records, Tarrant County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod with plastic cap stamped "KHA" set at the intersection of the south right-of-way line of Shady Brook Drive (a 60-foot right-of-way) with the west right-of-way line of Scribner Street (a 50-foot right-of-way at this point);

THENCE with said west right-of-way line of Scribner Street, South $0^{\circ}42'41''$ East, a distance of 728.43 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner at the intersection of said west right-of-way line of Scribner Street, with the north right-of-way line of Peach Street (a 50-foot right-of-way)

THENCE with said north right-of-way line of Peach Street, South $89^{\circ}34'55''$ West, a distance of 602.58 feet to a point for corner at the intersection of said north right-of-way line of Peach Street with the west terminus line of said Peach Street;

THENCE with said west terminus line of Peach Street, South $18^{\circ}29'26''$ East, a distance of 52.61 feet to a 1/2-inch iron rod found at the intersection of said west terminus line of Peach Street, the south right-of-way line of said Peach Street;

THENCE with said south right-of-way line of Peach Street, North $89^{\circ}34'55''$ East, a distance of 586.52 feet to a point for corner in said west right-of-way line of Scribner Street;

THENCE with said west right-of-way line of Scribner Street, South $0^{\circ}42'41''$ East, a distance of 101.18 feet to a point for the southeast corner of said 12.3404 acre tract;

THENCE with the south line of said 12.3404 acre tract, the following courses and distances:

South $89^{\circ}04'23''$ West, a distance of 282.30 feet to a point for corner from which a 1" iron pipe found bears South $77^{\circ}10'$ East, a distance of 0.3 feet;

North $0^{\circ}56'32''$ West, a distance of 18.78 feet to a 1" iron pipe found for corner;

North $89^{\circ}59'33''$ West, a distance of 302.83 feet to 1/2-inch iron rod with plastic cap stamped "Area Surveying" found in the north line of Lot 1, Block 1 of the Education Addition No. 3, an addition to the City of Grapevine, Texas, according to the plat thereof recorded in Instrument No. D200242914, Official Public Records, Tarrant County, Texas;

THENCE with the north line of said Education Addition No. 3, the following courses and distances:

North $0^{\circ}30'35''$ West, a distance of 65.64 feet to a mag nail found for the most northerly northeast corner of said Education Addition No. 3;

South $89^{\circ}11'21''$ West, a distance of 254.48 feet to a point for most westerly southwest corner of said 12.3404 acre tract;

THENCE with the west line of said 12.3404 acre tract, the following courses and distances:

North 14°20'49" East, a distance of 286.77 feet to a point for corner;
North 64°48'34" East, a distance of 122.00 feet to a point for corner;
North 30°27'34" East, a distance of 187.16 feet to a point for corner;
North 12°46'47" East, a distance of 189.28 feet to a point for corner;
North 9°30'03" West, a distance of 92.50 feet to a point for corner;
North 32°30'33" West, a distance of 33.72 feet to a point for corner in said south right-of-way line of Shady Brook Drive;

THENCE with the south right-of-way line of Shady Brook Drive, North 89°09'56" East, a distance of 544.77 feet to the **POINT OF BEGINNING** and containing 12.2078 acres or 531,774 square feet of land.

Bearing system based on the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983.

219-04



CITY OF GRAPEVINE

ZONE CHANGE APPLICATION

PART 1. APPLICANT INFORMATION

Applicant Name: JPI Real Estate Acquisition, LLC

Applicant Address: 600 E. Las Colinas Blvd., Suite 1800

City/State/Zip: Irving, TX 75039

Phone No. 972-556-1700 Fax No. []

Email Address [REDACTED] Mobile Phone 972-556-1700

Applicant's interest in subject property Proposed Developer

PART 2. PROPERTY INFORMATION

Street Address of subject property 427 N. Scribner Street. Grapevine Texas

Legal Description: Lot 1 Block 1 Addition The Storehouse Addition

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Size of subject property: acres 1.76 square footage 76652

Present zoning classification R-MF-2 Multifamily District Requested zoning district R-MF-

Present use of property Vacant

Proposed use of property Multi-Family

The applicant understands the master plan designation and the most restrictive zone that would allow the proposed use is N/A

Minimum/Maximum District size for requested zoning minimum 2 acres - site is being combined with another property

PART 3. PROPERTY OWNER INFORMATION

Property Owner GRAPEVINE STOREHOUSE LTD

Prop Owner Address 1910 Las Campanas Ave. NW

City/State/Zip Albuquerque, NM 87107-3204

Phone No. [] Fax No. []



217-04

- All Zone Change Requests are assumed to be completed when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a concept plan approved with a zone change request can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for zone change request and acknowledge that all requirements of this application have been met at the time of submittal.

PART 4. SIGNATURE TO AUTHORIZE A ZONE CHANGE REQUEST AND PLACE A ZONE CHANGE REQUEST SIGN ON THE SUBJECT PROPERTY

T. Miller sylvan
Print Applicant's Name

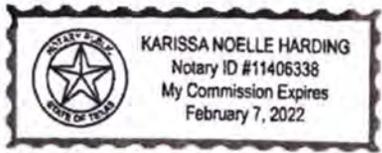
T. Miller sylvan
Applicant's Signature

The State of Texas

County of Dallas

Before me (notary) Karissa Noelle Harding on this day personally appeared (applicant) Miller sylvan known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 26th day of August, A.D. 2019



Karissa Noelle Harding
Notary In and For State of Texas

Tony O. Scarton
Print Property Owner's Name

Tony O. Scarton
Property Owner's Signature

The State of New Mexico

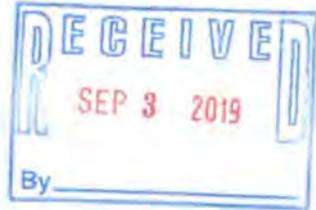
County of Bernalillo

Before me (notary) Leslie Lopez on this day personally appeared (applicant) Tony O. Scarton known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 28th day of August, A.D. 2019



Leslie Lopez
Notary In and For State of New Mexico



LEGAL DESCRIPTION

1.7597 ACRES

BEING a tract of land situated in the Thomas Mahan Survey, Abstract No. 1050, City of Grapevine, Tarrant County, Texas and being all of a 1.759 acre tract of land described in Special Warranty Deed to Grapevine Storagehouse, Ltd., recorded in Instrument No. D212220415, Official Public Records, Tarrant County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod with plastic cap stamped "Area Surveying" found in the west right-of-way line of Scribner Street (a variable width right-of-way) at the northeast corner of Lot 1, Block 1 of The Storehouse Addition, an addition to the City of Grapevine, Texas, according to the plat there of recorded in Volume 388-153, Page 89, Plat Records, Tarrant County, Texas;

THENCE leaving said west right-of-way line of Scribner Street, and with the north line of said Lot 1, Block 1, South 89°04'23" West, a distance of 375.00 feet to a point for the northwest corner of said Lot 1, Block 1 and being a northeast corner of Lot 1, Block 1 of the Education Addition No. 3, an addition to the City of Grapevine, Texas, according to the plat thereof recorded in Instrument No. D200242914, Official Public Records, Tarrant County, Texas from which a 3/8-inch iron rod found leaning bears North 57°47' West a distance of 0.3 feet;

THENCE with the north line of said Education Addition No. 3, the following courses and distances:

South 89°16'35" West, a distance of 211.34 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set;

North 0°30'35" West, a distance of 142.97 feet to a 1/2-inch iron rod with plastic cap stamped "Area Surveying" found for a south corner of a 12.3404 acre tract of land described in General Warranty Deed to Shady Oaks MHP, LLC, recorded in Instrument No. D206282874, Official Public Records, Tarrant County, Texas;

THENCE with the south line of said 12.3404 acre tract, the following courses and distances:

South 89°59'33" East, a distance of 302.83 feet to a 1" pipe found for corner;

South 0°56'32" East, a distance of 18.78 feet to a point for corner from which a 1" pipe found bears South 77°10" East, a distance of 0.3 feet;

North 89°04'23" East, a distance of 282.30 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set at the southeast corner of said 12.3404 acre tract and being in said west right-of-way line of Scribner Street;

THENCE with said west right-of-way line of Scribner Street, South 1°01'27" East, a distance of 120.00 feet to the **POINT OF BEGINNING** and containing 1.7597 acres or 76,652 square feet of land.

Bearing system based on the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983.



LEGAL DESCRIPTION

0.6826 ACRES

BEING a tract of land situated in the Thomas Mahan Survey, Abstract No. 1050, City of Grapevine, Tarrant County, Texas and being all of Peach Street a (50-foot right-of-way) described in Plat recorded in Volume 6935, Page 771, Deed Records, Tarrant County, Texas, and being more particularly described as follows:

COMMENCING at a point for corner in the west right-of-way line of Scribner Street (a variable width right-of-way) and being the southeast corner of a called 12.3404 acre tract of land described in General Warranty Deed to Shady Oaks MHP, LLC, recorded in Instrument No. D206282874, Official Public Records, Tarrant County, Texas, from which a 1/2-inch iron rod with plastic cap stamped "Area Surveying" found for the northeast corner of Lot 1, Block 1 of The Storehouse Addition, an addition to the City of Grapevine, Texas, according to the plat there of recorded in Volume 388-153, Page 89, Plat Records, Tarrant County, Texas, bears South 01°01'27" East, a distance of 120.00 feet;

THENCE with said west right-of-way line of Scribner Street, North 00°42'41" West, a distance of 101.18 feet to a point for corner at the intersection of said west right-of-way line of Peach Street with the south right-of-way line of Peach Street (a 50-foot right-of-way) and being the **PONT OF BEGINNING**;

THENCE leaving said west right-of-way line of Scribner Street and with said north right-of-way line of Peach Street, South 89°34'55" West, a distance of 586.52 feet to a 1/2-inch iron rod found at the intersection of said south right-of-way line of Peach Street with the west terminus line of said Peach Street;

THENCE with said west terminus line of Peach Street, North 18°29'26" West, a distance of 52.61 feet to a point for corner at the intersection of said terminus line with the north right-of-way line of said Peach Street;

THENCE with said north right-of-way line of Peach Street, North 89°34'55" East, a distance of 602.58 feet to a 5/8-inch iron rod with plastic cap stamped "KHA set at the intersection of said north right-of-way line of Peach Street with said west right-of-way line of Scribner Street;

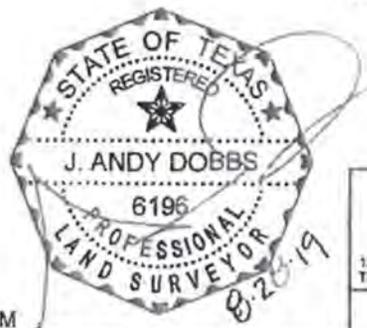
THENCE with said west right-of-way line of Scribner Street, South 0°42'41" East, a distance of 50.02 feet to the **POINT OF BEGINNING** and containing 29,736 square feet or 0.6826 acres of land.

Bearing system based on the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983.

**PEACH STREET
RIGHT-OF-WAY ABANDONMENT**

THOMAS MAHAN SURVEY,
ABSTRACT NO. 1050
CITY OF GRAPEVINE,
TARRANT COUNTY, TEXAS

J. ANDY DOBBS
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 6196
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER
SUITE 700
DALLAS, TEXAS 75240
PH. (972) 770-1300
ANDY.DOBBS@KIMLEY-HORN.COM



Kimley»Horn

13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 239-3620

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	DWP	JAD	AUG. 2019	06-4466476	1 OF 2

CUM-28

ACKNOWLEDGEMENT

All Zone Change Request are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a concept plan approved with a zone change request can only be approved by city council through the public hearing process.

I have read and understand all of the requirements as set forth by the application for zone change request and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant

[Handwritten Signature]

Date

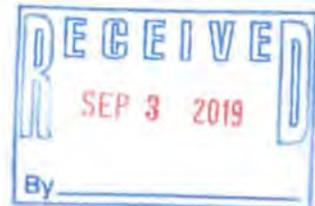
8-26-19

Signature of Property Owner

[Handwritten Signature]

Date

8-28-19



CU19-28



CITY OF GRAPEVINE CONDITIONAL USE APPLICATION Form "A"

PART 1. APPLICANT INFORMATION

Name of applicant / agent / company / contact

JPI Real Estate Acquisition, LLC

Street address of applicant / agent:

600 E. Las Colinas Blvd.. Suite 1800

City / State / Zip Code of applicant / agent:

Irving, TX, 75039

Telephone number of applicant / agent:

972-556-1700

Fax number of applicant / agent

Email address of applicant / agent

Mobile phone number of applicant / agent

972-556-1700

PART 2. PROPERTY INFORMATION

Street address of subject property

427 & 431 Scribner Street, Grapevine Texas

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

MAHAN, THOMAS SURVEY Abstract 1050 Tract 4F 5A & 5k, 4F1 5A2 & 5A3, and Tract 5k02

Size of subject property

14.65 Ac (12.21 + 0.68 + 1.76) Acres 638,159 (531,771 + 29,736 + 76,652) Square footage

Present zoning classification:

R-MH & R-MF-2

Proposed use of the property:

Residential MF - PD

Circle yes or no, if applies to this application

Outdoor speakers Yes No

Minimum / maximum district size for conditional use request:

minimum 2 acres

Zoning ordinance provision requiring a conditional use:

See next page

PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:

Multiple See Next Page

Street address of property owner:

City / State / Zip Code of property owner:

Telephone number of property owner:

Fax number of property owner:



CURT-28

PART 2. PROPERTY INFORMATION

Street Address of subject property 431 N. Scribner Street. Grapevine Texas

Legal Description: Lot [] Block [] Addition []

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Size of subject property: acres 12.21 square footage 531770

Present zoning classification R-MH Manufactured Home Dis [v] Requested zoning district [] level [v]

Present use of property Mobile Homes

Proposed use of property Multi-Family

The applicant understands the master plan designation and the most restrictive zone that would allow the proposed use is []

Minimum/Maximum District size for requested zoning []

PART 3. PROPERTY OWNER INFORMATION

Property Owner Shady Oaks MHP, LLC

Prop Owner Address 1628 Marpole Ave

City/State/Zip Vancouver, BC V6J 2S1, Canada

Phone No. [] Fax No. []

PART 2. PROPERTY INFORMATION

Street Address of subject property 427 N. Scribner Street. Grapevine Texas

Legal Description: Lot 1 Block 1 Addition The Storehouse Addition

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Size of subject property: acres 1.76 square footage 76652

Present zoning classification R-MF-2 Multifamily District [v] Requested zoning district []

Present use of property Vacant

Proposed use of property Multi-Family

The applicant understands the master plan designation and the most restrictive zone that would allow the proposed use is []

Minimum/Maximum District size for requested zoning []

PART 3. PROPERTY OWNER INFORMATION

Property Owner GRAPEVINE STOREHOUSE LTD

Prop Owner Address 1910 Las Campanas Ave. NW

City/State/Zip Albuquerque, NM 87107-3204

Phone No. [] Fax No. []



CUI9-28

Shady Oaks MHP

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.

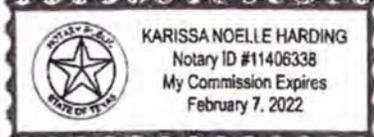
- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY

T. Miller Sylvan
 Print Applicant's Name: _____
 Applicant's Signature: [Signature]

The State of Texas
 County Of Dallas
 Before Me Miller Sylvan Karissa Noelle Harding on this day personally appeared Miller Sylvan
 (notary) (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 11th day of September, A.D. 2019

Karissa Noelle Harding
 Notary In And For State Of Texas

David F. Sky
 Print Property Owners Name: _____
 Property Owner's Signature: [Signature]

The State Of British Columbia
 County Of Canada
 Before Me David Sky on this day personally appeared David Sky
 (notary) (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 10 day of September, A.D. 2019
David F. Sky
 Notary In And For State Of Texas



David F. Sky
 BARRISTER & SOLICITOR
 428 - 755 Burrard St.
 Vancouver, B.C. V6Z 1X6
 604-682-3338

David F. Sky
Notary In And For State Of British Columbia

Grapevine Storehouse LTD

CU19-28

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.

- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

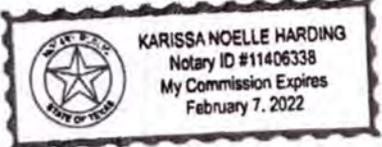
PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY

T. Miller Sylvan [Signature]
 Print Applicant's Name: Applicant's Signature:

The State of Texas
 County Of Dallas
 Before Me: Karissa Noelle Harding on this day personally appeared Miller Sylvan
 (notary) (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 26th day of August A.D. 2019



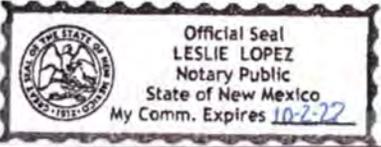
Karissa Noelle Harding
 Notary in And For State Of Texas

Tony O. Scarton [Signature]
 Print Property Owners Name: Property Owner's Signature:

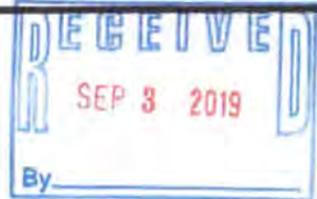
The State Of New Mexico
 County Of Bernalillo
 Before Me: Leslie Lopez on this day personally appeared Tony O. Scarton
 (notary) (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 28th day of August A.D. 2019



Leslie Lopez
 Notary in And For State Of Texas New Mexico



CU19-28

Shady Oaks MHP

ACKNOWLEDGEMENT

All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

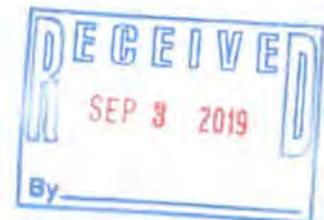
I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant *T. Mich*

Date: 8-26-19

Signature of Owner *JL W*

Date: Aug 29, 2019



CU19-28

Grapevine Storehouse LTD

ACKNOWLEDGEMENT

All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant *[Handwritten Signature]*

Date: 7-3-19

Signature of Owner *[Handwritten Signature]*

Date: 8-28-19



PS19-01

CITY OF GRAPEVINE PLANNED DEVELOPMENT OVERLAY APPLICATION

PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact

JPI Real Estate Acquisition, LLC

Street address of applicant / agent:

600 E. Las Colinas Blvd.. Suite 1800

City / State / Zip Code of applicant / agent:

Irving, TX, 75039

Telephone number of applicant / agent:

972-556-1700

Fax number of applicant / agent:

Email address of applicant / agent

Mobile phone number of applicant / agent

972-556-1700

Applicant's interest in subject property:

Proposed Developer

PART 2. PROPERTY INFORMATION

Street address of subject property

427 & 431 Scribner Street, Grapevine Texas

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

MAHAN, THOMAS SURVEY Abstract 1050 Tract 4F 5A & 5k, 4F1 5A2 & 5A3, and Tract 5k02

14.65 Ac (12.21 + 0.68 + 1.76)

Acres

638,159 (531,771 + 29,736 + 76,652)

Square footage

Present zoning classification:

R-MH & R-MF-2

Proposed use of the property:

Residential MF - PD

Minimum / maximum district size for request:

Proposed multi-family development generally consisting of a total of 360 units.

Zoning ordinance provision requesting deviation from:

Multiple See Next Page

PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:

Multiple See Next Page

Street address of property owner:

City / State / Zip Code of property owner:

Telephone number of property owner:

Fax number of property owner:



PART 2. PROPERTY INFORMATION

Street Address of subject property 431 N. Scribner Street, Grapevine Texas

Legal Description: Lot [] Block [] Addition []

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Size of subject property: acres 12.21 square footage 531770

Present zoning classification R-MH Manufactured Home Dis [v] Requested zoning district R.M.F. [v]

Present use of property Mobile Homes

Proposed use of property Multi-Family

The applicant understands the master plan designation and the most restrictive zone that would allow the proposed use is []

Minimum/Maximum District size for requested zoning []

PART 3. PROPERTY OWNER INFORMATION

Property Owner Shady Oaks MHP, LLC

Prop Owner Address 1628 Marpole Ave

City/State/Zip Vancouver, BC V6J 2S1, Canada

Phone No. [] Fax No. []

PART 2. PROPERTY INFORMATION

Street Address of subject property 427 N. Scribner Street, Grapevine Texas

Legal Description: Lot 1 Block 1 Addition The Storehouse Addition

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Size of subject property: acres 1.76 square footage 76652

Present zoning classification R-MF-2 Multifamily District [v] Requested zoning district R.M.F. [v]

Present use of property Vacant

Proposed use of property Multi-Family

The applicant understands the master plan designation and the most restrictive zone that would allow the proposed use is []

Minimum/Maximum District size for requested zoning []

PART 3. PROPERTY OWNER INFORMATION

Property Owner GRAPEVINE STOREHOUSE LTD

Prop Owner Address 1910 Las Campanas Ave. NW

City/State/Zip Albuquerque, NM 87107-3204

Phone No. [] Fax No. []



Shady Oaks MHP

- Submit a letter describing the proposed Planned Development and note the request on the site plan document.
 - Describe any special requirements or conditions that require deviation of the zoning district regulations.
 - Describe whether the proposed overlay will, or will not cause substantial harm to the value, use or enjoyment of other property in the neighborhood.
 - Describe how the proposed planned development will add to the value, use or enjoyment of other property in the neighborhood.
 - The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All planned development overlay applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a planned development overlay can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for planned development overlay and acknowledge that all requirements of this application have been met at the time of submittal.

PART 4. SIGNATURE TO AUTHORIZE PLANNED DEVELOPMENT OVERLAY REQUEST AND PLACE A PLANNED DEVELOPMENT OVERLAY REQUEST SIGN ON THE SUBJECT PROPERTY

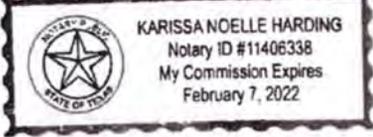
T. Miller Sylvan
Print Applicant's Name: _____

[Signature]
Applicant's Signature: _____

The State Of Texas
County Of Dallas
Before Me Karissa Noelle Harding on this day personally appeared Miller Sylvan
(notary) (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 11th day of September, A.D. 2019



[Signature]
Notary In And For State Of Texas

Jenifer Ann Covert
Print Property Owners Name: _____

[Signature]
Property Owner's Signature: _____

The State Of British Columbia
County Of Canada
Before Me David Sky on this day personally appeared Jenifer Ann Covert
(notary) (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 10 day of September, A.D. 2019

[Signature]
Notary In And For State Of Texas
Province of British Columbia



David F. Sky
BARRISTER & SOLICITOR
428 - 755 Burrard St.
Vancouver, B.C. V6Z 1X6
604-682-3338

Grapevine Storehouse LTD

1019-01

- Submit a letter describing the proposed Planned Development and note the request on the site plan document.
- Describe any special requirements or conditions that require deviation of the zoning district regulations.
- Describe whether the proposed overlay will, or will not cause substantial harm to the value, use or enjoyment of other property in the neighborhood.
- Describe how the proposed planned development will add to the value, use or enjoyment of other property in the neighborhood.
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All planned development overlay applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a planned development overlay can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for planned development overlay and acknowledge that all requirements of this application have been met at the time of submission.

PART 4. SIGNATURE TO AUTHORIZE PLANNED DEVELOPMENT OVERLAY REQUEST AND PLACE A PLANNED DEVELOPMENT OVERLAY REQUEST SIGN ON THE SUBJECT PROPERTY

T. Miller Sylvan
Print Applicant's Name:

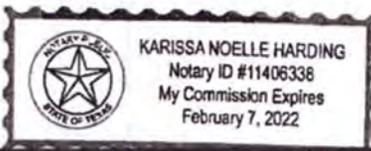
T. Miller Sylvan
Applicant's Signature:

The State Of Texas
County Of Dallas

Before Me Karissa Noelle Harding (notary) on this day personally appeared Miller Sylvan (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Said) Given under my hand and seal of office this 26th day of August, A.D. 2019



Karissa Noelle Harding
Notary In And For State Of Texas

Tony O. Scarton
Print Property Owners Name:

Tony O. Scarton
Property Owner's Signature:

The State Of New Mexico
County Of Bernalillo

Before Me Leslie Lopez (notary) on this day personally appeared Tony O. Scarton (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Said) Given under my hand and seal of office this 28th day of August, A.D. 2019



Leslie Lopez
Notary In And For State Of Texas New Mexico



CU19-08
PD1A-01

Shady Oaks MHP

ACKNOWLEDGEMENT

All Planned Development Overlay Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

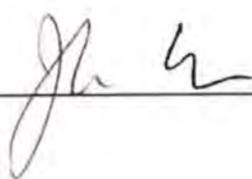
Any changes to a site plan (no matter how minor or major) approved with a planned development overlay can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

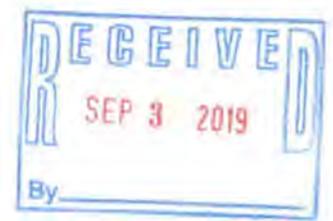
I have read and understand all of the requirements as set forth by the application for planned development overlay and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant 

Date: 8-26-19

Signature of Owner 

Date: Aug 29, 2019



CH 19-28
PD 19-01

Grapevine Storehouse LTD

ACKNOWLEDGEMENT

All Planned Development Overlay Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan (no matter how minor or major) approved with a planned development overlay can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

I have read and understand all of the requirements as set forth by the application for planned development overlay and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant *L. Miller*

Date: 8-26-19

Signature of Owner *Tony O. Leaton*

Date: 8-28-19





MEMORANDUM

To: Bryan Grant
JPI Construction
600 Las Colinas Blvd E, Irving, TX 75039

From: Hiron Fernando, P.E.
Marianna Borrego, EIT
Kimley-Horn and Associates, Inc.
Registered Firm F-928

Date: August 29, 2019

Subject: Grapevine JPI Scribner
Grapevine, Texas
Parking Demand Analysis of Comparable Multi-Family Developments

Introduction

Kimley-Horn and Associates, Inc. was retained to conduct a parking study for the JPI Scribner Development located at Shady Brook Drive and N Scribner Street in Grapevine, TX. A site vicinity map is provided as **Exhibit 1**. The study is intended to examine the parking demand in comparable multi-family development and make observations of parking demand from the current land uses. This memorandum documents the line of inquiry which was investigated to support the City standard of 2.00 spaces per unit parking rate: national research and local observations of parking occupancy at comparable sites.

Careful sizing of parking areas to specific uses will prevent the waste of space and building materials that is caused by providing parking that is rarely if ever used. Excessive parking also has negative impacts on often-hidden issues like walkable design, storm water runoff, and urban heat island effects.

Proposed Development

The proposed multifamily development will consist of 362 dwelling units of multi-family apartments with a total of 550 bedrooms. **Table 1** shows the proposed multifamily unit mix. The proposed site is located at Shady Brook Drive and N Scribner Street, which is east of State Highway 114 and north of Northwest Highway in Grapevine, Texas. Currently, Shady Brook Drive and N Scribner Street are two-lane undivided roads with a posted speed of 30 mph. The proposed parking supply is estimated to be 623 parking spaces using 1 space per bedroom and a guest parking ratio of 0.20 spaces per dwelling unit. A site plan is provided as **Exhibit 2**.

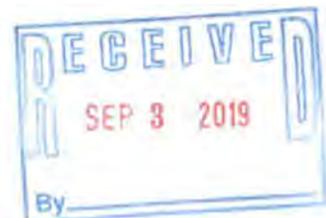




Table 1: Proposed Multifamily Unit Mix

Unit Type	Dwelling Units	Bedrooms
1 Bed Units	198	198
2 Bed Units	140	280
3 Bed Units	24	72
Total:	362	550

According to the City parking requirements, the parking ratio is 2.0 spaces per dwelling unit. Table 2 shows the total parking spaces required for the proposed 362 dwelling units based on the city parking criteria.

Table 2: City Code Parking Requirement

Parking Ratio	Total Dwelling Units	Total Parking
2 spaces per DU	362	724

Parking Research

ITE published *Parking Generation 5th Edition*, a compendium of parking demand research at sites across the country. ITE provides more information on each base parking demand rate than do most other sources, although the number of observations is still limited. The ITE tracks suburban, dense multi-use, and central business district differences. The suburban location is the most suitable for the JPI Scribner Development. Table 3 shows the average parking demand rates for suburban multifamily uses which are in similar areas to the JPI Scribner Development.

Table 3: ITE Parking Generation Demand

ITE Land Use	ITE Code	Average Parking Demand per Dwelling Unit	Average Parking Demand per Bedroom
Multifamily Housing (Low-Rise) Suburban, Weekday	220	1.21	0.66
Multifamily Housing (Low-Rise) Suburban, Saturday	220	1.31	0.80

Data Collection and Local Observations

Kimley-Horn collected parking occupancy data on Thursday, August 22, and Saturday, August 24, 2019 between 10 PM and 12 AM. The data was collected at five different multi-family apartment developments located within a 5-mile radius from the study site. The data collection included vehicles located behind the access-restricted gate, which is available for residents only; vehicles outside the gate, which is available for visitors and future residents; and parking garages. It should be noted that for this study, each enclosed parking garage is treated as an occupied parking space. A couple of sites had trailers, boats, and portable storage containers at the parking units, which were included as occupied parking spaces.



Based on the site visit observations, all the study locations had plenty of parking spaces available, therefore these transportation vehicles and storage units did not interfere with the regular parking operation on the study locations. The average occupancy across the study sites is effectively above 90%.

The data collected was conducted at the following apartment locations:

1. Grapevine Station
2. Stoneledge
3. Enclave at Grapevine
4. Terrawood
5. The Asher

As it is shown in **Table 4**, the weekday parking demand for the five study locations averaged to 1.36 vehicles per dwelling unit. The average number of vehicles per bedroom was equal to 0.94. **Table 5** shows the parking demand observed on Saturday equals to 1.34 vehicles per dwelling unit and 0.94 vehicles per bedroom. All study locations had parking garages available. Several apartments had driveways available at each parking garage, which residents use as a parking space area. This instance was counted as double occupied parking space, which created a conservative high ratio of parked vehicles per unit.

Table 4 and **Table 5** provide the number of units and the parking demand at each study location during the weekday and Saturday.

Table 4: Weekday Parking Demand

Location	Study Site	Dwelling Units	Bedrooms	Observed Parking Demand (Enclosed Garages Included)	Observed Demand per Unit	Observed Demand per Bedroom
				Overnight		
1	Grapevine Station	208	300	343	1.65	1.14
2	Stoneledge	312	463	454	1.46	0.98
3	Enclave at Grapevine	243	391	242	1.00	0.62
4	Terrawood	291	401	419	1.44	1.04
5	The Asher	450	-	581	1.29	-
Weekday 5-Site Totals:		1,504	1,555	2,039	1.36	0.94
Weekday 5-Site Averages:		301	389	408		



Table 5: Saturday Parking Demand

Location	Study Site	Dwelling Units	Bedrooms	Observed Parking Demand (Enclosed Garages Included)	Observed Demand per Dwelling Unit	Observed Demand per Bedroom
				Overnight		
1	Grapevine Station	208	300	313	1.50	1.04
2	Stoneledge	312	463	419	1.34	0.90
3	Enclave at Grapevine	243	391	330	1.36	0.84
4	Terrawood	291	401	403	1.38	1.00
5	The Asher	450	-	549	1.22	-
Saturday 5-Site Totals:		1,504	1,555	2,014	1.34	0.94
Saturday 5-Site Averages:		301	389	403		

Conclusion

The proposed supply will be the development's bedrooms plus a guest parking ratio of 0.20 spaces per dwelling unit. Based on the parking data collection and field observations, the proposed parking supply of 623 spaces, (1.72 parking spaces per dwelling unit or 1.13 spaces per bedroom) will provide an appropriate capacity to meet the parking demand for the proposed multifamily development.

According to ITE parking average rates, 474 spaces meet the parking criteria for the 362 units (550 bedrooms). The observed demand shows a total of 517 parking spaces. Therefore, by applying a conservative parking ratio per dwelling unit, the proposed supply will provide a satisfactory amount of parking spaces. These results show that the actual parking demand is comfortably below the City standard of 2.0 spaces per unit.

Table 6 shows a summary of the parking analysis for the proposed multifamily development.

Table 6: Parking Analysis Summary

Source	Parking Ratio/Dwelling Unit		Parking Ratio/Bedroom		Total Parking Spaces (362 DU, 550 Bedrooms)
	Weekday	Saturday	Weekday	Saturday	
City Code Parking Requirement	2.00		-		724
ITE Average Rate	1.21	1.31	0.66	0.80	474
Observed Demand	1.36	1.34	0.94	0.94	517
Proposed Supply	1.72		1.13		623

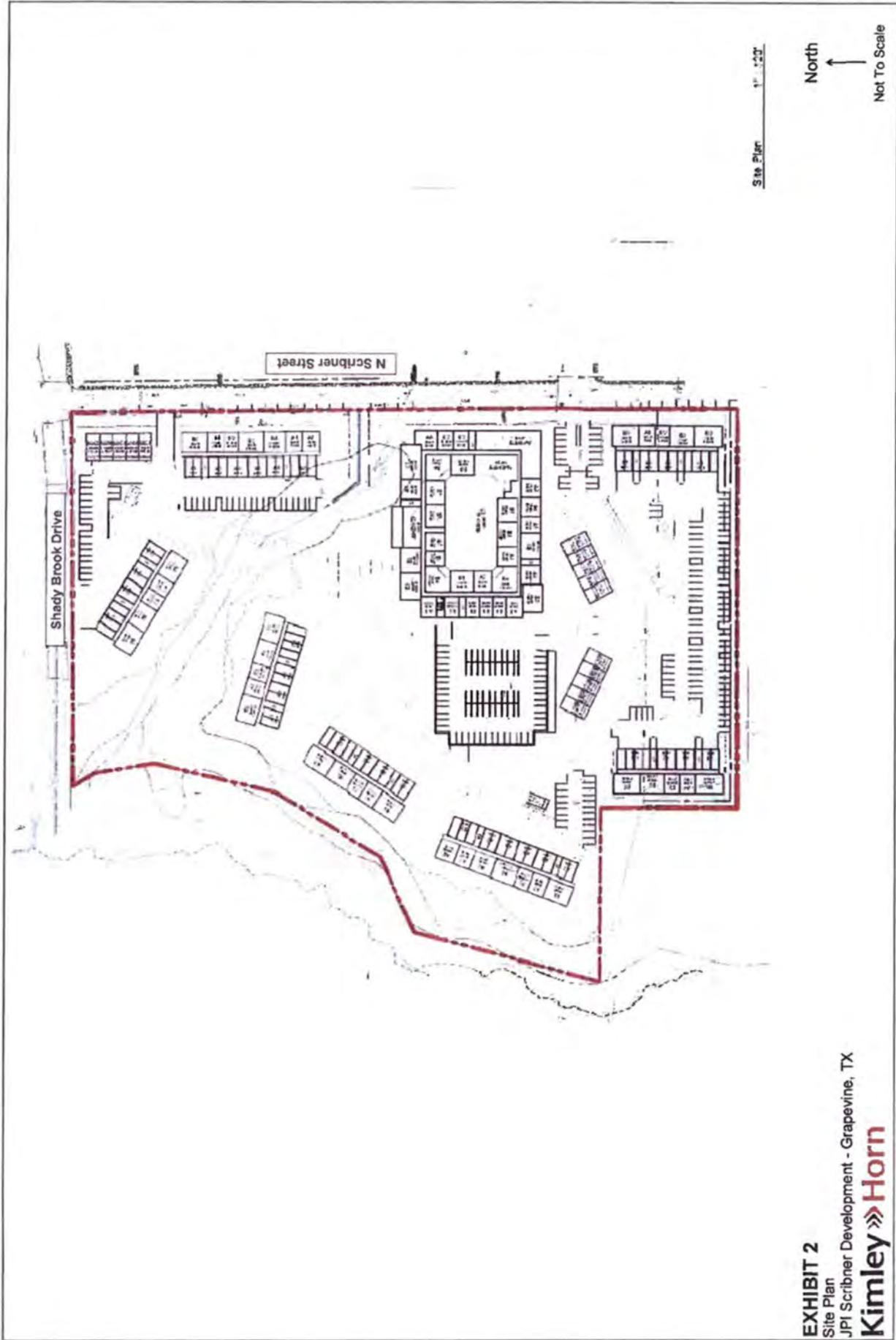
END

Attached:

- Exhibit 1 - Vicinity Map
- Exhibit 2 - Site Plan
- Parking Count Data Summary Table



EXHIBIT 1
Vicinity Map
JPI Scribner Development - Grapevine, TX
Kimley»Horn





Parking Count Data Summary Table

Location	Apartment Complex	Total Dwelling Units	Total Bedrooms	Thursday	Saturday	Thursday		Saturday	
				(8/22/2019)	(8/24/2019)	(8/22/2019)		(8/24/2019)	
				Vehicles Counted	Vehicles Counted	Observed Parking Demand per Dwelling Unit	Observed Parking Demand per Bedroom	Observed Parking Demand per Dwelling Unit	Observed Parking Demand per Bedroom
1	Grapevine Station 1022 Texan Trail	208	300	343	313	1.65	1.14	1.50	1.04
2	Stoneledge 401 Boyd Dr	312	463	454	419	1.46	0.98	1.34	0.90
3	Enclave at Grapevine 2311 W Grapevine Mills Cir	243	391	242	330	1.00	0.82	1.36	0.84
4	TerraWood 3225 Grapevine Mills Blvd N	291	401	419	403	1.44	1.04	1.38	1.00
5	The Asher 3535 Bluffs Ln	450	-	561	549	1.29	-	1.22	-

ORDINANCE NO. 2019-068

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, GRANTING ZONING CHANGE Z19-04 ON A TRACT OF LAND OUT OF THE THOMAS MAHAN SURVEY, ABSTRACT NO. 1050 (431 SCRIBNER STREET), DESCRIBED AS BEING A TRACT OF LAND LYING AND BEING SITUATED IN THE CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS MORE FULLY AND COMPLETELY DESCRIBED IN THE BODY OF THIS ORDINANCE; ORDERING A CHANGE IN THE USE OF SAID PROPERTY FROM "R-MH" MANUFACTURED HOME DISTRICT AND "R-MF-2" MULTIFAMILY DISTRICT TO "R-MF" DISTRICT; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND A ZONING CHANGE AND AMENDMENT THEREIN MADE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, applications were made to amend the Official Zoning Map, City of Grapevine, Texas by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas as required by State statutes and the zoning ordinances of the City of Grapevine, Texas and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas at a public hearing called by the City Council did consider the following factors in making a determination as to whether these requested changes should be granted or denied; safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control, protection of adjacent property from flood or water damages, noise producing elements and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood, location, lighting and types of signs and relation of signs to traffic control and adjacent property, street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood, adequacy of parking as determined by requirements of this ordinance for off-street parking facilities, location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust, effect on the

promotion of health and the general welfare, effect on light and air, the effect on the transportation, water sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas at a public hearing called by the City Council of the City of Grapevine, Texas did consider the following factors in making a determination as to whether this requested change should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, the effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, the City Council further considered among other things the character of the district and its peculiar suitability for particular uses and with the view to conserve the value of buildings, encourage the most appropriate use of land throughout this city; and

WHEREAS, the City Council of the City of Grapevine, Texas does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and does find that the change in zoning lessens the congestion in the streets, helps secure safety from fire, panic and other dangers; promotes health and the general welfare; provides adequate light and air; prevents the overcrowding of land; avoids undue concentration of population; facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas has determined that there is a necessity and need for this change in zoning and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified; and, therefore, feels that a change in zoning classification for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas and helps promote the general health, safety, and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City of Grapevine Ordinance No. 82-73, being the Comprehensive Zoning Ordinance of the City of Grapevine, Texas same being also known as Appendix "D" of the City Code of Grapevine, Texas, be, and the same is hereby amended and changed by Zoning Application Z19-04 to rezone the following described property to-wit: being a 12.2078 acre and 2.44 acre tracts of land out of Thomas Mahan Survey, Abstract No. 1050, Tarrant County, Texas (431 Scribner Street), more fully and

completely described in Exhibit "A", attached hereto and made a part hereof, which was previously zoned "R-MH" Manufactured Home District and "R-MF-2" Multifamily District is hereby changed to "R-MF" Multifamily District, all in accordance with Comprehensive Zoning Ordinance No. 82-73, as amended.

Section 2. The City Manager is hereby directed to correct the official zoning map of the City of Grapevine, Texas to reflect the herein change in zoning.

Section 3. That in all other respects, the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinances and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future, to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed two thousand dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an

emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of October, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Shawna Barnes
Assistant City Secretary

APPROVED AS TO FORM:

City Attorney

PLEASE SEE

JEFFERSON SHADY BROOK
AFFIDAVIT OF COMPLIANCE BOOK

AND

JEFFERSON SHADY BROOK
PROPOSED LUXURY
MULTIFAMILY COMMUNITY BOOK

FOR

EXHIBITS

ORDINANCE NO. 2019-069

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ISSUING CONDITIONAL USE PERMIT CU19-28 FOR LOT 1, BLOCK 1, JEFFERSON SHADY BROOK ADDITION (431 SCRIBNER STREET), TO EXCEED DENSITY, REDUCE THE FRONT YARD SETBACK, INCREASE HEIGHT, AND REDUCE PARKING IN A DISTRICT ZONED "R-MF" MULTI-FAMILY DISTRICT REGULATIONS, ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning & Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect

on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit No. CU19-28 to exceed density, reduce the front yard setback, increase height, and reduce parking, in a district zoned "R-MF" Multi-Family District Regulations within the following described property: Lot 1, Block 1, Jefferson Shady Brook Addition (431 Scribner Street) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not

to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of October, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Shawna Barnes
Assistant City Secretary

APPROVED AS TO FORM:

City Attorney

PLEASE SEE

JEFFERSON SHADY BROOK
AFFIDAVIT OF COMPLIANCE BOOK

AND

JEFFERSON SHADY BROOK
PROPOSED LUXURY
MULTIFAMILY COMMUNITY BOOK

FOR

EXHIBITS

ORDINANCE NO. 2019-070

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ISSUING PLANNED DEVELOPMENT OVERLAY PD19-01 FOR LOT 1, BLOCK 1, JEFFERSON SHADY BROOK ADDITION (431 SCRIBNER STREET) TO DEVIATE FROM, BUT NOT BE LIMITED, TO REDUCING THE SIDE YARD SETBACK, INCREASING THE OVERALL PERCENTAGE OF UNITS BETWEEN 600-750 SQUARE FEET, INCREASING MAXIMUM BUILDING LENGTH, AND REDUCING BUILDING SEPARATION REQUIREMENTS RELATIVE TO THE "R-MF" MULTIFAMILY DISTRICT ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS PLANNED DEVELOPMENT OVERLAY PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a planned development overlay by making applications for same with the Planning & Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested planned development overlay should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the

immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested planned development overlay should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 41 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this planned development overlay, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the planned development overlay lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this planned development overlay and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this planned development overlay for the particular piece of property is needed, is called for, and is in the best

interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a planned development overlay in accordance with Section 41 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Planned Development Overlay PD19-01 to deviate from, but not be limited to, reducing the side yard setback, increasing the overall percentage of units between 600-750 square feet, increasing maximum building length, and reducing building separation relative to the "R-MF" Multifamily District within the following described property: Lot 1, Block 1, Jefferson Shady Brook Addition (431 Scribner Street) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein planned development overlay.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of October, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Shawna Barnes
Assistant City Secretary

APPROVED AS TO FORM:

City Attorney

PLEASE SEE

JEFFERSON SHADY BROOK
AFFIDAVIT OF COMPLIANCE BOOK

AND

JEFFERSON SHADY BROOK
PROPOSED LUXURY
MULTIFAMILY COMMUNITY BOOK

FOR

EXHIBITS

CC ITEM # 4, 25, 26, 27, 28
PZ ITEM # 4, 7, 8, 9, 10



JEFFERSON SHADY BROOK

Affidavit of Compliance
Multi-family Design Standards

04 October 2019

Scott Williams
Director Development Services
City of Grapevine
200 S. Main Street
Grapevine, TX. 76051

RE: Design Standards – Compliance Letter
"Jefferson Shady Brook"

Dear Mr. Williams,

Thank you for your time and consideration for our Jefferson Shady Brook project. We are including this letter as part of our submittal package to confirm the status of our proposed development's compliance with the City of Grapevine's Design Standards.

As a design team, we have worked for the past several months with Robin McCaffrey and Craig Melde, who provided invaluable assistance to our team. Through this collaborative effort with Robin and Craig, we have developed a masterplan and architectural design direction that complies with the Multifamily District Standards.

Our site is not located within any of the 5 specific districts identified by the City of Grapevine. However, in conjunction with input from Robin and Craig, we included district specific design elements that we could apply to our design.

Our site contains several unique natural characteristics, and our masterplan was developed in a way that worked with and enhanced these features. With a significant presence along Scribner, we are able to create a new definition to the street edge – upgrading and enhancing the street frontage and strengthening the connection to other residential and commercial areas in the neighborhood. The existing topography on our site is very challenging and features 34' of grade change in the "buildable" zone, and an additional 10' of slope down to a creek that borders the western portion of our site. One of the ways we addressed this challenge was to locate the buildings in a way that works **with** the land instead of against it. As part of our development, the creekside area will be cleaned and preserved – allowing the healthy, green areas to thrive and become an inviting atmosphere for our residents. The 3 story buildings along the creek frontage are arranged in a strategic manner creating a resort-like environment along the western portion of our site.

The primary outdoor amenity is centrally located within the site and has radiating pedestrian connections throughout the community. These connections are anchored by two clearly defined 'plazas' which feature special paving and planting areas. The location of the buildings are informed by this outdoor amenity, which serves as the "heart" of the development.

In order to preserve the natural characteristics of the site, the 362 residential units are located in an arrangement of 11 buildings. Ten of these buildings are 3-stories in height, and one building is 4-stories. All of the 3-story buildings also feature "tuck-under" garages. The



William Beaman
4100 S. Hwy 190
Suite 410
Addicks, TX 75001
714.211.6100
Suite 1101
Addicks, TX 75002
william@beaman.com

Mr. Scott Williams, City of Grapevine
Design Compliance Letter
04 October 2019
page 2

development includes a small parking garage (2 levels with no interconnecting ramp), which is strategically located to help reduce the need for site retaining walls, while increasing the green areas of the site. This garage also provides shaded parking spaces for the residents. The residential units include Efficiency units, 1BR, 2BR, 3BR and Brownstone (3-story) units.

The Design Aesthetic for the Architecture and Landscape elements will follow a "Prairie Lodge" direction. The buildings will be expressed in a tri-partite architecture – visually organizing the building into three sections, similar to a Classical column, namely: base, shaft and capital. The palette of materials for the exterior skin of the buildings will include brick, stone, cast stone accents with minimal areas of stucco. The Architecture will also feature generous balconies, pitched roofs with wide overhangs and support brackets. Craig and Robin proved to be valuable resources to our team, and we developed the design in an authentic way, staying true to the original tenets of Prairie style architecture.

Our team would like to thank you and the City of Grapevine for your thoughtful consideration of our project. We look forward to continuing our working relationship with you and the City staff as this project moves forward.

Best regards,
Wilder Benshaw Architects Inc.



Don Wilder, AIA LEED® AP
Principal

Cc: file
JPI



District-Specific Design Standards

1. Architectural Accommodations of Grade Change

Does the plan retain grade to support the building plate including terraces, patios, decks and any accessory buildings adjoined to the primary structure?

Complies:

Yes

No

In Spirit

Comments:

Building 1 accommodates grade by dropping to basement level and stepped pool courtyard. The site responds to grade with retaining walls to keep a more harmonious building pad and drives for both the residents and the fire department. Retaining walls are either a part of the architectural wall of the buildings or are extended from, and integrate with, an architectural plane. The centrally located garage is also in response to grade with a basement level to provide our residents with covered parking and easy access into Building 1. The garage is also needed to meet parking standards as defined by The City of Grapevine.

2. Pedestrian Connection Beyond The Project And District

Does the plan provide pedestrian connections from units within the project to existing trails, sidewalks or other public and private walkways.

Complies:

Yes

No

In Spirit

Does the plan provide pedestrian connections to places within the development that abut pedestrian walkways that the City's approved plans identify for the future?

Comments:

We are providing pedestrian connectivity within the community to provide residents access to other buildings, community amenity areas. We are also adding a pedestrian sidewalk along Scribner St and Shady Brook Rd to enhance the pedestrian experience outside of our site

3. Preserve and/or Restore The Natural Characteristic Of The District

Does the plan include landscape development that continues the natural characteristics of the projects surroundings?

Complies:

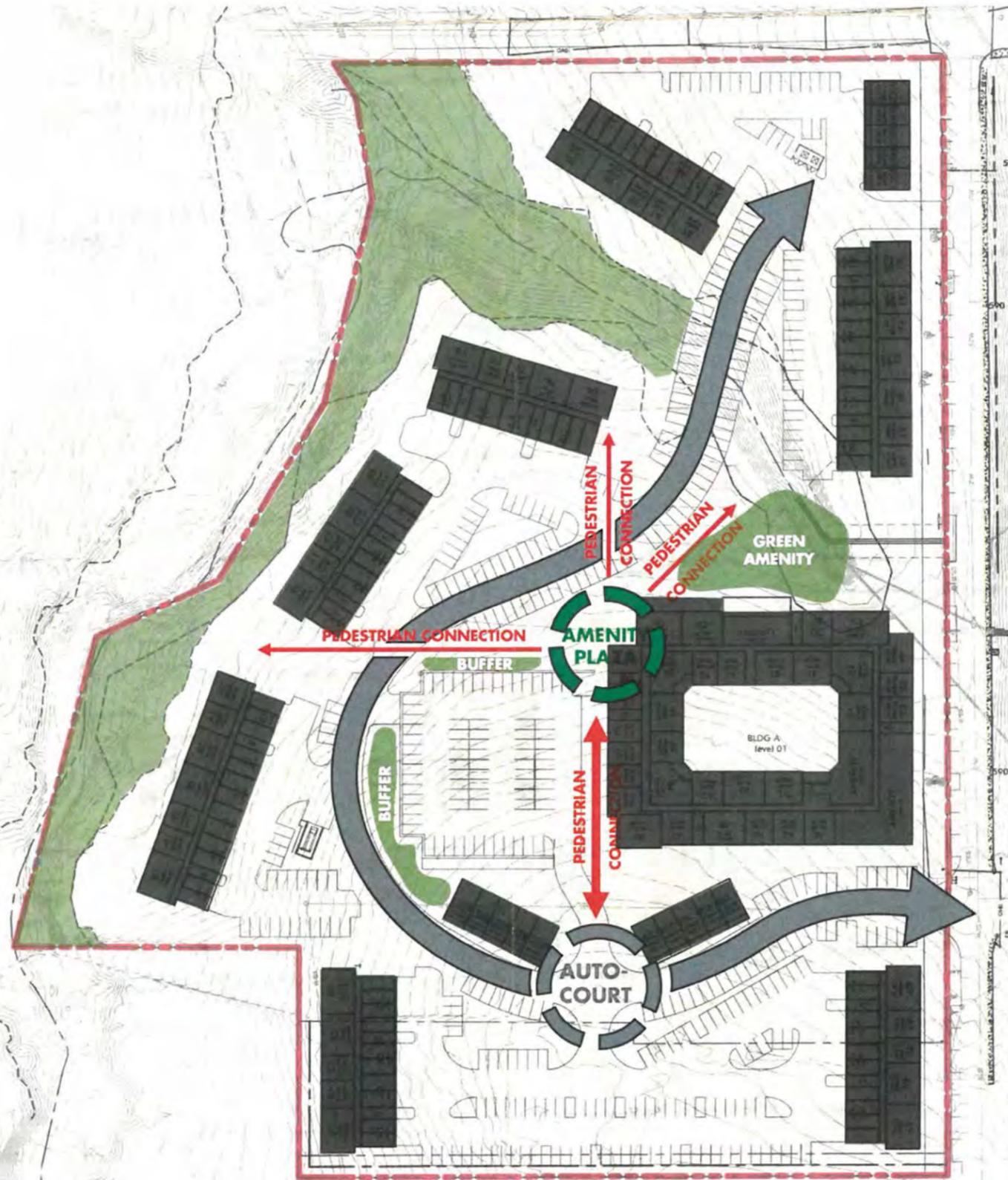
Yes

No

In Spirit

Comments:

The overall vision for the landscape plan is to utilize a naturalized, riparian plant palette which reflects the original character of the property. The design team's focus is that of biomimicry, allowing the native vernacular of the landscape and native flora to be on display within the development while also allowing for a cohesive, safe, and sophisticated development that appeals to the community and residents alike. Transitioning from the natural creek area to the more developed streetscape, the landscape will reflect that of a riparian stream buffer transitioning to a developed landscape with hints of biomorphism.



Wilder Belshaw Architects
3875 Ponte Avenue Suite 410 Addison, TX 75001
214.969.0500 phone www.wilderbelshaw.com

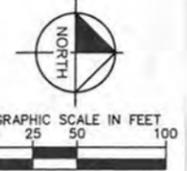
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18 SEPTEMBER 2019

JEFFERSON SHADY BROOK
Grapevine, Texas



CC ITEM # 4, 25, 26, 27, 28
PZ ITEM # 4, 7, 8, 9, 10



JEFFERSON SHADY
BROOK
GRAPEVINE, TEXAS
EXISTING TOPOGRAPHY

Kimley»Horn
13455 Noel Rd
Suite 700
Dallas, Texas 75240
972-776-1785
State of Texas Registration No. F-928

DWG NAME: K:\CAL_CIVIL\444855_01_GRAPEVINE\CA\444855\1001_EXISTING CONDITIONS.DWG
LAST SAVED: 1/22/2019 11:38 AM

NOTE: THIS PLAN IS CONCEPTUAL IN NATURE AND HAS BEEN PRODUCED WITHOUT CONTACT WITH THE CITY, COUNTY...

4. Perpetuate Residentially Derived Styling And Forms

Complies:
Yes No In Spirit

Does the plan use the following architectural components?

- Pitched roof (gable or hip)
- Organized roof massing where a dominant roof has subordinate roofs that extend form it.
- 12 inch roof overhang
- Roofed porches and balconies
- No more than 45 horizontal feet of continuous wall without a horizontal offset of at least 4 feet
- Dormers that break the cornice
- Windows that align both horizontally and vertically
- Openings in architectural forms defined by a roof are located symmetrically within the form
- Three stories maximum. These three stories may be over a parking podium.
- Openings are treated with a jamb and/or head surround
- The Void-to-Solid relationship for window-in-wall elements is less than 50%

Comments:

Not Applicable

5. Provide Buffer Adjacent To Residentially Adverse Conditions

Does the plan provide a buffer between residential land use and adjacent environmental conditions (e.g. loud sound) that would negatively impact the livability of the residential land?

Complies:
Yes No In Spirit

Comments:

Not Applicable

6. Provide A Land Use And Scale Transition Between Multifamily/Vertical Mixed-Use Development And Abutting Single Family Development.

If the plan abuts an area of single-family residential land use, does it provide a "residential transition"? A residential transition must include two components:

Complies:
Yes No In Spirit

- Height Transition: For any element with a height above 35ft, this element can't exceed one foot above 35ft in height for every 1ft of setback beyond 15ft. For example, you may have 36ft at 16ft setback, 37ft at 17ft and so on.
- Scale Transition: Any element located within 20ft of a property line abutting a single-family land use must not have an elevation face area more than 1200 sq. ft.

Comments:

A portion of our western boundary is abutting single family residential, however it is separated by a heavily wooded area. Our building height is well below the maximum height allowed by the residential height transition outlined above. The residential transition allows for up to 70 feet in height based on the location of our building, and our building is only 39 feet in height. Our closest building is 198 feet away from the nearest single family home and is 50 feet away from the property line.

7. Provide Development That Maximizes Uses Appropriate To The Value Of The Setting And/Or Characteristic Of The Context.

Complies:
 Yes No In Spirit

If the surrounding street-level use is NOT predominately residential, does the plan provide—or is the structure such that it could be leased to provide—first-floor or street-level land uses that are consistent with the context?

If the plan has a distinct locational opportunity (such as being close to logistic, movement or transit hubs), does it provide—or is the structure such that is could be leased to provide—first-floor or street-level land uses that are consistent with this context?

If the answer to either question is YES, does the plan provide—or could be rented to provide—these land uses for at least 70% of the street-fronting first-floor space?

Comments:

Not Applicable

8. Perpetuate Commercially Derived Styling And Forms

Complies:
 Yes No In Spirit

Does the plan employ architectural styles and forms that include the following elements:

- A predominately flat roof concealed by a raised parapet of at least 12in in height
- All openings are vertically and horizontally aligned
- Balconies are projected
- Steel construction is exposed
- The first floor plate is at least 15ft high at the street level
- Void-to-solid relationships are 50% or greater void

Comments:

Not Applicable

9. Preserve And Extend Thematic Streetscapes

Does the plan continue the established streetscape of its surrounding District?

Complies:

Yes

No

In Spirit

This includes:

- Matching light fixtures and spacing of light fixtures
- Matching tree species, scale, placement and spacing
- Matching paving material and paving pattern
- Continuation of defined inset areas for on-street parking

Comments:

Not Applicable

10. Maintain Compatibility With District Thematic Sign Features. Does the plan provide signage that is compatible with signage in the surrounding District? This includes:

Complies:

Yes

No

In Spirit

- Maintaining the relationship of signage to street-fronting building planes
- Maintaining the general appearance of the District's signage
- Maintaining sign illumination consistent with the District and its nightscape
- Use of sign types consistent with the District and the context. This includes commercial tenant signs, premise signs and project signs.

Comments:

Not Applicable

11. Provide Responsive Interface To Open Space And Open Space Amenities.
Does the plan address open space in ways that extend the open space into the project? This includes:

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- Elimination of parking aprons in the foreground between the structure and the open space
- Extension of landscape species and patterns characteristic of the open space into the project
- Orientation of buildings to that building placement breaks free from the normal orthogonal relation to street and bears relationship to features of the larger landscape
- Extension of trails into the project
- Use of fence design that does not visually disrupt the continuous ground plane

Comments:

Fences at the perimeter, especially along the naturalized areas, are intended to be placed to blend with the native landscape and, where possible, disappear amongst the native plantings. Pedestrian trails, both for resident and community use, will be placed along portions of the perimeter of the site to encourage a sense of connectivity and walkability. Trees, shrubs, grasses and groundcovers selected for the site will be selected to be native, drought tolerant, and sustainable for the City of Grapevine's future.

12. Resort/Lodge/Prairie Styling And Forms. Does the plan use architectural styles derived from resort/lodge/prairie architectural precedents? These include: Complies: Yes No In Spirit

- Flat pitched gable or hipped rooves with long and un-interrupted ridges and cornices
- Large roof overhangs with structural bracing such as brackets, angled braces, canted braced and exposed rafters
- Tapered columns that are full masonry or have masonry bases
- Use of flat roofs to accent pitched roofs
- Variable plate heights
- Vertical and Horizontal alignment of openings
- Openings in architectural forms defined by a roof are located symmetrically within the form
- Use of decks and terraces
- Architecturally enclosed balconies
- Projected window jambs and/or headers
- Structural details derived from timber construction detailing
- Use of siding and masonry
- Upper story insets within, or projections over, a lower story base

Comments:

Our plan utilizes a prairie style architectural style and includes pitched roofs, variable plate heights, large roof overhangs, vertical and horizontal alignment of openings and architecturally enclosed balconies.

13. Curvilinear Organization Of The Development Plan

Does the plan have a curvilinear organization? This includes:

Complies:
Yes No In Spirit

- Gracefully meandering streets and drives with bends in the street and drive alignment that is responsive to grade
- Merging street intersections where operations permit
- Organically-shaped parking areas
- Building orientations that are not tied to uniform street frontage
- Drifted groupings of trees in lieu of straight rows with uniform spacing

Comments:

Our design complies

14. Conceal Visibility Of Service And Parking Functions

Does the plan place service and parking functions so that such functions are NOT in the foreground yard space between any arterial or primary street and the buildings that are facing that street?

Complies:
Yes No In Spirit

Comments:

Our plan complies

15. Perpetuate Historic/Indigenous Derived Architectural Styling And Forms.
Does the plan employ architectural styles and forms derived from the historic or indigenous character of the District? Such aspects include:

Complies:
Yes No In Spirit

- Commercially-scaled first floor with a 15ft plate
- For building of three floors or greater, a tripartite architecture
- Decorative and embellished front parapet
- Street canopy
- Portrait orientation of openings and subversion of openings
- Continuous vertical corners often expressed as pilasters
- Occasional use of roof forms as accent elements on the front elevation
- Void-to-Solid ratio with greater void at the street level and greater solid at other levels
- Treatment of openings with jamb and/or header surrounds
- Use of belt courses to establish horizontal reference for placement of openings
- Use of decorative brick bands and details

Comments:

Not Applicable

16. Use Of Thematic Exterior Material, If Such Material Is Characteristic Of District And Complies With The General Material Standards.

Complies:
 Yes No In Spirit

If there is a surrounding District context, does the plan continue with the use of the dominant and characteristic material of the surrounding District?

If so, is the use of that material in compliance with the General Material Standards of the Building Manual?

Dominant use of material means material that comprises at least 70% of the building exterior excluding openings.

Comments:

Our design complies

17. Orthogonal/Block Orientation Of The Development Plan. Does the plan have a block/orthogonal organization? This includes:

Complies:
 Yes No In Spirit

- Straight streets with right angle intersections
- Continuous street wall defined by alignment of buildings
- Uniform spacing of street trees and street fixtures
- Continue the urban blocks which are adjacent to the project
- Have decorative cross walks or other intersection enhancements

Comments:

Not Applicable

18. Pedestrian/Residential Activity Connection Between The Public Street And Living Units Fronting The Street.

Complies:
 Yes No In Spirit

Does the plan present the public street with an external expression of the residential activity? This means that the street level of the residential development is not commercially used or made capable for commercial use. This includes porches, stoops, terraces, patios, fenced front yards and steps up from an approach grade.

Comments:

Our design complies, the ground floor living units are not commercially used and include fenced yards and patios.

19. Maintain Height And Scale Compatibility With The Height And Scale Characteristic Of District.

Complies:
 Yes No In Spirit

When height and scale are important attributes of the surrounding District's identity, is the plan compatible with this height and scale? Such compatibility can be achieved through one or both of the following:

- Upper-story setbacks that create a building mass at the street consistent with context
- Horizontal offsets at the street level which reduce the lower floor presentation of mass when the characteristic block size is exceeded. This creates the image of a block that is further subdivided through built recognition of individual properties as described in the "Bay Modulation" section of the Building Manual.

Comments:

Not Applicable

20. Use Of Bay Modulation Patterns That Are Compatible With Bay Modulation Of The District.

Complies:
Yes No In Spirit

Does the plan create a street frontage that continues the bay modulation of the block? Bay modulation refers to the architectural expression of individual buildings within the block face.

This is important to emulate the traditional block face of a downtown where buildings are normally built lot-line to lot-line in direct juxtaposition. In such downtowns, there is a complex street wall referred to as the "Bay" and the rhythmic and varied offset and appearance of that bay is referred to as "Bay Modulation."

Comments:
Not Applicable

21. Provide An Urbanized Streetscape. Does the plan provide an urbanized streetscape along the primary street frontage that is consistent with the characteristic urban street fabric within the District? Key features of an urbanized streetscape include:

Complies:
Yes No In Spirit

- The architectural plane fronting the primary street must create a continuous street wall along the primary street frontage. Buildings must establish a “built-to” zone which extends from the primary street front property line and extends into the property a distance of 3ft and at least 75% of the primary street frontage must lie within this zone. NOTE: the location and depth of this zone may be modified upon City approval when the modification results in lateral expansion of a sidewalk space for a sidewalk restaurant or sidewalk retail or in the creation of an arcade along the street.
- Street trees used in the streetscape should continue the use of an existing tree species when the larger urban setting contains a thematic tree. If the surrounding urban setting does not have a thematic tree, the plan must choose from a list of approved plants.
- Street lights must continue the uniform spacing and placement characteristic of the surrounding primary street. When a larger urban setting contains a thematic light or light standard, the plan must use that light standard. When no thematic light exists, the plan must choose a light or light standard appropriate for urban streetscape use.
- Decorative paving should continue the characteristic paving material and pattern of the urban context when that context includes a thematic sidewalk treatment. When no thematic treatment exists, the project must use a sidewalk paving material and pattern appropriate for urban streetscape use.

Comments:

Not Applicable

22. Provide A "Borrowed Landscape" For The Primary Street Frontage

Does the plan provide a "borrowed landscape" along the primary street frontage that preserved the general character of the District? This includes:

Complies:
Yes No In Spirit

- Elimination of parking aprons or walls between the building and street unless the landscape space abutting the street is greater than 20ft
- Creation of an expanded parkway that is varied in dimension with the minimum parkway expansion being 15ft from the street right of way and with variations in width occurring at least every 200ft. Creation of pads for horizontal mixed use qualifies as varied Borrowed Landscape space
- Use of a pedestrian trail in lieu of a pedestrian sidewalk. Sidewalks within the borrowed landscape space must be meandering pedestrian ways at least 8ft wide.

Comments:

We comply

23. Promote Horizontal Mixed Use

Complies:
Yes No In Spirit

Does the project create opportunities for stand-alone retail/restaurant pads within the street frontage of the primary street? In no case should the provision of a retail pad consume more than 50% of the multifamily frontage.

Where the multifamily frontage is 300ft or less, a retail pad leave-out is not required. This retail pad requirement may be waived upon City Approval but a requirement for variable street definition (#24) still applies

Comments:

Not Applicable

24. Provide Variable Street Definition Within The Block Face Along Primary Streets

Complies:
Yes No In Spirit

Does the plan create a variable street definition through the variable setback of multifamily structures fronting the primary street? No more than 50% of the project frontage may adhere to a uniform setback dimension. Horizontal offsets in the development plan set back line must be no less than 10 ft.

Comments:

We comply. Building B-II has a different setback from the rest of the buildings along Scribner St. Please refer to the colored site plan 'RZ-Exh 1' attached to this document. Also, please refer to site plan drawings (full-size sheets) for further information.

	District Specific Standards (A = Applicable)	360/Airport District	Grapevine Mille South District	Grapevine Mills North District	Gaylord/SH 26 District	Central Transit District
1	Architectural accommodation of grade change	A			A	
2	Pedestrian connection beyond project and district	A	A	A	A	A
3	Preserve/restore characteristic natural mosaic	A	A			
4	Residentially derived styling and forms/pitched roof		A	A*		
5	Buffer adjacent environmental encroachments	A				
6	Land use/scale transition from MF/SF		A	A		
7	Maximize value capture opportunities	A				A
8	Commercially derived styling and forms		A	A**		A
9	Preserve/perpetuate thematic streetscape					A
10	Compatible with district, thematic signage features		A	A		A
11	Responsive interface with open space and amenities		A	A	A	
12	Resort/lodge derived styling and forms	A			A	
13	Curvilinear organization of development plan	A	A	A	A	
14	Conceal visibility of service/parking functions from arterials/primary roads	A			A	A
15	Historic/indigenous derived styling/forms					A
16	Use of thematic exterior material if characteristic of district and complies with standards					A

A* = When closer to topography and golf course

A** = When closer to Regional Roadways and other commercial areas

17	Orthogonal, block organization of development plan					A
18	Pedestrian/residential activity connection between street and living unit fronting street					A
19	Height and scale compatibility with height and scale characteristic of district					A
20	Bay modulation pattern compatibility with thematic bay modulation of district					A
21	Urbanized streetscape					A
22	Provide "Borrowed" landscape for street enhancement	A				
23	Promote horizontal mixed-use	A	A	A		
24	Variable street definition to create a more complex street scape				A	

A* = When closer to topography and golf course

A** = When closer to Regional Roadways and other commercial areas

General Standards for Multifamily Development

Part A: Site and Design

a. Contextual Relationships

- 1. Community Structure:** Each plan for a project larger than 100 units must provide:
- | | | | |
|--|-------------------------------------|--------------------------|--------------------------|
| | Complies: | | |
| | Yes | No | In Spirit |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
- i. **Benches:** at least one every 700ft or one per block, whichever is less
 - ii. **Bike Racks:** a capacity for 4 bikes at each residential building and 14 at the central pedestrian facility
 - iii. **Trash Disposal Units:** one trash receptacle at each bench
 - iv. **Pedestrian Lighting:** one light standard at least every 100ft

Comments:

Each of the items above, will be strategically placed throughout the development site (adjacent to buildings, open space, dog park, plaza areas, street frontage).

- 2. Cognitive Structure:** Development site plans should avoid a "maze-like" arrangement of streets and drives and should provide a clear demarcation of sub-areas arranged with reference to an internal destination.
- | | | | |
|--|-------------------------------------|--------------------------|--------------------------|
| | Complies: | | |
| | Yes | No | In Spirit |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Comments:

The site is organized to create a central pedestrian destination with pathways linking the primary and secondary project amenities (plaza space, dog parks, pool courtyard, lookouts, etc.). All of the open spaces are easily accessible no matter which building the resident is in.

- 3. Edge Definition:** Planting of the edge must provide visual concealment of at least 70% of the perimeter fence using evergreen plants. Moreover, at least 70% of these plants must have foliage from ground to top capable of providing a screen. Edge screening must be planted in natural drifts that appear as native plant clusters.
- | | | | |
|--|-------------------------------------|--------------------------|--------------------------|
| | Complies: | | |
| | Yes | No | In Spirit |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Comments:

Landscape material will be used in natural drifts to conceal the perimeter fence as mentioned above. Buildings and planting arranged around natural edge of creek to enhance and preserve natural drifts and native planting,

- 4. Traffic Calming:** Any multifamily plan must illustrate traffic calming measures using traffic tables, intersections, traffic circles, chokers, roadway neck downs at intersections, center island narrowing or rumble strips. Speed bumps are prohibited.
- | | | | |
|--|-------------------------------------|--------------------------|--------------------------|
| | Complies: | | |
| | Yes | No | In Spirit |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Comments:

Internal pedestrian crossing have traffic tables and enhanced paving for traffic calming. Developed streetscape and parallel parking will increase street activity and calm traffic at Scriber St.

b. Connections Beyond The Project

1. Relationship With And Connections To The City Fabric: The site plan for any multifamily development must portray the extent to which the following elements of the City Fabric are continued or otherwise responded to:

Complies:
Yes No In Spirit

i. **Curb Cuts and Driveways:** Development plans much seek to continue flow between projects by coordinating points of ingress and egress so that efficient maneuvers to and from serving public streets are possible. Coordination of routing traffic volumes anticipated by individual project TIA's is a required consideration of a development plan being considered by the City.

ii. **Thoroughfares And Roadways:** A development plan that lays within the path of a thoroughfare as planned or committed to by adjacent development or of a thoroughfare that has been adjusted by the Council must make provision for the extension of the right of way of such thoroughfare when traffic projected densities necessitate extension.

iii. **Trails:** A proposed multifamily development plan must consider appropriate trail routing through the proposed development so that a cohesive trail network can evolve over time.

iv. **Open Space:** The proposed development plan must consider extension of the open space or expansion of the open space, or consider how development portrayed by the development plan can relate to and define the open space.

v. **Contextual Characteristics:** Any multifamily development plan must illustrate how various aspects of the context will also be manifest in the development design. Key aspects of the context include streetscape themes, continuity of water or water bodies, extension of indigenous plant drifts, continuity of road sections, treatment of parking, protection of and continuity with adjacent land uses, continuation of tree canopies and canopy species, continuity of natural features, extension of surface water management strategies, and continuity of edge treatments.

Comments:

A Traffic Impact Analysis (TIA) was completed to evaluate the impacts to the adjacent roadway network and potential improvements to offset the development. The current layout proposes the primary entrance in line with the existing Peach Street and Scribner Roadway intersection. The entrance will provide two in-bound lanes and two out-bound lanes for traffic. The secondary entrance (resident only) is proposed 140± ft. from the Scribner/Shadybrook intersection which exceeds the City driveway requirements. Intersection improvements at Northwest Highway include the extension of the right turn lane as recommended by the TIA. The improvements proposed with the project are consistent with the traffic impact analysis completed for the development. The developer intends on continuing to work with the City for additional enhancements along Shady Brook.

Scribner and Shadybrook adjacent to the proposed development are not part of the thoroughfare plan.

The site has been designed to maximize open space with the current layout including over 40% open space which is more than double the city required open space. Please refer to the 'Recreational Open Space' sheet for compliance.

c. Lot Occupancy

1. In a development plan that's required to be curvilinear as outlined by the District Specific Standards, such a plan must establish a building relationship to the street such that:

Complies:
Yes No In Spirit

- i. At least 60% of the interior street and drive-fronting buildings within the development plan design and 75% of buildings facing public streets serving the project must be sited so that the front building plane (the plane facing the street) is not parallel to the street right of way.
- ii. A minimum of 30% of the yard space along interior streets and drives, and 50% of the yard space fronting public streets serving the project, must be covered by a landscape approach defined by organic plant massing and natural drifts.

Comments:

Interior buildings and private drives are orientated in a curvilinear pattern to respond to natural features and topography of the site. Landscaping in the space between curvilinear drive and parking garage will soften edge of orthogonal edge of the structure.

2. **Building Relation to the Street and Orthogonal Plan Layouts:** Plan designs that are required to be orthogonal, as outlined by the District Specific Standards, must establish a building relationship to the street such that:

Complies:
Yes No In Spirit

- i. The development plan must establish a "build-to" line for the interior streets and drives of the project that will vary from the required 3ft build-to line along the plan's exterior public streets as specified in the District Specific Standards. This build-to line must be at least 9ft from the street or drive back of curb.
- ii. The presence of repetitive stoops, terraces or porches which project into the yard space created by the build-to line cannot be closer than 5ft to the street or drive back of curb and must project at least 4ft from the primary building mass. These projections must be architecturally contained such that they are part of the overall façade composition. The offset space created between the projected stoop, porch or terrace and the primary building mass must be a landscape space, leaving a 5ft minimum pedestrian space at the street edge.

Comments:

Not Applicable, our project is curvilinear as mentioned above

d. Parking: Placement and Configuration

1. Parking Facility Type:

Complies:
Yes No In Spirit

i. **Structured Parking:** Parking within the Transit Center Character Zone must be structured when the project exceeds 20 units per acre. Projects exceeding 40 units per acre in any other Character Zone must provide structured parking.

ii. **Surface Parking Areas:** Projects with a unit density between 28 and 39 units per acre that provide aggregated surface parking must comply with the following:

1. Aggregated parking areas with more than 70 parking spaces (not including street or drive head-in parking) must be located in a place that is not visible to the primary street serving the project or located so that the parking area may be screened. Parking garages located such that they front a public street must have architectural elevations that complement the design style of the multifamily structures. "Complement" in this context means that they must share similar horizontal offsets, organization of openings, and use of materials.

2. Aggregated parking areas in non-orthogonal development plan designs must also have a curvilinear configuration.

3. Aggregated parking areas must be landscaped

Comments:

Development features a single level parking garage structure that frees up space to provide curvilinear parking drives and interior pedestrian pathways. Structured parking and surface parking concealed from primary Street (Scribner St.) by the placement of buildings along the street. The site offers an array of parking types - parking garage, surface parking, private garages and private tandem spots behind the garage in select locations. The parking has been dispersed throughout the site to offer each resident each type of parking and shortened travel distances to their building.

2. Head-in parking along streets: Before the parking demand for aggregated parking areas is determined, head-in street and drive parking must be provided to the extent permitted by the streetscape design.

Complies:
Yes No In Spirit

Comments:

Parallel parking to be provided at Scribner St.

e. Site Open Space Requirement

1. **Open space as a percent of total development area:** At least 20% of the site area identified in any multifamily plan must be set aside as open space. Site areas that qualify as open space set asides include:
- | | Complies: | | |
|---|-------------------------------------|--------------------------|--------------------------|
| | Yes | No | In Spirit |
| i. Areas protecting existing natural features and/or plant communities | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| ii. Areas used for the surface management of storm water that are not structures | | | |
| iii. Any retained water | | | |
| iv. Project amenity areas that are visually accessible from streets and/or drives | | | |
| v. Playgrounds | | | |
| vi. Pedestrian trails | | | |
| vii. Borrowed street landscape areas | | | |
| viii. Pedestrian accessible areas between structures open to access by the project population | | | |

Comments:

Building orientation and open space areas have been strategically placed and designed to take advantage of the sites existing topography and natural amenities. A combination of undistributed open space and developed amenity areas will contain at least 40% of the above mentioned features which is more than double the city requirement. These features will be physically and/or visually accessible from interior drives and pedestrian corridors by the project population.

2. **Form giving influence:** Open space provided within any development plan must serve as a frontage for at least 25% of the structures within the project, where buildings can define the edge of open space, except for the Transit Center District where street frontage is prioritized.
- | | Complies: | | |
|--|-------------------------------------|--------------------------|--------------------------|
| | Yes | No | In Spirit |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Comments:

Interior drives and surface parking are arranged around central "serpentine" drive, giving form and shape to interior vehicular circulation.

f. Preservation of Natural Drainage

1. **Natural Drainageways:** Any development plan for multifamily development in Grapevine must illustrate the extent to which natural drainage within the lot, parcel or tract exists and is preserved through design initiatives that preserve, restore or replicate natural drainage patterns. Any disruption of natural drainage patterns must be approved by the City of Grapevine.

	Complies:			
	Yes	No	In Spirit	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Comments:

The current building orientation and building placement on the site is to respond to the existing topography which has up to 40' of grade change. In addition, the buildings were placed as to take advantage of the natural features primarily located along Moorehead Branch on the west side of the property. To accommodate for the steep topography, the multi-family buildings located along Scribner road include building breaks in an attempt to match the roadway's grade. In more sever areas where building breaks would not be sufficient (adjacent to the wrap building for example), a basement level was added. Internal to the site, a two story garage assists in preserving natural grade while also assisting in transitioning grade. The site will comply with the tree protection provisions of the city's ordinance.

g. Storm Weather Management Facilities

1. **Storm weather management structures:** Any development plan for multifamily development in the City of Grapevine, where structured storm water management solutions are required must adhere to the following:

Complies:
Yes No In Spirit

i. **Minimize structured means of water management:** Plans must minimize the use of cross drainage structures, armored channels, concrete flow ways, and other structured solutions to storm water management, unless such structures are for the purpose of creating a pedestrian or urban activity at a water edge.

ii. **Maintain natural shapes and form in the creation of detention/retention facilities and created drainageways (a.k.a. flow management facilities):** Water collection points and/or pools created by nature have shapes that are clearly organic. Therefore, plans should avoid straight lines, hard angles, and regular geometric shapes in the creation of flow management facilities.

iii. **Landscape with natural elements:** Where storm water management design creates conditions that support indigenous plants, measures must be taken to landscape such facilities in ways that allow such plants.

iv. **Respect natural sub-systems:** Proper design of flow management facilities should, where appropriate, include diverse ecological settings such as deep water (limnetic zones) in combination with shallow water (littoral zones), wetlands, ephemeral flows, and greater states of hydration which can support plant communities associated with these zones.

Comments:

The proposed drainage plan intends on preserving the natural drainage patterns of the site. The existing site generally drains from the southeast corner to the west where an Intermittent Stream (Moorehead Branch) currently resides. There is an ephemeral stream branch which begins on-site at an undersized culvert before joining the Moorehead Branch. The proposed development intends on directing majority of the developed flow through underground storm systems into the ephemeral stream. The storm plan and proposed drainage patterns will be coordinated with and approved by the City of Grapevine Engineering Department prior to construction. Outfalls to Moorehead Branch will be limited in an effort to reduce the number of structured storm water management facilities constructed with the development. Due to the location of the site, no detention ponds are proposed nor required based on drainage studies completed. The Erosion Hazard setbacks as defined by the City along Moorehead Branch will be accommodated.

Landscape materials will be used to enhance any storm water management facilities that are planned for the project site.

h. Grading

1 Grading for multifamily development in the City of Grapevine must adhere to the following:

Complies:
Yes No In Spirit

i. **Avoid steep grades:** Grades equal to or greater than 20% are considered steep and shall not be graded to create building lots. However, individual buildings which make grade transition within the building, porch or terrace expansions are permitted and therefore the limited disturbance of grade needed to accomplish this is permitted also.

ii. **Conform to standards for tree protection:** Any tree over three inches in caliper remaining on a lot, parcel or tract (that is, trees not approved for removal) and exposed to the building activity or within 30ft of the building activity (hereinafter regulated trees) shall be protected as follows:

a. **Tree fencing:** Regulated tree trunks shall be protected within a visible "tree fence" at least 36 inches tall and protecting the tree and ground around the tree to a minimum distance from the trunk equal to the distance of the tree drip line or 10 feet, whichever is less.

b. **Tree marking:** All regulated trees shall be marked with a green surveyor tape which indicates "Protected Tree" status.

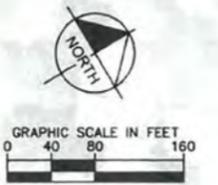
c. **Ground compaction avoidance:** Measures shall be taken to minimize ground compaction within the dripline of a Regulated Tree. Grading within the ground protected by a tree fence is prohibited.

d. **Maintenance of normal hydration:** Measures shall be taken to maintain normal hydration of a Regulated Tree.

Comments:

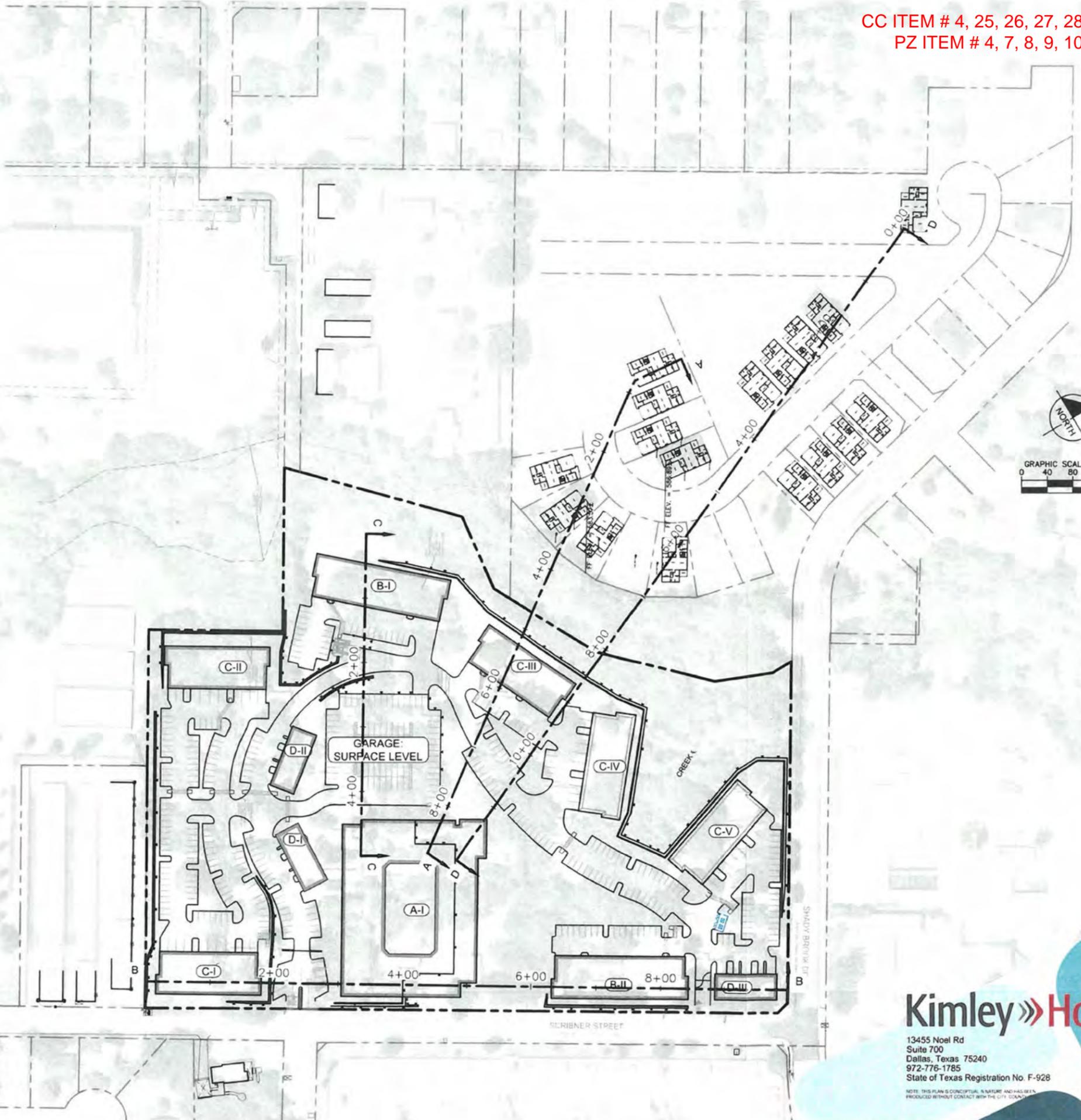
The intent of the current grading concept plan is to create two tiers for the site. Both tiers will have grades in compliance with the City of Grapevine standards with retaining walls being added where proposed grades would exceed 20%. The two tiers are intended to minimize the amount of walls located throughout the site by concentrating the grade change in specific areas. The development will continue to coordinate with the fire department on the grades throughout the site. All retaining walls are architecturally integrated.

The current building orientation and place on the site is to response to the existing topography and natural features on the site. To preserve the natural terrain of the site, buildings have been placed along the creek a lower elevations to reduce the need for tall retaining walls. Subgrade podium parking has been designed to take advantage of the topography to reduce the impact of surface parking and create more opportunities for amenities and open space, and landscape areas. The site will comply with the tree protection requirements of the city's ordinance.



JEFFERSON SHADY BROOK GRAPEVINE, TEXAS OVERALL EXHIBIT

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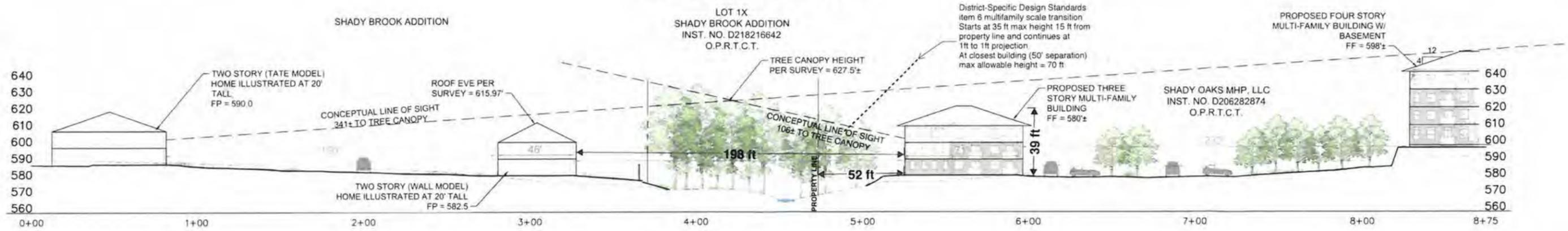


Kimley»Horn

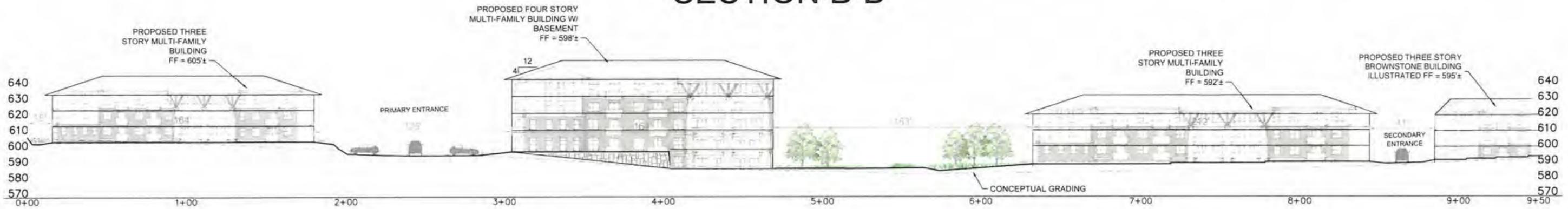
13455 Noel Rd
Suite 700
Dallas, Texas 75240
972-776-1785
State of Texas Registration No. F-928

NOTE: THIS PLAN IS CONCEPTUAL IN NATURE AND HAS BEEN PRODUCED WITHOUT CONTACT WITH THE CITY OF GRAPEVINE.

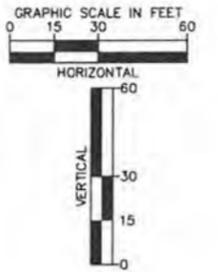
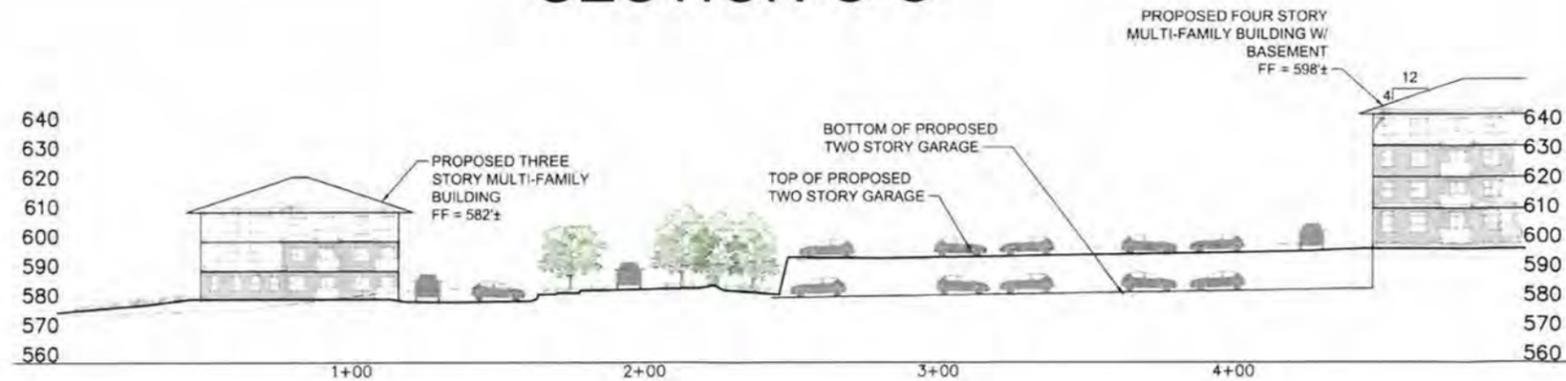
SECTION A-A



SECTION B-B



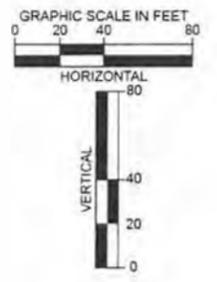
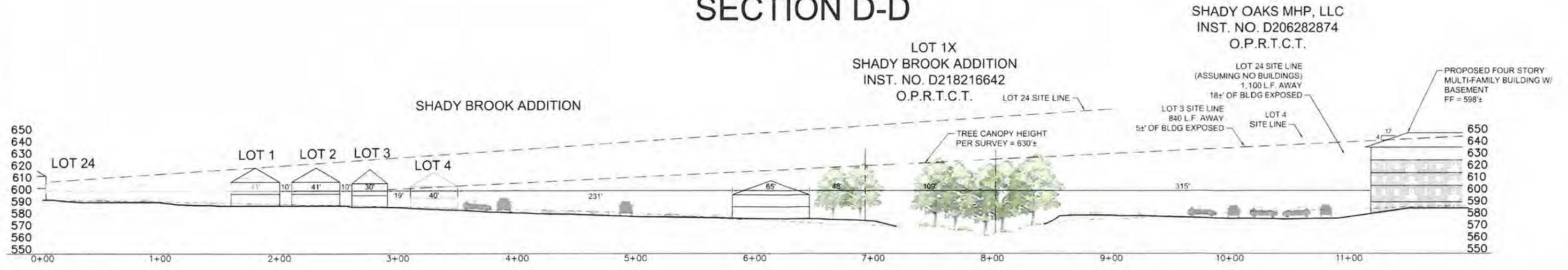
SECTION C-C



**JEFFERSON
 SHADY BROOK
 GRAPEVINE, TEXAS
 CROSS SECTION EXHIBIT**

Kimley»Horn
 13455 Noel Rd
 Suite 700
 Dallas, Texas 75240
 972-776-1785
 State of Texas Registration No. F-928

SECTION D-D



JEFFERSON
SHADY BROOK
GRAPEVINE, TEXAS
CROSS SECTION EXHIBIT

Kimley»Horn

13455 Noel Rd
Suite 700
Dallas, Texas 75240
972-776-1785
State of Texas Registration No. F-928

NOTE: THIS PLAN IS CONDITIONAL. A NATURE RESERVE HAS BEEN PRODUCED WITHOUT CONTACT WITH THE CITY GOVERNMENT.

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Part B: Building Design Standards

a. Street Interface

1. Semi-public space adjacent to streets:

Complies:
Yes No In Spirit

i. Canopies and store fronts are limited to urban setting such as primary street frontage in the Transit Center Character Zone.

ii. In any single building block, there must be at least one expression of a first-floor, semi-public space within the street-facing elevation. If a canopy of storefront is used to meet this standard, it must occupy at least 50% of the length of the elevation.

2. Residential Design Standards: If building frontage defines the edge of an open space, each building block must have at least one first-floor pedestrian space that is part of the architectural design.

i. Store fronts must be set within a minimum first-floor plate height of 15ft. and must be comprised of vertical and horizontal subdivisions within which any area of un-supported glass is no smaller than 16 square feet. Vertical and horizontal subdivisions shall be at least two inches wide.

Comments:

Facade facing streets will have stoops, terraces and patios overlooking street. Perimeter fencing will be placed in spaces between building - direct access to the street will be provided as the grading of the site allows for it. The Leasing Center for the development will anchor the corner of the 4-story building and will feature a double height space, which allows for additional glazing at visibility.

2. Residential Design Standards: If building frontage defines the edge of an open space, each building block must have at least one first-floor pedestrian space that is part of the architectural design.

Complies:
Yes No In Spirit

i. Store fronts must be set within a minimum first-floor plate height of 15ft. and must be comprised of vertical and horizontal subdivisions within which any area of un-supported glass is no smaller than 16 square feet. Vertical and horizontal subdivisions shall be at least two inches wide.

Comments:

Duplicate - see above

b. Elevation Composition

1. The exterior design of any multifamily structure must comprise an overall pattern. This pattern includes:

Complies:
Yes No In Spirit

- i. Regulating lines that organize its elements
- ii. Proportioning
- iii. Hierarchy of dominant and subordinate elements

Comments:

The design reflects the relationship between the architectural and the structural elements. A visual pattern of materials, hierarchy of elements and lines express the functionality and organization of the buildings. The architectural design direction follows a Modern Prairie aesthetic, and features wide roof overhangs, generous balconies, and low-sloped pitched roof lines. The Leasing Area and primary resident's Amenity area are expressed as towers, which become the dominate features of the 4-story building.

b. Elevation Composition (continued)

2. Openings and features of any building must have a common justification.

Complies:
Yes No In Spirit

i. When a pitched roof design is used, all windows—except dormer windows—must be below the cornice detail.

ii. When a flat roof design is used, all windows must be at least 2ft below the parapet.

iii. When both a pitched roof and flat roof design are used in the same elevation, the window heads must align horizontally.

iv. Windows may abut the cornice detail if the window header modulates the banding or detailing of the cornice.

v. Openings within an elevation must have a common reference line that engages the sill or head.

vi. Windows within an elevation must have a common vertical reference line from the first to the top floor.

vii. Windows must align with the features that define the architectural form. For example, windows in a gable cannot be arbitrarily distributed within the face of the gable unless specifically approved by the City.

viii. Excepting first floor store front or vertical mixed-use structure, all openings must be square or portrait in orientation.

ix. Windows, doors and other openings must be articulated within a projected surround or header unless otherwise approved by the City.

Comments:

Design complies - refer to Elevations for compliance.

b. Elevation Composition (continued)

3. All elevations of a structure must receive equal treatment of style on all elevations of a structure so as to avoid the common pitfall whereby only the street-facing façade is adequately styled and structured.

Complies:
Yes No In Spirit

Comments:

All elevations follow the design with regard to concept and exterior materials. Buildings that don't face the street frontage feature the same design and usage of materials that the buildings that are feature on the frontage. Refer to elevations.

4. Forms created within the elevation, such as towers, bays and plate changes, must be derived from functions within the plan. Design approaches which seek to decorate a "space plan" derived independent of the elevation design are prohibited.

Complies:
Yes No In Spirit

Comments:

Elevations respond to interior functions of the building with different exterior articulation for vertical circulation, amenity spaces and leasing office. Refer to elevations and 3D model for compliance.

**CONCEPT
MODEL VIEWS**

CC ITEM # 4, 25, 26, 27, 28
PZ ITEM # 4, 7, 8, 9, 10



Wilder Belshaw Architects
3875 Ponte Avenue Suite 410 Addison, TX 75001
214.969.0500 phone www.wilderbelshaw.com

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JEFFERSON SHADY BROOK
Grapevine, Texas





Wilder Belshaw Architects
3875 Ponte Avenue Suite 410 Addison, TX 75001
214.969.0500 phone www.wilderbelshaw.com

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JEFFERSON SHADY BROOK
Grapevine, Texas





Savoys2 at Vitruvian Park 3875 Ponte Ave
 Suite 410 Addison Texas 75001
 The Arnold in East Austin 1621 E. 6th Street
 Suite 1151 Austin Texas 78702
 214.969.0500 phone www.wilderbelshaw.com

Project Name:

JPI

600 E. ...
 ...

Issues and Revisions:

No. Date
 01 10/11/19



24 BLDG. A - SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

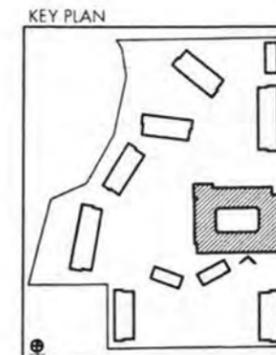
72.32% BRICK/STONE
 27.68% STUCCO



06 BLDG. A - SCRIBNER ELEVATION

SCALE: 3/32" = 1'-0"

71.53% BRICK/STONE
 28.47% STUCCO



**Jefferson
 Shady Brook**

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name
**BLDG. A - EXTERIOR
 ELEVATIONS**

CASE NAME: Jefferson Shady Brook
 CASE NUMBER: Z19-01 CU19-28 PD19-01
 LOCATION: 411 Sabine Street

 MAJOR SECRETARY

DATE _____
 PLANNING AND ZONING COMMISSION

 CHAIRMAN

DATE _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN
 CONFLICT WITH ANY CODES OR ORDINANCES
 DEPARTMENT OF DEVELOPMENT SERVICES

SHEET 27 OF 68

Sheet Number

A311



Savoys2 at Vitruvian Park 3875 Ponte Ave
 Suite 410 Addison Texas 75001
 The Arnold in East Austin 1621 E. 6th Street
 Suite 1151 Austin Texas 78702
 214 969 0500 phone www.wilderbelshaw.com

Project Owner

JPI

600 East Collier Street
 Irving, TX 75039

Issues and Revision

No.	Date	Issue
01	10.04.19	Final Issue



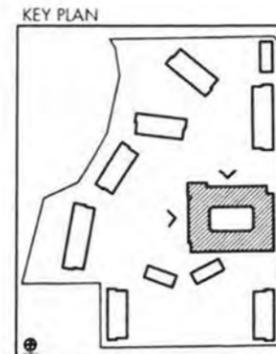
24 BLDG. A - NORTH ELEVATION
 SCALE: 3/32" = 1'-0"

71.50% BRICK/STONE
 28.50% STUCCO



06 BLDG. A - WEST ELEVATION
 SCALE: 3/32" = 1'-0"

70.18% BRICK/STONE
 29.82% STUCCO



KEY PLAN

CASE NAME: Jefferson Shady Brook
 CASE NUMBER: 27043 - CIVIL AND LANDSCAPE FOR FURTHER INFORMATION
 LOCATION: 431 Satterlee Street

_____ MAYOR	_____ SECRETARY
_____ DATE	_____ DATE
_____ PLANNING AND ZONING COMMISSION	
_____ CITY CLERK	
_____ DATE	

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES OF THE DEPARTMENT OF DEVELOPMENT SERVICES

Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name
BLDG. A - EXTERIOR ELEVATIONS

SHEET 28 OF 68
 Sheet Number:

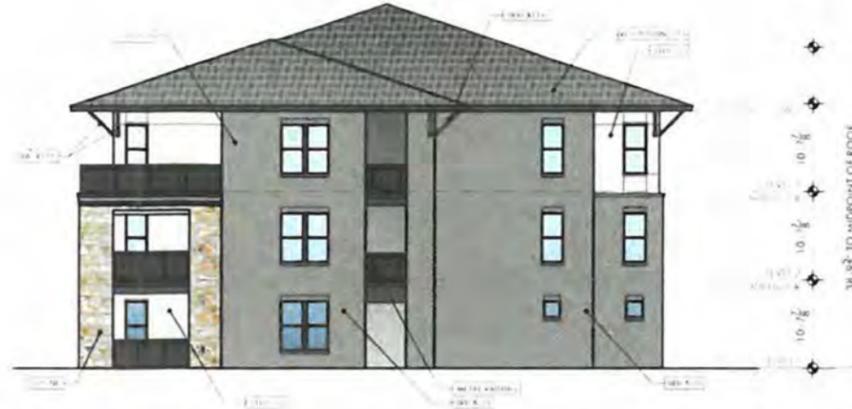
A312



JPI



30 BLDG. B - SIDE ELEVATION
 SCALE: 3/32" = 1'-0"
 80.24% BRICK/STONE
 19.76% STUCCO



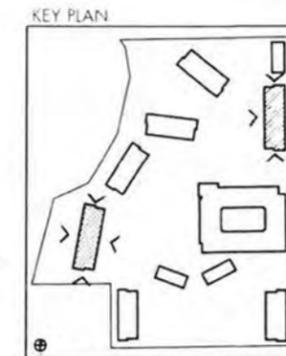
27 BLDG. B - SIDE ELEVATION
 SCALE: 3/32" = 1'-0"
 87.78% BRICK/STONE
 12.22% STUCCO



18 BLDG. B - REAR ELEVATION
 SCALE: 3/32" = 1'-0"
 82.90% BRICK/STONE
 17.10% STUCCO



06 BLDG. B - FRONT ELEVATION
 SCALE: 3/32" = 1'-0"
 80.40% BRICK/STONE
 19.60% STUCCO



DATE	DESCRIPTION

Jefferson Shady Brook

Grapvine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name:
BLDG. B- EXTERIOR ELEVATIONS

SHEET 29 OF 68
 Sheet Number:

A321



30 BLDG. C - SIDE ELEVATION
 SCALE: 3/32" = 1'-0"

84.76% BRICK/STONE
 15.24% STUCCO



27 BLDG. C - SIDE ELEVATION
 SCALE: 3/32" = 1'-0"

83.21% BRICK/STONE
 16.79% STUCCO



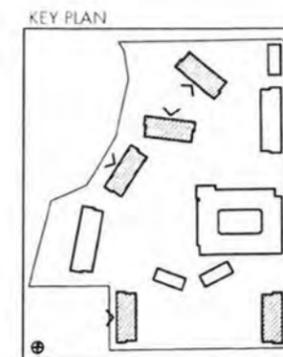
17 BLDG. C - REAR ELEVATION
 SCALE: 3/32" = 1'-0"

82.91% BRICK/STONE
 17.09% STUCCO



05 BLDG. C - FRONT ELEVATION
 SCALE: 3/32" = 1'-0"

84.90% BRICK/STONE
 15.12% STUCCO



DATE	DESCRIPTION

Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name:
 BLDG. C - EXTERIOR ELEVATIONS

SHEET 30 OF 68

Sheet Number:

A331



29 BLDG. D - SIDE ELEVATION
 SCALE: 3/32" = 1'-0"
 90.85% BRICK/STONE
 09.15% STUCCO



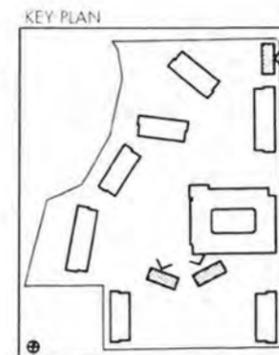
27 BLDG. D - SIDE ELEVATION
 SCALE: 3/32" = 1'-0"
 90.45% BRICK/STONE
 09.55% STUCCO



16 BLDG. D - REAR ELEVATION
 SCALE: 3/32" = 1'-0"
 80.46% BRICK/STONE
 19.54% STUCCO



04 BLDG. D - FRONT ELEVATION
 SCALE: 3/32" = 1'-0"
 85.95% BRICK/STONE
 14.05% STUCCO



DATE	DESCRIPTION

Jefferson Shady Brook

Grapvine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name:
BLDG. D - EXTERIOR ELEVATIONS

SHEET 31 OF 68
 Sheet Number:

A341

b. Street wall complexity and exterior offsets

I. Building offsets:

Complies:
Yes No In Spirit

i. Residential building blocks may not have more than 50 linear feet of wall without a wall offset.

ii. Horizontal wall offsets must be at least 4ft. This may include balconies if contained within the confines of the offset. Any balconies projected from the face must have an architectural enclosure.

iii. Architectural forms such as enclosed porches, stair towers, projected bays or stacked balconies maybe projected from the building block or recessed within it and must be accompanied by a roof in the roof massing that corresponds to the architectural form.

Comments:

Exterior facades are broken up by balconies, stair towers, and other architecturally enclosed projections. Please refer to elevations compliance standard.

d. Void to Solid Ratio

1. For the first floor of a vertical mixed-use plan wherein the first floor has a commercial use, the void-to-solid ratio must be greater than or equal to 1.5:1 (the amount of void being greater than the amount of solid). The solid portions of the first floor façade must extend vertically to the floors above and parapet detail.

Complies:
Yes No In Spirit

Comments:

Vertical mixed-use does not apply to project.

2. For floors above the first floor in a vertical mixed-use plan (or for all floors in a residential plan), the void-to-solid ratio must be less than or equal to 0.5:1 (the amount of void being less than the amount of solid).

Complies:
Yes No In Spirit

Comments:

Vertical mixed use requirement for Void-to-Solid ration is not applicable. All floors will comply with the Void -to -Solid Ratio specified for upper floors.

e. Architectural Enclosures

1. All projected stair towers, elevator shafts, and cantilevered building projections (other than balconies) must be architecturally enclosed. This means that they must be enclosed in an architectural skin and must be expressed as a roof form.

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments:

We will comply, please refer to elevations for compliance standard.

f. Roof form: Rooves and the roof lines they create are essential design elements for higher-value structures. Visible roof design must:

1. Be legible. There must be a clear organization of a dominant roof mass from which subordinate roof masses extend.

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments:

Hierarchy of higher-value elements are expressed by variation in the roof lines. Refer to elevations compliance standard.

2. Be balanced. A single roof pitch must be used within the total composition. Different roof pitches are permitted for tower forms which are not engaged with the general roof form. Permitted roof forms include gables, hips, barrels if used as secondary forms, sheds if used as secondary forms, and flat.

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments:

Roof pitches are consistent throughout project. Roof configurational variations occur at tower, or other significant elevation features. Refer to elevations compliance standard.

g. Style Integrity

1. The use of architectural detailing associated with a style must use the characteristic detailing of that style.

Complies:
Yes No In Spirit

Comments:

Details and building characteristics consistent with a streamlined Prairie Style.

2. The use of systems or materials that replicate the work of a trade or artisan are prohibited. Construction details which are traditionally derived from the work of an artisan (such as a metal smith, carpenter or stonemason) must use a material in which the characteristic craftsman can work.

Complies:
Yes No In Spirit

Comments:

Architectural details specify materials that comply with this requirement.

h. Chimneys

1. In pitched roof styles and other traditional styles, the chimney must be terminated with a chimney cap that conceals the metal spark arrestor and visually reads as a traditional tile flue system, unless otherwise approved by the City.

Complies:
Yes No In Spirit

Comments:
Not Applicable

2. In pitched roof styles and other traditional styles, the chimney shaft must be enclosed with unit masonry, stone or 3-coat stucco with a minimum dimension of 4.5ft x 3ft, unless otherwise approved by the City.

Complies:
Yes No In Spirit

Comments:
Not Applicable

3. In pitched roof styles and other traditional styles, the rise of the chimney shaft must be detailed so that the chimney has complexity in plan as well as elevation.

Complies:
Yes No In Spirit

Comments:
Not Applicable

Part C: Building Construction Standards

a. Materials and Application of Materials

1. Primary Material. At least 70% of the exterior façade of a 4-story structure or 80% of the exterior façade of a 3-story structure or 100% of the exterior façade of a structure less than 3 stories must be one of the following:

Complies:
Yes No In Spirit

i. Brick. Clay brick, modular size, hard-fired and meeting severe weather standards. Embossed or molded brick is generally prohibited unless specifically approved by the City. All brick shall be laid so as to avoid stacked joints and all building corners—both inside and outside—must be executed in a toothed masonry fashion. Weeping or slumped joints are prohibited.

ii. Stone. Stone must be laid in a typical load-bearing pattern. Characteristics of such pattern include:

1. Tight mortar joints with no more than 30% of joints larger than 3/8 inches.

2. Coursed patterns such as Ashlar, Coursed Chopped Stone and Coursed Rubbed Stone. Mosaic and un-coursed rubble stone-work are prohibited unless specifically approved by the City.

3. Cultured stone or other faux stone products are prohibited.

4. All stone must be laid so as to avoid stacked joints and all corners—both inside and outside—must be executed in a toothed masonry fashion.

iii. Other Stone. Cut stone/smoothed-face stone or Cut stone/smoothed-face stone that is mechanically attached with a stone veneer system may be used provided that the system uses a true stone.

Comments:

Our project is in compliance with the brick and stone percentage requirement with a typical toothed masonry layout (no stacked joints).

a. Materials and Application of Materials (continued)

2. Secondary Material. No more than 30% of the building façade may be a secondary material. This includes:

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

i. Stucco. 3-coat stucco on lath over a structural frame with expansion joints concealed by filling the joint with expandable filler that is troweled flat with the stucco, is the same color as the stucco and that matches the stucco surface texture is permitted. Dryvit/EFS type systems are prohibited. Stucco is not permitted in the Central Transit District.

ii. Metal. Architectural metal wall systems are permitted.

iii. Siding. Wood or Cementitious siding is permitted in those Character Zones where pitched roof styles are permitted.

Comments:

Stucco (3-coat system), siding and metal panel will be used as secondary materials but will be no more than 30% of the building facade. Please refer to elevations for these locations.

3. Roof Material. Acceptable materials include:

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

i. Flat Roof. Flat rooves may be either a built-up bituminous roof or a membrane roof provided that it is installed in accordance with the manufacturer's specifications and issued a 30-year warranty. All flat rooves must be hidden from ground level view, behind a 12-inch parapet.

ii. Pitched Roof. These may be either a standing-seam metal roof with standing folded and soldered seams, a commercial metal roof if approved by the City, slate, clay tile, or 40-year high profile composition single. All composition shingle rooves must have closed valleys. Concrete single products with a relief greater than 1/2 inch are prohibited.

iii. Parapet Cap. These must be either clay brick, cut stone, cast stone, tile, or terra cotta. Pressed metal maybe used if is it specifically created to decoratively cap a parapet and if specifically approved by the City.

Comments:

The design complies with the pitched roof design standards.

a. Materials and Application of Materials (continued)

4. Material Change. Material changes in any elevation may occur only under the following conditions:

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- i. Change occurs at an inside corner.
- ii. Change that occurs at an outside corner must wrap the corner and change at a location at least 12 inches from that corner and be designed as the termination of an architectural detail.
- iii. Change that occurs wherein the different material is contained within a distinct architectural form that projects from the primary architectural mass.
- iv. Change that reflects an offset between a lower and an upper floor where the offset is at least 6 inches. Material changes within the same architectural plane are prohibited.

Comments:

Architectural details comply with the minimum 6 in. offset requirement, as measured from face of stone/ brick to the face of stucco, where materials are changed vertically

a. Materials and Application of Materials (continued)

5. Relief. The City seeks to promote relief and dimension in architectural surfaces, details, and motifs with the following requirements:

Complies:
Yes No In Spirit

i. The following materials are prohibited: Fiberglass, Styrofoam or stucco-over-styrofoam, plastic, aluminum. Stucco applied to look like projected stone, Stucco applied to look like cast stone, Stucco applied to look like terra cotta, cementacious boards used in any application which makes a corner, cementacious boards used in any application which makes a mitre or decorative shape, Masonite or Masonite products, composition wood products used as an exterior material, trimcraft used as a soffit board, or other smooth finished soffit board.

ii. Relief in the treatment of cornices, overhangs, gable projections, bay windows, dormers, water tables, belt coursers, sills, surrounds, timber components and other expressions must be executed in ways that produce depth, shadow and texture.

iii. In coursed rubble stonework, stones must be laid into the wall as the stone would lay on the ground. No more than 20% of the stones in any elevation may be "flipped" sideways.

iv. The minimum projection in any built-up profiles and decorative assembly must be 3/4 inch per element of the assembly. A cornice detail comprised of three stepped bricks must have a total projection of 2 and 1/4 inches.

Comments:

Masonry and brick trim, sills, water tables and belt course shall have appropriate projections to create depth and shadows. All projections will comply with the 3/4 in. minimum for each component of a projected profile.

Refer to elevations for compliance.

a. Materials and Application of Materials (continued)

6. Carpentered Exterior Trim.

Complies:
Yes No In Spirit

i. All carpentered exterior trim must be high-quality finished grade wood stock.

ii. If a trim installation is to be joined along any continuous run of material, the required joint must be a "spline joint."

iii. All outside corners must be mitered and blocked with sufficient closure that the joint is not visible from the street.

iv. Corners must be closed by a carpentered joint. Trim clips are prohibited.

v. Facia and gable rake must be stepped at the drip mold unless hidden by a gutter.

vi. Carpentered trim that forms the veneer pocket must have a complexity achieved in trim mold, built-up step molding, or other traditional detail such as a dentil mold.

Comments:

We will comply

b. Wall Construction

1. Wall Section. All wood-framed exterior walls must be constructed as follows:
- | | Complies: | | |
|---|-------------------------------------|--------------------------|--------------------------|
| | Yes | No | In Spirit |
| i. When shim- or flange-mounted windows are used in masonry veneered walls, framing may be conventional 2x4 framing. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| ii. When shim-mounted windows are used in stucco veneer walls or other permitted material that does not require a masonry ledge or that does not project more than 3.5 inches from the sheathing, exterior walls must be framed with 2x6 members in order to achieve a 3.5-inch minimum offset within the opening. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| iii. When flange-mounted windows are used in stucco veneer walls or other permitted material that does not require a masonry ledge or that does not project more than 3.5 inches from the sheathing, a double 2x4 framing assembly is required that allows the flange to be mounted on the inner 2x4 section with the second 2x4 section providing the required offset from the window sash or door at the opening. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Comments:
Refer to wall assemblies and details for compliance.

2. Parapets. Where there is a flat roof, a parapet must extend at least 12 inches above the roof surface and conceal the roof material from ground-level view.
- | | Complies: | | |
|--|-------------------------------------|--------------------------|--------------------------|
| | Yes | No | In Spirit |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Comments:
Parapets will comply and will conceal the roof material appropriately

b. Wall Construction (continued)

3. Cornice Detail. All wall terminations at the roof must have a cornice detail comprised of at least 2 projected elements. Parapets must have a cap detail comprised of at least 2 projected elements.

Complies:
Yes No In Spirit

Comments:

All wall terminations will have appropriate cornice.

4. Window Surrounds, Belt Courses and Base Courses.

i. All openings in the exterior skin must have an architecturally appropriate header and sill with an optional jamb. The required header and sill must project at least $\frac{3}{4}$ inches beyond the wall veneer. Window headers or sills may be either stone, cast stone, terra cotta, heavy timber (where appropriate for the style), or wood (where appropriate for the style).

ii. Other architectural details like belt courses and base courses must be executed in the above materials and have a minimum projection of $\frac{3}{4}$ inch per element of detail.

Complies:
Yes No In Spirit

Comments:

All openings will have architecturally appropriate surrounds

c. Roof screening and appurtenances

1. Roof Projections. No plumbing stacks, venting stacks, skylights, or attic ventilators may penetrate the roof surfaces facing the street/drive. If there are multiple street/drive facing exposures, no roof projection may penetrate the roof slope that slopes to the "fronting" street or drive. All such penetrations must be mounted straight and perpendicular to the ground (except for skylights and attic ventilators) and painted to blend with the roof color. Turbine vents are prohibited. All vent stacks must have lead jacks.

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments:

Mechanical equipment to be screened as required, please refer to elevations for compliance

2. Roof Mechanical. Roof mechanical must be screened behind a parapet wall or platform that is recessed into a pitched roof so that the incline of the roof slope creates a parapet wall.

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments:

Mechanical units will be screened behind parapet wall.

3. Gutters, Downspouts, Scuppers and Collection Boxes. These must be copper or an enduring prefinished metal with a minimum 20-gauge thickness. Gutters must be a minimum of 6 inches, half-round profile and attached with gutter straps. Downspouts must be a minimum of 4 inches and round. Elbows and bends must be a minimum of 4 inches, plain and round. Fascia mounted gutter systems are prohibited unless custom designed and integral to the architecture.

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments:

We will comply

d. Windows and Glazing

1. Glazing and Glazing Systems. Reflective glass is prohibited. Tinted glass and dark adhesive films where the transmission coefficient exceeds 27% is prohibited. Stained glass is allowed provided that the glass is crafted in accordance with soldered camping or "H" camping. No acrylic or pourable techniques are allowed. Glazing systems may be used in certain accent areas of specifically approved by the City.

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments:

Glazing in the project will comply.

Part D: Landscaping, Fencing and Screening

a. Site Landscaping

1 Leaf Mass Between Buildings. All multifamily development must provide trees between buildings. At least 60% of the planted area must be comprised of over-story (canopy).

Complies:
Yes No In Spirit

Comments:

We comply.

2. Layered Landscaping at Building Entries. Landscaping must be provided at building entries and must be "layered." The building entry landscaping area must be comprised of at least 3 layers: one upper layer of medium evergreen shrub approximately 30-36 inches high and 2 layers of shorter shrubs or one shrub and an ornamental grass. These must be planted in beds having a minimum width of 72 inches. Upper layer shrubs must be 5-gallon container plants planted 30 inches on center with triangular spacing. Lower layer shrubs may be 3-gallon container plants planted 24 inches on center with triangular spacing.

Complies:
Yes No In Spirit

Comments:

We comply.

CONTINUED ON THE NEXT PAGE



OVERALL ILLUSTRATIVE MASTER PLAN

JEFFERSON SHADY BROOK • GRAPEVINE, TX • EXHIBITS

PN 8519032 | 10.04.2019 | JPI



LandDesign.

RZ-Exh 1



AMENITY COURTYARD

JEFFERSON SHADY BROOK ▪ GRAPEVINE, TX ▪ EXHIBITS

PN 8519032 | 10.04.2019 | JPI



LandDesign.

RZ-Exh 2



AMENITY COURTYARD

JEFFERSON SHADY BROOK ▪ GRAPEVINE, TX ▪ EXHIBITS

PN 8519032 | 10.04.2019 | JPI



LandDesign.

RZ-Exh 3



AMENITY COURTYARD

JEFFERSON SHADY BROOK ▪ GRAPEVINE, TX ▪ EXHIBITS

PN 8519032 | 10.04.2019 | JPI



LandDesign.

RZ-Exh 4



AMENITY COURTYARD

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LandDesign.

RZ-Exh 5



GARAGE LANDSCAPE SCREENING

JEFFERSON SHADY BROOK ▪ GRAPEVINE, TX ▪ EXHIBITS

PN 8519032 | 10.04.2019 | JPI



LandDesign.

RZ-Exh 6



OVERALL OPEN SPACE

JEFFERSON SHADY BROOK • GRAPEVINE, TX • EXHIBITS

PN 8519032 | 10.04.2019 | JPI



LandDesign.

RZ-Exh 7



USEABLE OPEN SPACE

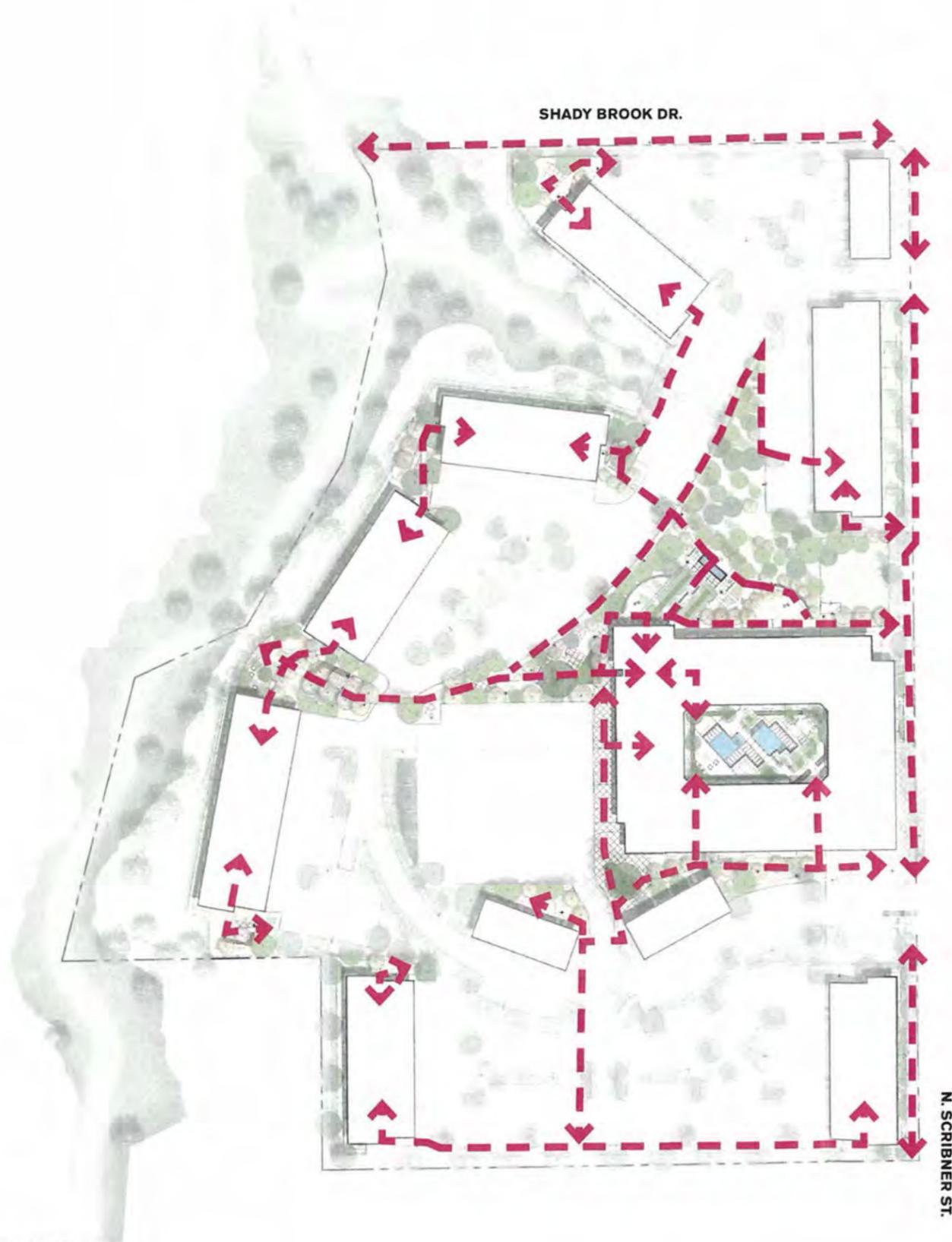
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PN 8519032 | 10.04.2019 | JPI



LandDesign.

RZ-Exh 8



W. PEACH ST.

N. SCRIBNER ST.



PEDESTRIAN CONNECTIVITY

JEFFERSON SHADY BROOK ▪ GRAPEVINE, TX ▪ EXHIBITS

PN 8519032 | 10.04.2019 | JPI



LandDesign.

RZ-Exh 9

a. Site Landscaping (continued)

3. All landscape beds must be associated with walkways, roadways, amenity feature, buildings or screens. Floating, ornamental or non-associated landscape beds are prohibited.

Complies:
Yes No In Spirit

Comments:

We comply.

4. Plant Sizing. Shrubs that serve a screening function must be sized at the time of planting such that they can serve as an effective screen within 2 years of the planting date. 3-gallon plants must be planted 30 inches on center with triangular spacing and 2-gallon plants must be planted 24 inches on center with triangular spacing. Smaller container and bedding plants must be planted at least 12 inches on center with triangular spacing..

Complies:
Yes No In Spirit

Comments:

We comply.

b. Fences and Screening Walls

1. Fence Materials. Visible perimeter fences that are compliant with the General Standards may be made of unit masonry, wrought iron with unit masonry corner columns, or masonry. If masonry, corner column and masonry interim column spacing is not to exceed 15ft and must have a masonry knee wall supporting wood or wrought iron infill.

	Complies:		
	Yes	No	In Spirit
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments:

We will have a wrought iron perimeter fence with masonry corner columns.

2. Gate Materials. Gates in fences constructed in accordance with Db1 above may be made from wrought iron with a wrought iron frame (complying with General Standards) or wood with frame members measuring a minimum of 1 and ½ inches thick by 3 and ½ inches wide and planks measuring at least 1 and ½ inches thick. Gates must be comprised of the same material as the fence.

	Complies:		
	Yes	No	In Spirit
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments:

We comply.

b. Fences and Screening Walls (continued)

3. Corner Expression of Support Structure. All property corners of a property line fence must be supported by a masonry column that is at least 10 square inches.

Complies:
Yes No In Spirit

Comments:

All perimeter fencing corners locations will comply with the above.

4. Thin wall construction, cast or embossed concrete walls, picket materials not in compliance with the General Standards, iron fences with mechanical connection assemblies, pre-fabricated decorative elements designed to slip over stock or tubular steel shapes, and plastic or vinyl fence component systems are prohibited.

Complies:
Yes No In Spirit

Comments:

All perimeter fencing corners locations will comply with the above.

c. Street Visible Wrought Iron

1. Frames and other structural support members may not be less than 1 and $\frac{3}{4}$ inches in either width measurement or 1 and $\frac{3}{4}$ inches in diameter if round.

Complies:
Yes No In Spirit

Comments:
We comply.

2. Pickets that are 5ft in length or height or less must have a minimum width of $\frac{3}{4}$ inches in either width dimension or diameter. When pickets are longer or taller than 5ft, the minimum with dimension is increased to 1 inch in the dimension that faces the street or 1 inch in diameter.

Complies:
Yes No In Spirit

Comments:
We comply.

3. Panels must be made of metal plate material with a minimum thickness of $\frac{3}{16}$ inches.

Complies:
Yes No In Spirit

Comments:
We comply.

c. Street Visible Wrought Iron (continued)

4. The wall thickness of any tubular steel must not be less than 3/32 inches.

Complies:
Yes No In Spirit

Comments:
We comply.

5. Decorative elements such as finials and rings must be made of solid stock material and welded to the pickets or to the frame made from the pickets if the pickets are solid stock material. Attachments to the pickets or frame and all other components of the wrought iron construction must be welded. Mechanical connections are prohibited.

Complies:
Yes No In Spirit

Comments:
We comply.



CC ITEM # 4, 25, 26, 27, 28
PZ ITEM # 4, 7, 8, 9, 10



JEFFERSON

SHADY BROOK
PROPOSED LUXURY MULTIFAMILY COMMUNITY



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- JPI QUALITY - INTERIORS
- JPI QUALITY - INTERIORS



04 October 2019

RE: Introduction Letter
"Jefferson Shady Brook"

To whom it may concern,

On behalf of the development team, we are pleased to be submitting this case for a proposed luxury residential community located at 431 N. Scribner Street, Grapevine, Texas. This development site consists of 3 parcels – one known as "Shady Oaks MHP", which is 12.21 acres, and is currently zoned RMH; the second site "Storehouse LP" is 1.76 acres, and is currently zoned RMF2; the third parcel is the abandonment of the Peach Street Right-of-Way, which is 0.68 acres. We are seeking a re-zoning of this combined property into a PD with a Multifamily base.

JPI is under contract on the property and will be the Owner / Developer / Operator of the proposed community. JPI is one of the most active privately held real estate companies in America. For over 30 years, JPI has been committed to both the development and investment management of Class A multifamily assets. JPI has an unmatched depth of industry-specific experience that includes garden-style communities, mid- to high-density wrap and podium projects, student housing, and mixed-use high-rise developments. More than just structures, JPI builds "living experiences" with leading-edge services and amenities that provide a pleasing and responsive environment to our residents.

JPI has deep roots in North Texas and we are proud to be nearing completion of construction on Jefferson Silverlake at Highway 26 & Bass Pro Dr. in Grapevine. When complete the community will contain 371 Class 'A' apartment homes as part of a 42 acre mixed use project. There is a significant demand in Grapevine for the type of luxury communities that JPI delivers and our team is excited to expand our presence in the City.

Shady Oaks Mobile Home Park Residents

As you are aware, the proposed community is at the current site of the Shady Oaks Mobile Home Park. Creating a relocation plan for the current residents was the first and foremost priority of this proposal. JPI partnered with GRACE to hire a case manager, provide financial assistance as well as rent relief during the transition period. GRACE has provided a letter as part of this proposal that expands on the relocation assistance and timing. It is important to note that Shady Oaks families will have 6 months before they would need to relocate which we believe is a significant amount of time to secure new accommodations for each family and the extended timing also ensures that all Shady Oaks children will be able to finish the school year. We are confident that we have the right people, partnerships and processes in place to fully support the Shady Oaks families.

Land Use

A portion of the subject property is currently zoned "R-MH" Manufactured Home District and a portion is zoned "R-MF-2" Multifamily District. Currently surrounding the site is existing multifamily zoning on portions of the east, west and southern boundaries of the property. A majority of the northern and eastern boundary of the site is occupied by city service commercial uses. A portion of the western boundary is adjacent to single family homes but the closest proposed multifamily building is almost 200 feet away from the nearest single family home and is screened by a heavily wooded area along the creek. We have provided site line studies in our submittal that depict the relationship between the proposed community and the single family homes. Due to the surrounding zoning and land uses, we strongly believe that the proposed community is a very appropriate land use and density for the subject property.

Traffic

JPI submitted a traffic impact analysis that evaluates the impact of the proposed development. We are in agreement with the City staff that intersection improvements will be needed at the intersections of Scribner St. and NW Hwy and at the intersection of Scribner St. and Shady Brook Dr. The cost of these improvements will be shared between JPI and the City in a future development agreement. If this case is approved, we will engage in exploring larger improvements to Scribner St. between Shady Brook Dr. and NW Hwy in partnership with the City.

Schools

JPI communities command a very high rent because of the level of finishes, amenities and services that we provide. The high rent coupled with a unit mix that is heavily weighted toward one and two bedroom units make our communities not as conducive to families with school-aged kids. 94% of the units are either 1 or 2 bedroom units and are not targeted toward families. In all of JPI's DFW communities, the average number of units that has school-aged children is 4.2%. This would mean that Jefferson Shady Brook is projected to have approximately 15 school-aged children. The Shady Oaks Trailer Park currently has 110 school-aged kids. The proposed community will not be a burden to the school system.

Quality Construction

JPI takes pride in designing and constructing communities that not only look good the day they open but for decades after they are built. Over 80% of the exterior façade of Jefferson Shady Brook is brick and stone. This masonry product is a sustainable material that will endure for a long period of time. The Design team worked very closely with Robin McCaffrey and Craig Melde to create a site layout that compliments the features of the property and elevations of the highest quality. The proposed community is in full compliance with the City of Grapevine's multifamily design standards which are some of the most comprehensive standards in any municipality in the State to ensure quality.

The redevelopment of this property will have a significant positive impact on the neighborhood and surrounding vicinity. Jefferson Shady Brook will attract young professionals, newly married couples and empty nesters that will not only boost restaurants and businesses in the area but will help attract new shopping and dining options in Grapevine. The PD will comply with all required ordinances, restrictions as well as the General Standards for Multifamily development with the exception of several deviations that have all been approved with previous multifamily cases in Grapevine. All of the requested deviations help increase the quality of the project and allow modern architecture principals to be achieved in the site layout.

We very much appreciate staff's thorough review of the proposal and assistance throughout the process. We look forward to presenting the proposed community in more detail at the upcoming hearing.

Best regards,

Miller Sylvan
Senior Vice President, Development Partner



October 4, 2019

To Whom It May Concern:

Shady Oaks is a trailer park community with 72 unit sites. Most of these trailers are inhabited by one or more low to very low-income families. More than 82% of these families have at least one adult working full-time, while most hold multiple jobs. The majority of these jobs are located in Grapevine. Many of these families live in Shady Oaks because they cannot get approval for other housing options due to low-income, rental/credit history, and/or citizenship status issues. Approximately 70% have at least one member of the household that is undocumented, while the majority of the children are US citizens who attend Grapevine-Colleyville Independent School District.

Earlier this year, the City of Grapevine invited GRACE to a meeting with JPI development company as JPI was in the process of negotiating the purchase of the Shady Oaks property with intent to build a multi-family housing development. I was honored to be included at this phase of the project and given the opportunity to express the multiple issues faced by low-income residents when property has been sold and eviction notices issued. It has been our history that other property owners have purchased apartment complexes, updated facilities and increased rent giving residents only months to find new housing. Most of those clients ended up at GRACE struggling to understand their options. To be a part of the process at this stage is an advantage that GRACE has not previously had.

After this meeting, my team and I began consulting other low-rent apartments and trailer parks, and evaluating housing options for this community. I became increasingly concerned about the barriers these residents will face. The average cost of rentals is significantly higher in Grapevine, and of the limited trailer parks, vacancies are almost non-existent. It is our belief that staying within the school district and even the city of Grapevine will be the goal for most of these families. However, sadly, this may not be a viable option. It became clear that in order to effectively assist these families during the transition, GRACE would need to expend significant resources in personnel and financial assistance to identify housing options throughout Northeast Tarrant County.

Therefore, we created a proposal in which JPI would create a fund to cover the direct costs of the relocation process. JPI has agreed to fund a full-time Housing Case Manager who will begin working with each family individually to assess their needs, desires, assets and barriers. We will be working to create plans for each family and have the ability to assist in their transition. Further, GRACE is working collaboratively with First United Methodist Church, GCISD, CONNECT and other area partners to provide support and guidance for these families.

On September 17, 2019, GRACE held a "Town Hall" meeting for the residents of Shady Oaks in conjunction with the FUMC Community Dinner. At this meeting, we educated the residents regarding the project, timeline and the process in which JPI is seeking approval from the city. The residents were informed that if the project is approved, GRACE and this community will be available to provide support and guidance. The Shady Oaks residents

were informed that if the project were approved they would have more than 6 months before they would need to relocate to allow the transition to happen after the school year is complete. They also learned how they can access social media platforms in order to be informed as the project progresses. It is my sincere expectation that we will establish safe and secure communications with our neighbors, and that they are confident that GRACE will walk this path with them.

GRACE will implement a transition plan to help the Shady Oaks residents relocate their families. The transition plan would include:

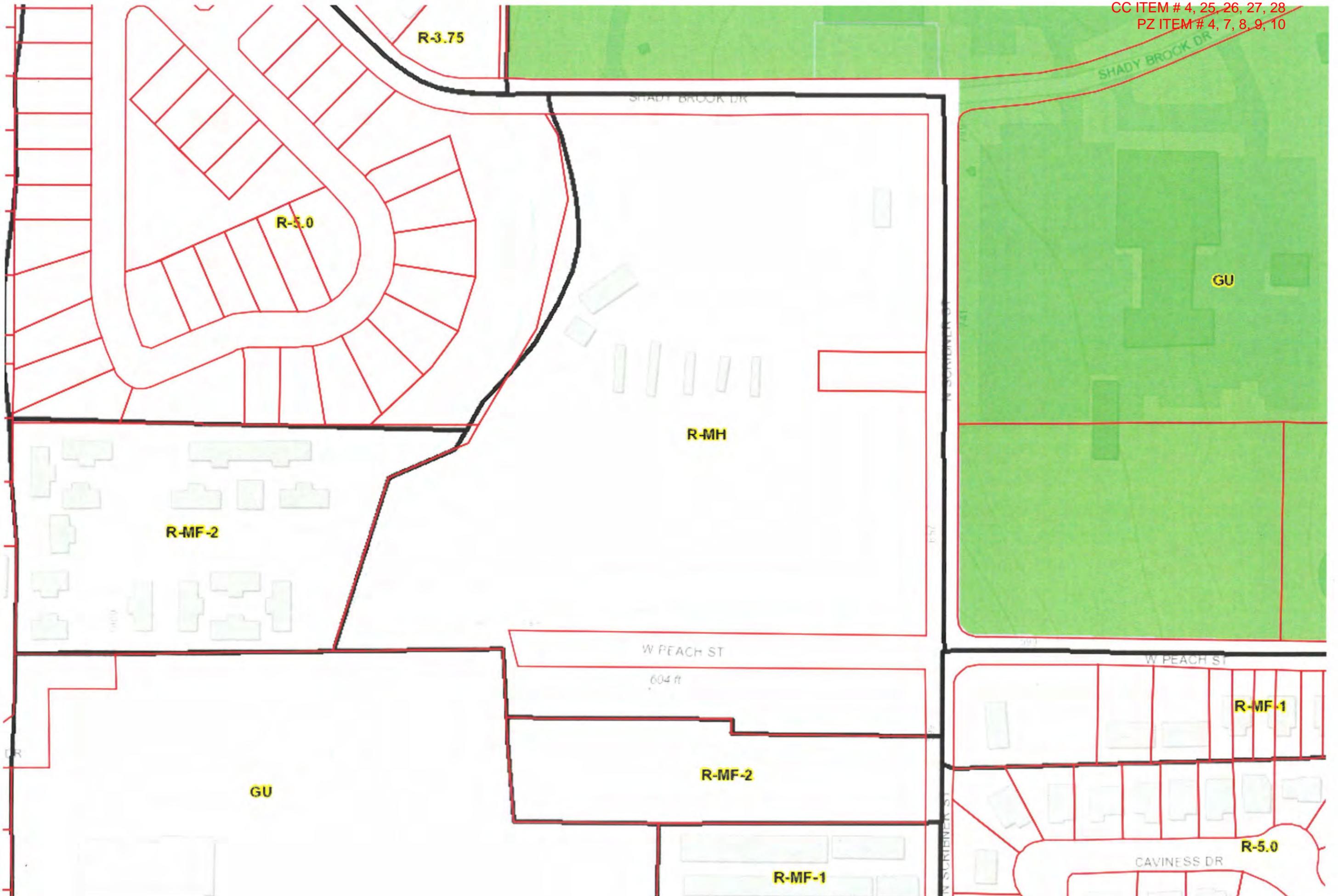
- Hiring a full-time case manager with a background in social work as well as housing programs. The case manager was hired on September 1st to begin identifying available housing options for the Shady Oaks residents. If the project moves forward, the Housing Case Manager will immediately start meeting with each family to discuss their individualized situation. This would include their family make-up, assets, overall investment in the trailer to date, paperwork or understanding of ownership, connections and support in the community, school transfers, overall options for housing, etc. The Housing Case Manager will investigate housing options for these families and review them with each family. The Case Manager will also investigate additional support options for each family including: Veteran's benefits/programs, TANF, food stamps, WIC, healthcare enrollment, etc. The time invested in each family is unknown as some of these families have very complex situations involving income, citizenship, legal and custody issues, etc. This case manager was hired for a one year period to help support the families through the transition and beyond.
- GRACE will provide wrap-around services to help the families with ongoing needs including food, clothing, gasoline assistance, utility assistance, medical care, seasonal program services, etc. In addition, GRACE will provide direct management & administration of the case management, and all ancillary processes needed to support this type of assistance.
- JPI will provide GRACE with additional funds to help with some of the expenses such as first and last month's rent, application fees, deposits, etc. to help secure new housing for each family.
- GRACE will continue to work with partner agencies, including First United Methodist Church, GCISD, etc. to connect volunteers to families to help guide them through the process of a full transition. This would include walking alongside the family as they locate new jobs, change school enrollment, fill out housing applications, etc.
- In cooperation with First United Methodist Church, Justice for Our Neighbors (who provides legal and educational support for those seeking citizenship) will provide services to families needing assistance with these types of services.

It is important to note that neither I, nor GRACE, is in support or opposition of JPI or the plan to develop this property. Rather, it is our position that if development is inevitable and relocation of residents will be a part of any plan to develop the property, this agreement should serve as a model for future situations. Too often, developers disregard the human element of progress, leaving our neighbors homeless and without support. This agreement will provide much needed services and support. JPI appears to be committed to finding options for this community, and for that, we are grateful.

Sincerely,

Shonda Schaefer, CEO









Conditional Uses Jefferson Shady Brook

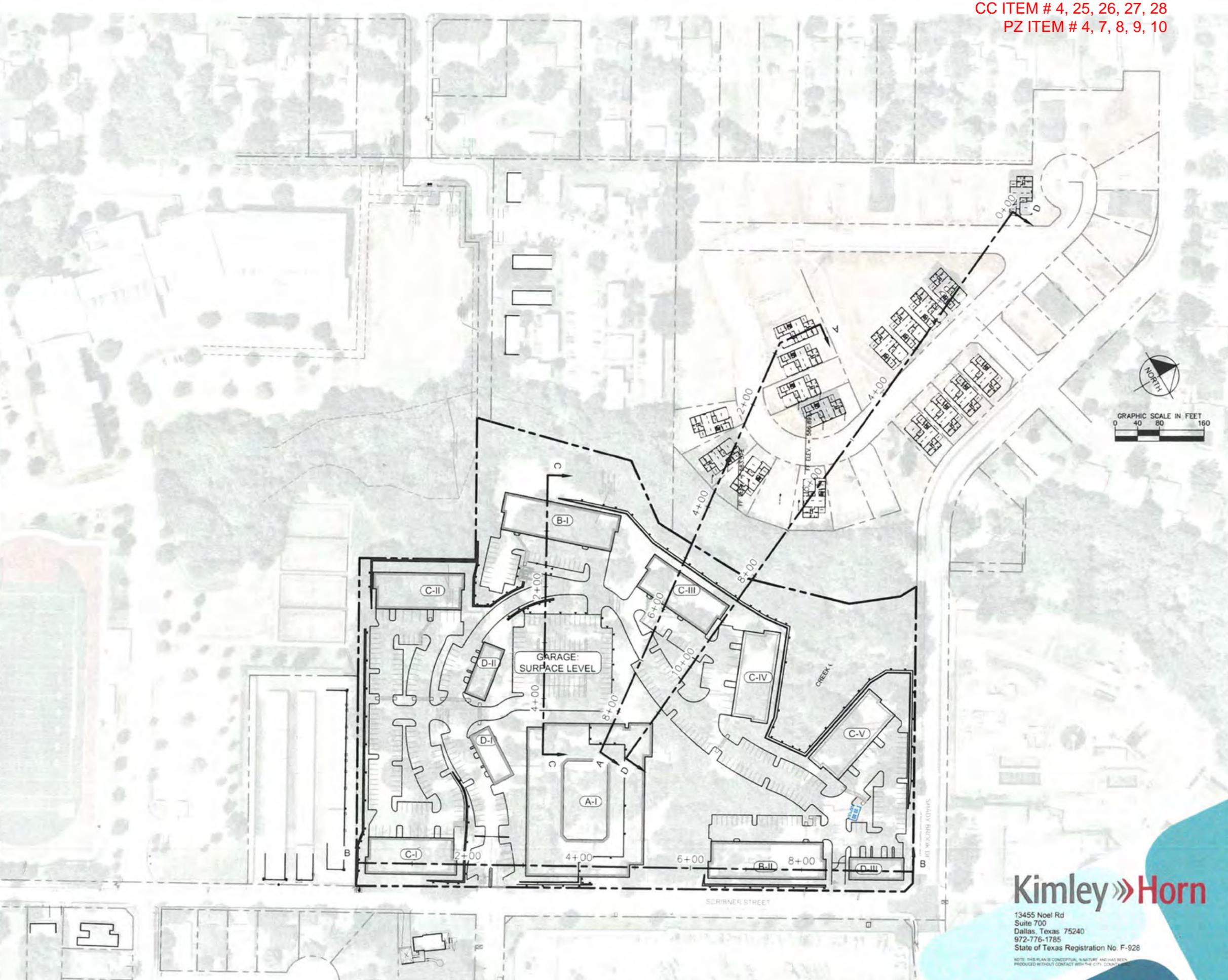
SECTION	REGULATION	PROPOSED DEVIATION	EXPLANATION
22 / F.1.a	The maximum density within R-MF District shall not exceed twenty (20) dwelling units per gross acre.	The maximum density within R-MF District shall not exceed twenty-five (25) dwelling units per gross acre.	At 24.7 units per acre will provide the appropriate amount of residential density for this site and this location.
22 / G.1	AREA REGULATIONS: The following minimum standards shall be required. 1. Depth of front yard, feet – 40	AREA REGULATIONS: The following minimum standards shall be required. 1. Depth of front yard, feet – twenty [20] ft for all buildings except for building D-III which will be at sixteen [16] ft. 6. Balconies, Stoops, retaining walls, awnings, raised planters, sculptures, and other decorative landscape items may be located within the required front yard setback.	Scribner has been designed with new urbanist principals. The planning methodology pushes the buildings up to the streets, to create the street edge and define the pedestrian zone. Additionally, a number of units front the right of way which activates the streets. The parking for the project has been internalized behind the buildings. In order to achieve these design concepts, a modification to the setback is necessary.
22 / I.1	HEIGHT REGULATIONS: The following maximum height regulations shall be observed: 1. The maximum height of the principal structure shall be two (2) stories not to exceed thirty-five (35) feet.	HEIGHT REGULATIONS: The following maximum height regulations shall be observed: 1. The maximum height of the principal structure may be four (4) stories not to exceed sixty-five (65) feet.	Providing a variation in height creates architectural interest. The taller buildings are a more appropriate scale for the mix of uses in the masterplan. Most of the buildings will be three stories and only the main building will be four stories with a basement level. In addition, the proposed buildings are nearly 200 feet away from the closest single-family home on the west side of the property. A cross section has been created to show relationship between the structures and demonstrates how the existing trees along Moorehead Branch effectively screen the proposed multi-family development from the adjacent single family development.
22 / J	Off-street Parking: Off-street parking shall be provided in accordance with the provisions of Section 56 and 58 of this Ordinance and other applicable ordinances of the City. No off-street parking shall be located closer than (10) feet to any adjacent property line.....Though the front yard setback may be reduced relative to parking, the building setback shall remain at forty (40) feet.	Off-street Parking: Off-street parking shall be provided in accordance with the parking study completed by KH for the Subject Site on August 29th, 2019 and other applicable ordinances of the City. On-street parking along the frontage of the proposed development may count towards the number of off-street parking spaces required.Though the front yard setback may be reduced relative to parking, the building setback shall meet the requirements of section 22/G.1 The parking study concluded that the proposed development shall require one spot per bedroom plus an additional guest parking space per each dwelling unit, which equates to 1.72 spaces per unit.	Based on the current breakdown 362 units with a total of 550 bedrooms, 623 spaces are required (1.72 parking spaces per dwelling unit). The proposed layout currently includes 642 parking spaces which equates to 1.77 parking spaces per dwelling unit.

Planned Development Overlay Jefferson Shady Brook

SECTION	REGULATION	PROPOSED DEVIATION	EXPLANATION
22 / G.1	<p>AREA REGULATIONS: The following minimum standards shall be required.</p> <p>2. Width of side yard, each side, feet - 20</p>	<p>AREA REGULATIONS: The following minimum standards shall be required.</p> <p>2. Width of side yard, each side, feet – <u>10</u></p> <p>6. <u>Balconies, Stoops, retaining walls, awnings, raised planters, sculptures, and other decorative landscape items may be located within the required front yard setback.</u></p>	<p>The side yard setback variance applies to building C-1. On Bldg. C-1, the building location is set in between the driveway that is aligned with Peach Street and the property line.</p>
22 / F.6.e	<p>Units containing a minimum of six hundred (600) square feet to seven hundred fifty (750) square feet shall not exceed fifteen (15) percent of the total number of units in the development.</p>	<p>Units containing a minimum of six hundred (600) square feet to seven hundred fifty (750) square feet shall not exceed <u>thirty-five (35)</u> percent of the total number of units in the development.</p>	<p>The proposed unit size is reflective of an in depth market study. We have a larger share of smaller units than the regulations allow, however, our 2 and 3 bedroom units are significantly larger than the minimum size standards. The average square footage of the units in the community is over 965 square feet, which is well above the average size in the market.</p>
22 / M.3	<p>DESIGN REQUIREMENTS: The following minimum design requirements shall be provided in the R-MF Multifamily District.</p> <p>1. The maximum length of any building shall not exceed two hundred (200) linear feet.....</p>	<p>DESIGN REQUIREMENTS: The following minimum design requirements shall be provided in the R-MF Multifamily District.</p> <p>1. The maximum length of any building shall not <u>exceed three hundred (300) linear feet</u>.....</p>	<p>The proposed wrap building at the center of the development is approximately 275' long. Building articulation will be utilized to break the building up and avoid straight unbroken lines.</p>
22 / M.6	<p>DESIGN REQUIREMENTS: The following minimum design requirements shall be provided in the R-MF Multifamily District.</p> <p>6. The minimum distance between any two (2) unattached buildings shall be twenty (20) feet or the height of the building whichever is greater. Whenever two (2) principal structures are arranged face-to-face or back-to-back, the minimum distance shall be fifty (50) feet. The point of measurement shall be the exterior walls of the buildings and does not include balconies, railings, or other architectural features.</p>	<p>DESIGN REQUIREMENTS: The following minimum design requirements shall be provided in the R-MF Multifamily District.</p> <p>6. The minimum distance between any two (2) unattached buildings shall be twenty (20) feet or the height of the building whichever is greater <u>except for Building A-1 and D-1 which may be twenty-one (21)</u>. The point of measurement shall be the exterior walls of the buildings and does not include balconies, railings, or other architectural features.</p>	<p>Based on comments from Architexas, the Brownstown units were moved closer to the wrap to provide a greater sense of community and create a sense of space between the two structures. Based on the building height, the two buildings normally would need to be 46 feet apart.</p>

**JEFFERSON
SHADY BROOK
GRAPEVINE, TEXAS
OVERALL EXHIBIT**

DATE: 10/20/19 2:20 PM
PROJECT: K:\CAL_CIVIL\BARBERS_JP\GRAPEVINE\CADEXHIBIT20190801\RESIDENTIAL_AGENCY\DWG

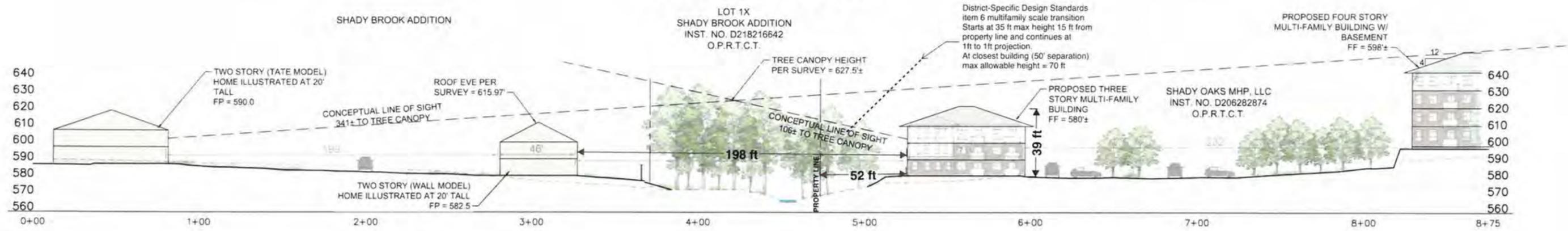


Kimley»Horn

13455 Noel Rd
Suite 700
Dallas, Texas 75240
972-776-1785
State of Texas Registration No. F-928

NOTE: THIS PLAN IS CONCEPTUAL. A SIGNATURE AND SEAL HAS BEEN PRODUCED WITHOUT CONTACT WITH THE CITY. CONSULT WITH THE CITY FOR FURTHER INFORMATION.

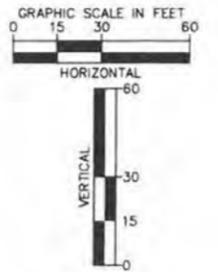
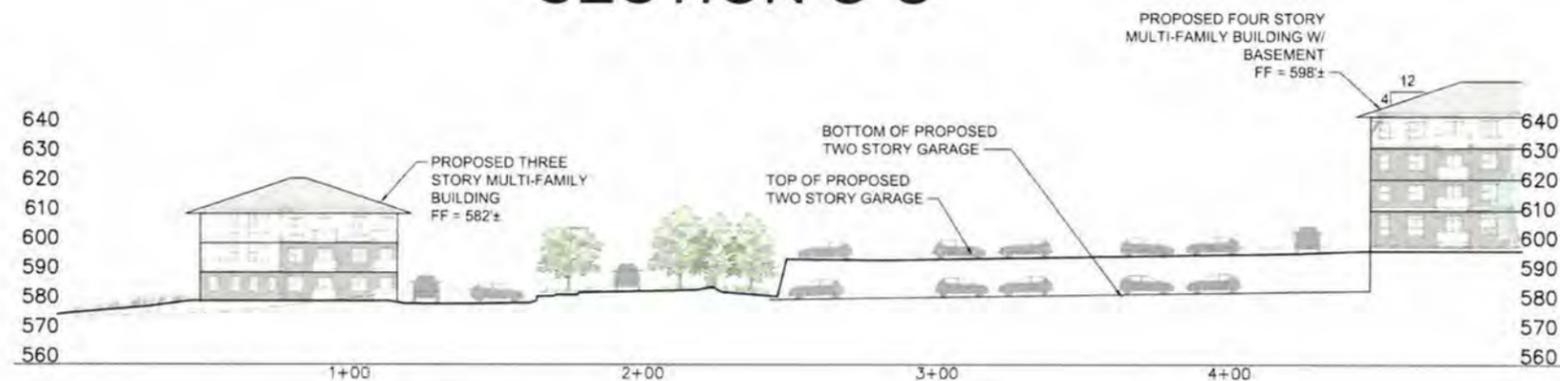
SECTION A-A



SECTION B-B



SECTION C-C



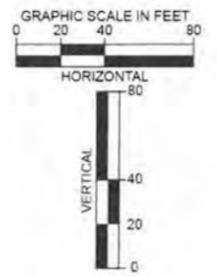
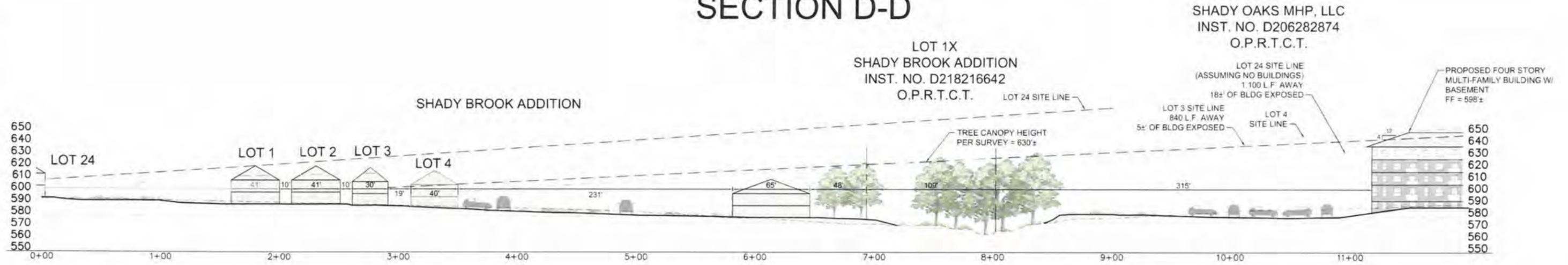
**JEFFERSON
 SHADY BROOK
 GRAPEVINE, TEXAS
 CROSS SECTION EXHIBIT**

Kimley»Horn

13455 Noel Rd
 Suite 700
 Dallas, Texas 75240
 972-776-1785
 State of Texas Registration No. F-928

NOTE: THIS PLAN IS CONCEPTUAL IN NATURE AND HAS BEEN PRODUCED WITHOUT CONTACT WITH THE CITY OF GRAPEVINE.

SECTION D-D



JEFFERSON
SHADY BROOK
GRAPEVINE, TEXAS
CROSS SECTION EXHIBIT

DWG NAME: J:\DALLAS\218216642\218216642_Section D-D.dwg
LAST DATE: 8/22/2019 1:25 PM

Kimley»Horn

13455 Noel Rd
Suite 700
Dallas, Texas 75240
972-776-1785
State of Texas Registration No. F-928

NOTE: THIS PLAN IS CONCEPTUAL IN NATURE AND IS BEING PREPARED WITHOUT CONTACT WITH THE CLIENT.









AMENITY COURTYARD

JEFFERSON SHADY BROOK • GRAPEVINE, TX • EXHIBITS

PN 8519032 | 10.04.2019 | JPI



LandDesign.

RZ-Exh 2



AMENITY COURTYARD

JEFFERSON SHADY BROOK • GRAPEVINE, TX • EXHIBITS

PN 8519032 | 10.04.2019 | JPI



LandDesign.

RZ-Exh 3



AMENITY COURTYARD

JEFFERSON SHADY BROOK • GRAPEVINE, TX • EXHIBITS

PN 8519032 | 10.04.2019 | JPI



LandDesign.

RZ-Exh 4



AMENITY COURTYARD

JEFFERSON SHADY BROOK • GRAPEVINE, TX • EXHIBITS

PN 8519032 | 10.04.2019 | JPI



LandDesign.

RZ-Exh 5



GARAGE LANDSCAPE SCREENING

JEFFERSON SHADY BROOK • GRAPEVINE, TX • EXHIBITS

PN 8519032 | 10.04.2019 | JPI



LandDesign.

RZ-Exh 6

WILDER BELSHAW ARCHITECTS INC.

Savoye2 at Vitruvian Park
3875 Ponte Avenue, S. 410
Addison, TX 75001

The Arnold in East Austin
1621 E. 6th St, Suite 1151
Austin, TX 78702

214.969.0500
www.wilderbelshaw.com



Wilder Belshaw Architects
Dallas • Austin



Savoye2 at Vitruvian Park 3875 Ponte Ave
Suite 410 Addison Texas 75001
The Arnold in East Austin 1621 E. 6th Street
Suite 1151 Austin Texas 78702
214 969.0500 phone www.wilderbelshaw.com

Multi-Family project for:

JPI
600 Las Colinas Blvd E
Suite 1800
Irving, TX 75039

Issued: 4 October 2019

PD Submittal Set

a Multi-Family Project for:

JPI Real Estate Acquisition, LLC
600 East Las Colinas Boulevard E
Suite 1800
Irving, TX 75039
WWW.JPI.COM

Jefferson Shady Brook

Grapevine, Texas

CASE NAME: JEFFERSON SHADY BROOK
CASE NUMBER: Z19-01 CU19-08 PD19-01
LOCATION: 431 SCRIBNER STREET

MAYOR SECRETARY

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN

DATE: _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN
CONFLICT WITH ANY CODES OR ORDINANCES
DEPARTMENT OF DEVELOPMENT SERVICES

CONSULTANTS:

Kimley-Horn
Civil Engineer

Urban Structure
Structural Engineer

V3 Consulting Engineers
MEP Engineer

Land Design
Landscape Architecture
Consultant

SJL Design Group
Interior Design Consultant



PROJECT: Jefferson Shady Brook Building, Building Name: 201906-25
 SHEET: 2 OF 41
 DATE: 10/04/2019
 DESIGNED BY: MATT VINTEN
 DRAWN BY: MATT VINTEN
 CHECKED BY: MATT VINTEN

No.	REVISIONS	DATE	BY

LandDesign.
 5301 ALPHA ROAD, SUITE 24
 DALLAS, TEXAS 75244
 214.786.6000
 WWW.LANDDESIGN.COM

PRELIMINARY
 FOR REVIEW PURPOSES ONLY
 AND SHALL NOT BE USED FOR
 BIDDING, PERMITTING, OR
 CONSTRUCTION.
 Matthew S. Vinten
 Registered Landscape Architect of the
 State of Texas
 Registration Number: 2946

LDI PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
8519032	10/04/2019	AS NOTED	LDI	LDI	LDI

**JEFFERSON
 SHADY BROOK**
 CITY OF GRAPEVINE
 TARRANT COUNTY, TEXAS

**OVERALL ILLUSTRATIVE
 SITE PLAN**

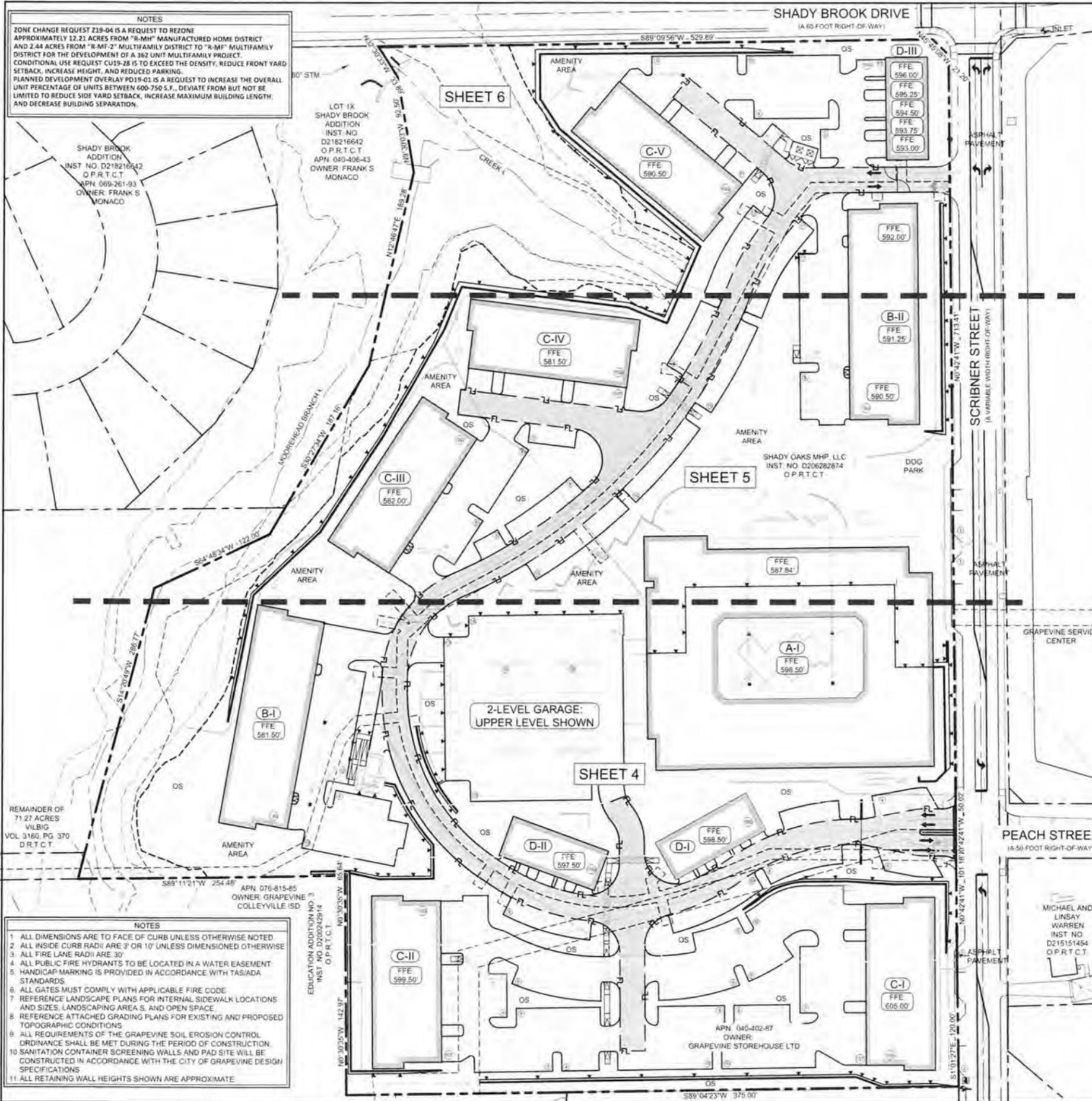
SHEET NUMBER
2 OF 41

1"=50'
 0 25 50 100'

CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: Z19-01 CU19-26 PD19-01
 LOCATION: 431 SCRIBNER STREET

MAYOR _____ SECRETARY _____
 DATE _____
 PLANNING AND ZONING COMMISSION
 CHAIRMAN _____
 DATE _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN
 CONFLICT WITH ANY CODES OR ORDINANCES
 DEPARTMENT OF DEVELOPMENT SERVICES



NOTES
ZONE CHANGE REQUEST Z19-04 IS A REQUEST TO REZONE APPROXIMATELY 12.21 ACRES FROM "R-MH" MANUFACTURED HOME DISTRICT AND 2.44 ACRES FROM "R-MF-2" MULTIFAMILY DISTRICT TO "R-MF" MULTIFAMILY DISTRICT FOR THE DEVELOPMENT OF A 362 UNIT MULTIFAMILY PROJECT. CONDITIONAL USE REQUEST CU19-28 IS TO EXCEED THE DENSITY, REDUCE FRONT YARD SETBACK, INCREASE HEIGHT, AND REDUCE PARKING. PLANNED DEVELOPMENT OVERLAY PD19-01 IS A REQUEST TO INCREASE THE OVERALL UNIT PERCENTAGE OF UNITS BETWEEN 600-750 S.F., DEVIATE FROM BUT NOT BE LIMITED TO REDUCE SIDE YARD SETBACK, INCREASE MAXIMUM BUILDING LENGTH, AND DECREASE BUILDING SEPARATION.

REMAINDER OF 71.27 ACRES VILBIG VOL 3160, PG 370 D.R.T.C.T.

NOTES
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED
2. ALL INSIDE CURB RADI ARE 3' OR 10' UNLESS DIMENSIONED OTHERWISE
3. ALL FIRE LANE RADI ARE 30'
4. ALL PUBLIC FIRE HYDRANTS TO BE LOCATED IN A WATER EASEMENT
5. HANDICAP MARKING IS PROVIDED IN ACCORDANCE WITH TASIADA STANDARDS
6. ALL GATES MUST COMPLY WITH APPLICABLE FIRE CODE
7. REFERENCE LANDSCAPE PLANS FOR INTERNAL SIDEWALK LOCATIONS AND SIZES, LANDSCAPING AREA S, AND OPEN SPACE
8. REFERENCE ATTACHED GRADING PLANS FOR EXISTING AND PROPOSED TOPOGRAPHIC CONDITIONS
9. ALL REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.
10. SANITATION CONTAINER SCREENING WALLS AND PAD SITE WILL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF GRAPEVINE DESIGN SPECIFICATIONS
11. ALL RETAINING WALL HEIGHTS SHOWN ARE APPROXIMATE

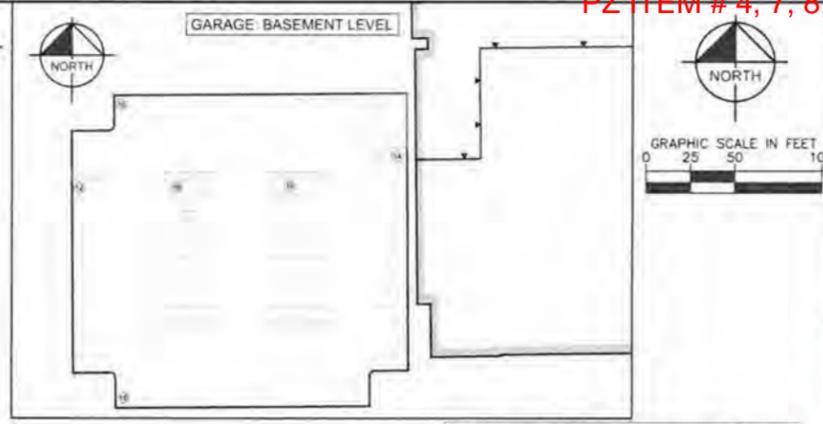
LOT 1X SHADY BROOK ADDITION INST. NO. D218216642 O.P.R.T.C.T. APN 040-406-43 OWNER FRANK S MONACO

EDUCATION ADDITION NO. 3 INST. NO. D200242914 O.P.R.T.C.T. APN 076-815-85 OWNER GRAPEVINE COLLEVILLE ISD

SHEET 6

SHEET 5

SHEET 4



SITE DATA SUMMARY

SHADY OAKS MHP	
CURRENT ZONING	R-MH
LOT AREA	531,770 S.F.
STOREHOUSE ADDITION	
CURRENT ZONING	R-MF-2
LOT AREA	76,652 S.F.
PEACH STREET	
ABANDONMENT AREA	29,736 S.F.
TOTAL LOT AREA	638,158 S.F. 14.65 AC
PROPOSED ZONING	
PROPOSED ZONING	R-MF
BUILDING AREA	155,387 S.F.
(MAX 50%)	24%
GROSS AREA	853,726 S.F.
TOTAL NUMBER OF UNITS	362
TOTAL NUMBER OF BEDROOMS	550
UNIT DENSITY	24.7 UNITS/AC
BUILDING AND PAVED AREAS	
BUILDING AREA	352,832 S.F.
IMPERVIOUS AREA (MAX 75%)	55.3%
TOTAL OPEN SPACE (MIN 20%)	44.7%
TOTAL PERMANENT RECREATION AREA PER UNIT (MIN 250 S.F.)	250 S.F./Unit

PARKING DATA

TOTAL PARKING REQUIRED (1 SPACE/BEDROOM + 0.2 SPACE/UNIT)	623 SPACES
ADA PARKING REQUIRED (2 VAN) (2 VAN)	14 SPACES
SURFACE PARKING PROVIDED	
GENERAL SURFACE (8 ADA)	308 SPACES
TANDEM	44 SPACES
GARAGE (SURFACE) (1 ADA)	80 SPACES
DN STREET (SCRIBNER)	10 SPACES
TOTAL SURFACE PARKING	442 SPACES
COVERED PARKING PROVIDED	
GARAGE (BASEMENT) (2 ADA)	94 SPACES
TUCK-UNDER (3 ADA)	106 SPACES
TOTAL COVERED PARKING	200 SPACES
TOTAL ADA PARKING PROVIDED	14 SPACES
TOTAL PARKING PROVIDED	642 SPACES 1.77 SPACES/UNIT

LEGEND

PROPERTY LINE	---
ADA SITE ACCESS ROUTE	---
PROPOSED FIRE LANE	FL
PARKING COUNT	(1)
PROPOSED TRANSFORMER	TRANS
BUILDING TYPE - BUILDING NUMBER	(C-I)
PROPOSED CURB INLET	CI
PROPOSED STORM MANHOLE	STMH
PROPOSED SANITARY SEWER MANHOLE	SSMH
PROPOSED GRATE INLET	GI
PROPOSED JUNCTION BOX	JB
PROPOSED FIRE HYDRANT	FH
PROPOSED WATER METER	WM
PROPOSED WATER VAULT	WV
PROPOSED FIRE DEPT. CONNECTION	FDC
PROPOSED BACK FLOW PREVENTER	BFP
PROPOSED DRY STANDPIPE	DSP
PROPOSED IRRIGATION METER	IRR
OPEN SPACE AREA	OS
BARRIER FREE RAMP	BFR
EXPOSED SIDE OF RETAINING WALL	▼

APPROXIMATE BUILDING HEIGHTS
(REFER TO ARCH PLANS FOR BLDG MATERIALS)

BLDG. #	HEIGHT	STORIES
A-I	62.30	4 w/ basement
B-I	45.63	Height to highest occupiable floor
B-II	39.80	3
C-I	39.08	3
C-II	39.08	3
C-III	39.08	3
C-IV	39.08	3
C-V	39.08	3
C-VI	39.08	3
D-I	35.03	3
D-II	35.03	3
D-III	35.03	3

811
Know what's below.
Call before you dig.



LEGEND

PROPERTY LINE	---
ADA SITE ACCESS ROUTE	---
PROPOSED FIRE LANE	FL
PARKING COUNT	(1)
PROPOSED TRANSFORMER	TRANS
BUILDING TYPE - BUILDING NUMBER	(C-I)
PROPOSED CURB INLET	CI
PROPOSED STORM MANHOLE	STMH
PROPOSED SANITARY SEWER MANHOLE	SSMH
PROPOSED GRATE INLET	GI
PROPOSED JUNCTION BOX	JB
PROPOSED FIRE HYDRANT	FH
PROPOSED WATER METER	WM
PROPOSED WATER VAULT	WV
PROPOSED FIRE DEPT. CONNECTION	FDC
PROPOSED BACK FLOW PREVENTER	BFP
PROPOSED DRY STANDPIPE	DSP
PROPOSED IRRIGATION METER	IRR
OPEN SPACE AREA	OS
BARRIER FREE RAMP	BFR
EXPOSED SIDE OF RETAINING WALL	▼

Building	155,387 S.F.	24.3%
Pavement	197,445 S.F.	30.9%
Permanent Recreation Space	90,500 S.F.	14.2%
Floodplain	72,505 S.F.	11.4%
Reclaimed Floodplain	31,652 S.F.	5.0%
Other LA	90,668 S.F.	14.2%
Landscape Total	285,326 S.F.	44.7%
Site Total	638,158 S.F.	100.0%

CASE NAME: JEFFERSON SHADY BROOK
CASE NUMBER: 219-01 CU19-28 PD19-01
LOCATION: 431 SCRIBNER STREET

MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION
CHAIRMAN _____
DATE: _____
SHEET 3 OF 41

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES DEPARTMENT OF DEVELOPMENT SERVICES

NO.	REVISIONS	DATE	BY

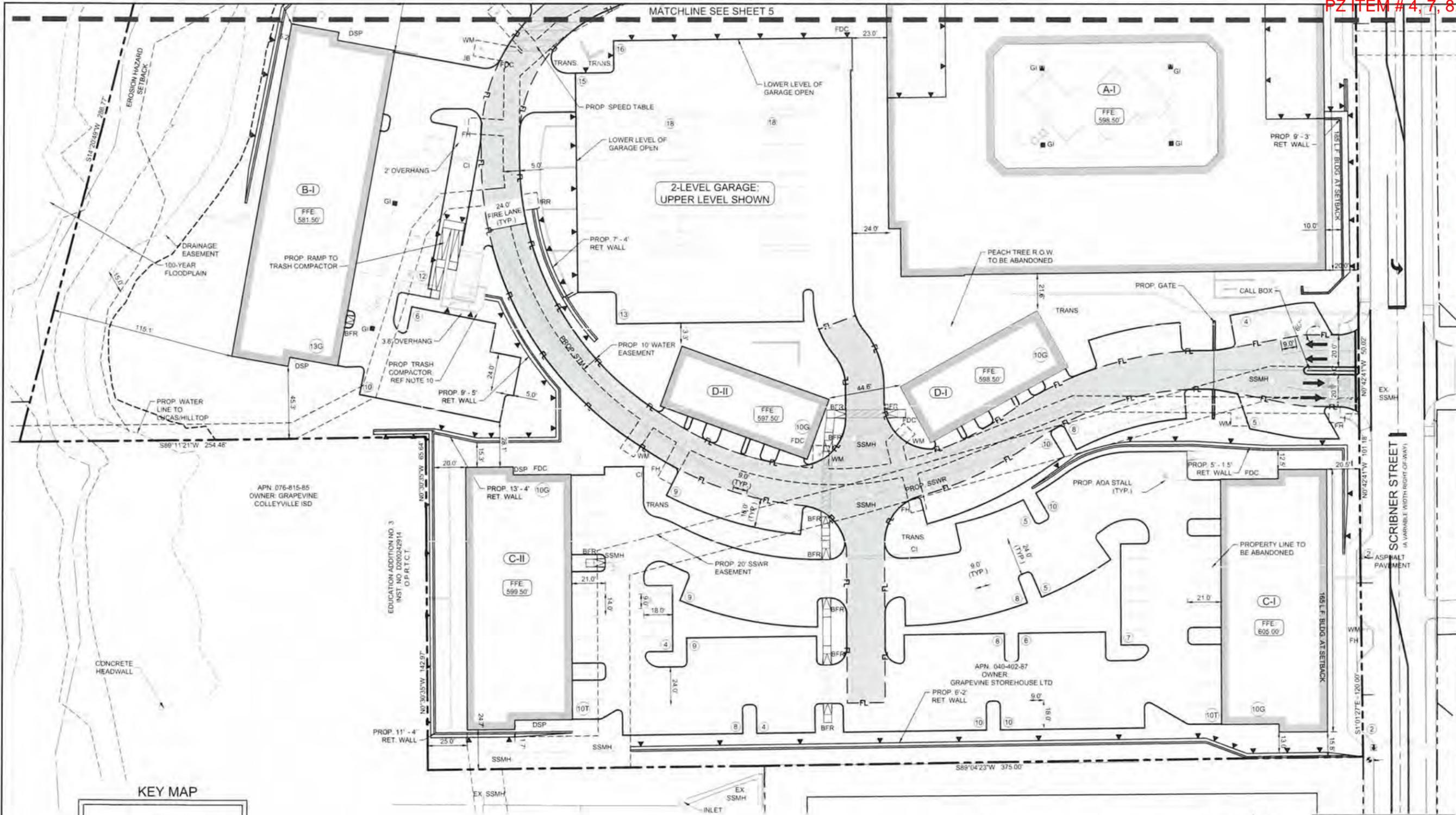
Kimley-Horn
© 2018 KIMLEY-HORN AND ASSOCIATES, INC.
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
SUITE 700, DALLAS, TX 75240
PHONE 972-770-1300 FAX 972-238-3820
WWW.KIMLEY-HORN.COM TX F-928

THE SITE PLAN IS FOR CITY REVIEW ONLY TO ILLUSTRATE COMPLIANCE WITH ZONING AND DEVELOPMENT REGULATIONS. IT IS NOT INTENDED FOR CONSTRUCTION PURPOSES.

NOA PROJECT	064446476
DATE	October 19
SCALE	AS NOTED
DESIGNED BY	JPH
DRAWN BY	JPH
CHECKED BY	JPH

JPI
JEFFERSON
SHADY BROOK
CITY OF GRAPEVINE
TARRANT COUNTY, TEXAS

OVERALL SITE PLAN
SHEET NUMBER
3 OF 41



KEY MAP



NOTE
1. REFERENCE OVERALL SITE PLAN FOR SITE PLAN NOTES AND LEGEND



CASE NAME: JEFFERSON SHADY BROOK
CASE NUMBER: 219-01 CU19-28 P015-01
LOCATION: 431 SCRIBNER STREET

MAYOR _____ SECRETARY _____
DATE _____
PLANNING AND ZONING COMMISSION
CHAIRMAN _____
DATE _____

SHEET 4 OF 41

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.
DEPARTMENT OF DEVELOPMENT SERVICES

No.	REVISIONS	DATE

Kimley-Horn
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13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER,
SUITE 700, DALLAS, TX 75240
PHONE: 972.770.3300 FAX: 972.228.3620
WWW.KIMLEY-HORN.COM TX F-528

THE SITE PLAN IS FOR CITY REVIEW ONLY TO ILLUSTRATE COMPLIANCE WITH ZONING AND DEVELOPMENT REGULATIONS. IT IS NOT ATTENDED FOR CONSTRUCTION PURPOSES.

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
064446476	October 19	AS NOTED	JMH	JMH	JMH

JPI
JEFFERSON SHADY BROOK
CITY OF GRAPEVINE
TARRANT COUNTY, TEXAS

SITE PLAN (1 OF 3)

SHEET NUMBER
4 OF 41



Project Owner:

JPI

600 Lys Colman Blvd E, Suite 1800
 Irving, TX 75039

Issues and Revisions:

No.	Date	Issues
01	10.04.19	PD Submittal Set

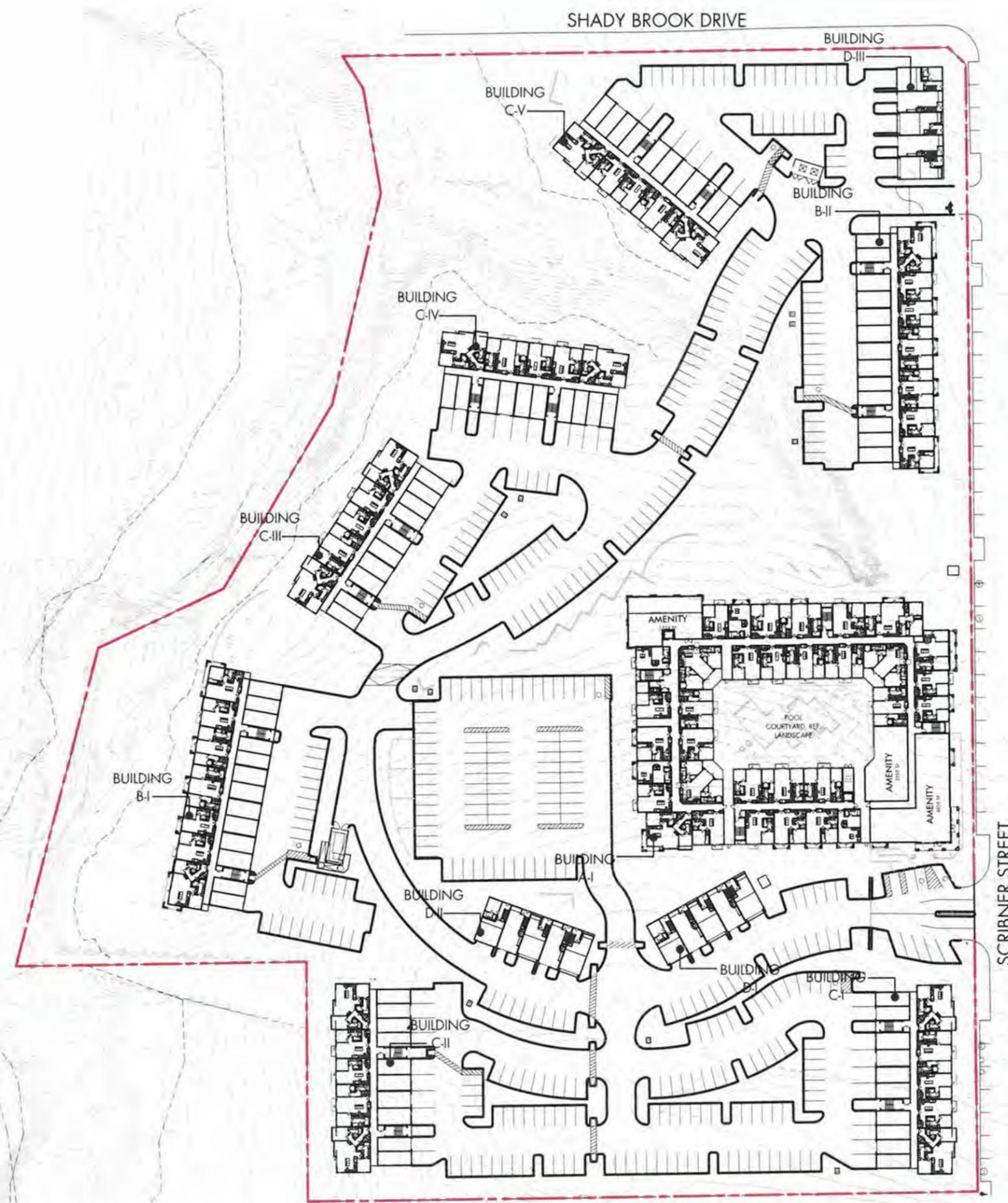
Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name:
OVERALL ARCHITECTURAL SITE PLAN

SHEET 7 OF 41
 Sheet Number:

A001



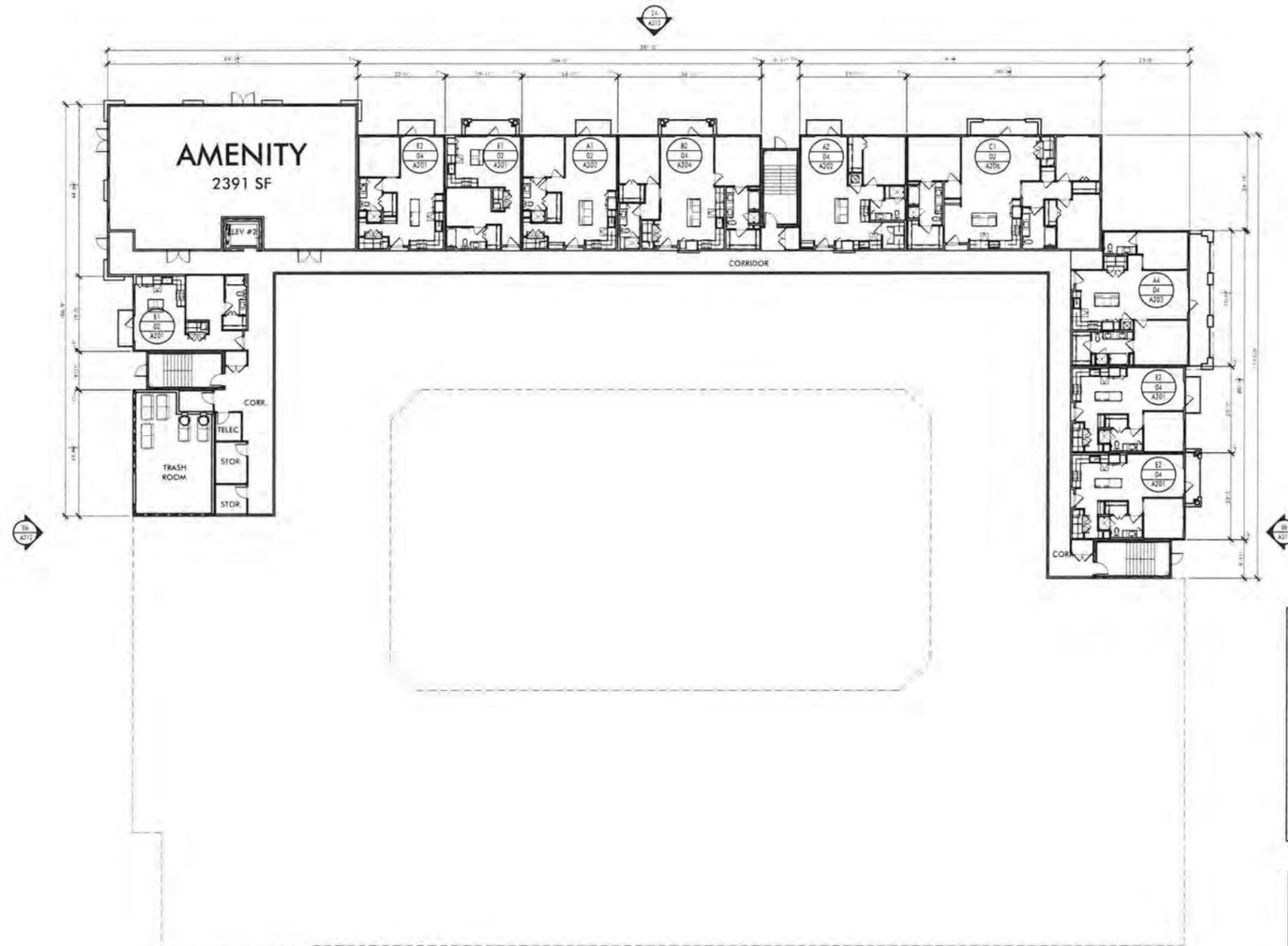
OVERALL ARCHITECTURAL SITE PLAN
 SCALE: 1" = 50'

NORTH

CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: Z19-01, CU19-02, PD19-01
 LOCATION: 431 SCRIBNER STREET

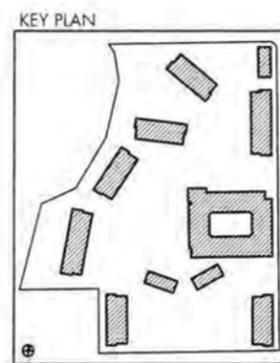
MAYOR _____ SECRETARY _____
 DATE _____
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 CHAIRMAN _____
 DATE _____

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Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name:
BLDG. A - BASEMENT LEVEL PLAN

CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: 215-01 CJ19-29 PD19-07
 LOCATION: 431 SCRIBNER STREET

 MAYOR SECRETARY

DATE: _____
 PLANNING AND ZONING COMMISSION

 CHAIRMAN

DATE: _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES
 DEPARTMENT OF DEVELOPMENT SERVICES

BLDG. A - BASEMENT LEVEL PLAN
 SCALE: 1/16" = 1'-0"



Savoys2 at Vitruvian Park 3876 Fortia Ave
 Suite 410 Addison Texas 75001
 The Arnold in East Austin 1621 E 6th Street
 Suite 1151 Austin Texas 78702
 214.969.0500 phone www.wilderbelshaw.com

Project Owner:

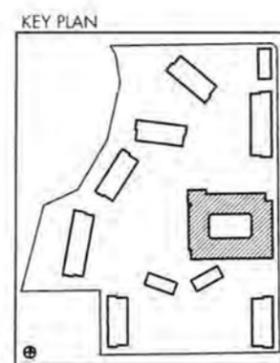
JPI

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Issues and Revisions:

No.	Date	Issues
01	10.04.19	PD Submittal Set



Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name:
BLDG. A - LEVEL 1 PLAN

CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: 219-01 CJ19-05 P019-01
 LOCATION: 431 SCRIBNER STREET

 MAYOR SECRETARY

DATE: _____
 PLANNING AND ZONING COMMISSION

 CHAIRMAN

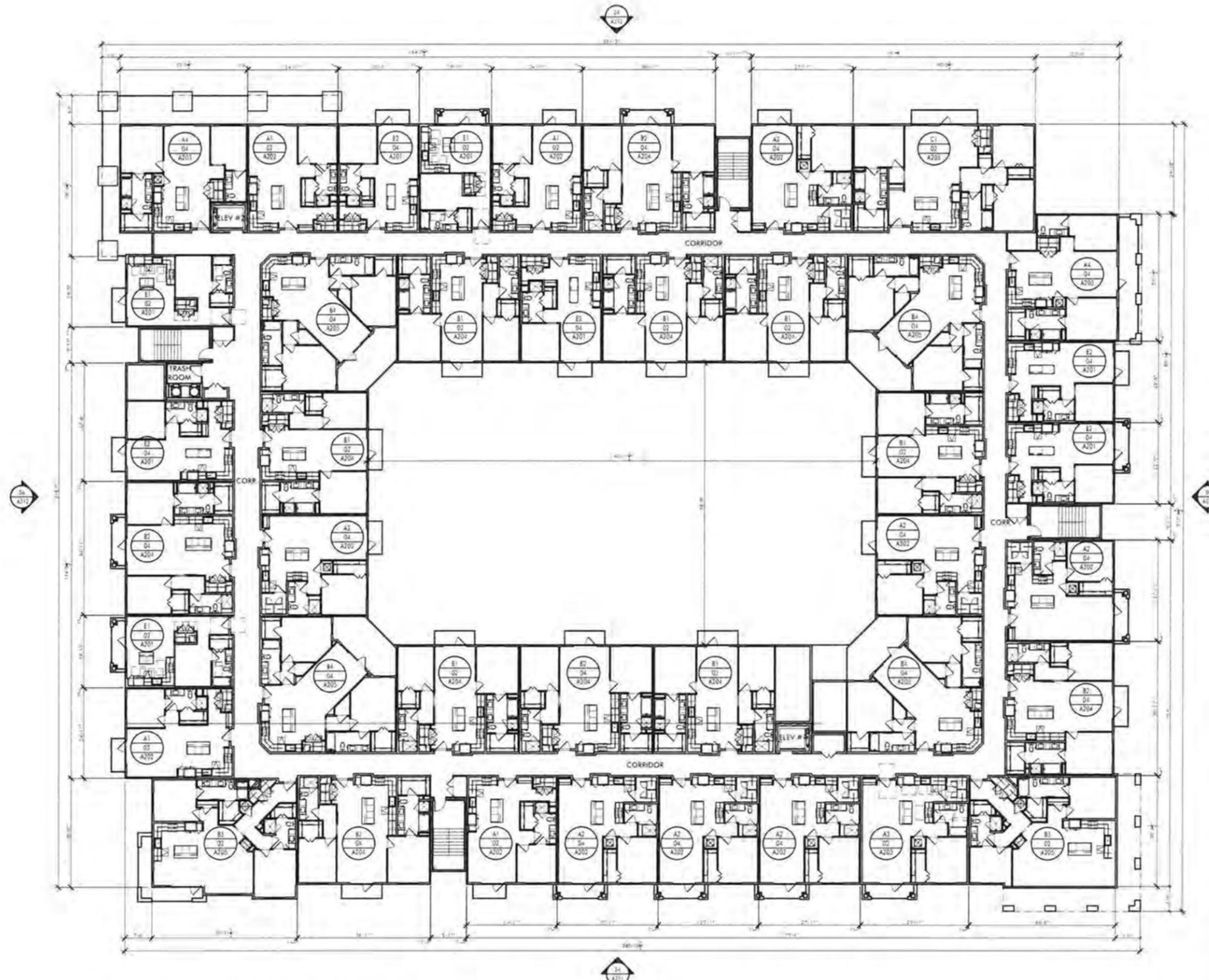
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 DEPARTMENT OF DEVELOPMENT SERVICES

SHEET 10 OF 41
 Sheet Number:

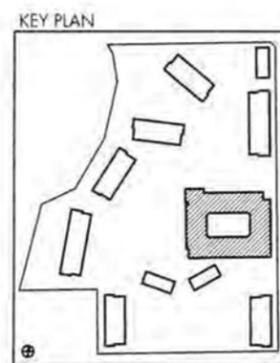
A111

BLDG. A - LEVEL 1 PLAN
 SCALE: 1/16" = 1'-0"



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No.	Date	Issues
01	10.04.19	PD Submittal Set



Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name:
BLDG. A - LEVEL 2 PLAN

CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: 219-01, CU19-28, PD19-01
 LOCATION: 431 SCHWABER STREET

MAYOR: _____ SECRETARY: _____
 DATE: _____
 PLANNING AND ZONING COMMISSION: _____
 CHAIRMAN: _____
 DATE: _____

APPROVAL USES AND: AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES DEPARTMENT OF DEVELOPMENT SERVICES.

SHEET 11 OF 41
 Sheet Number:
A112

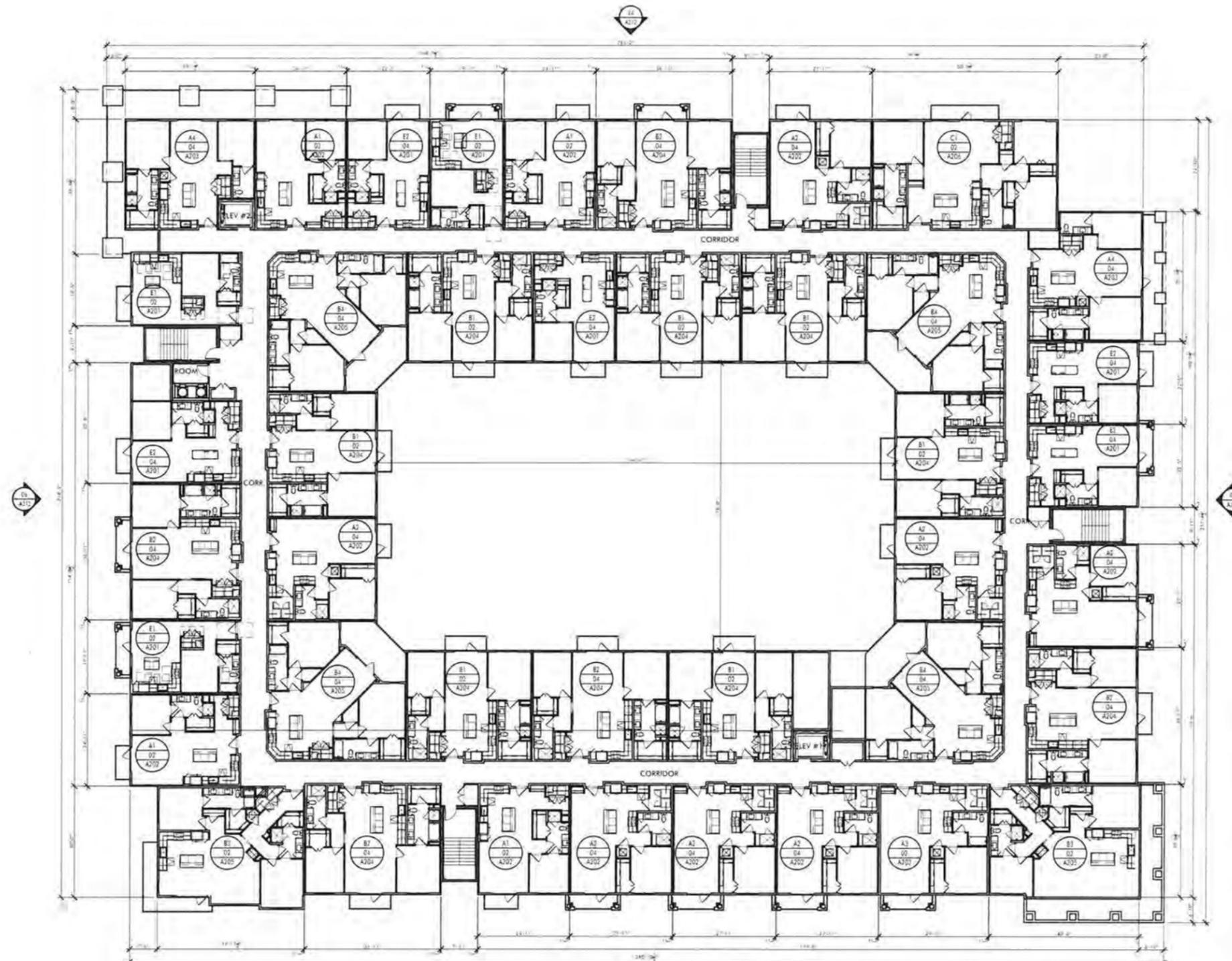
BLDG. A - LEVEL 2 PLAN
 SCALE: 1/16" = 1'-0"



Project Owner:

JPI

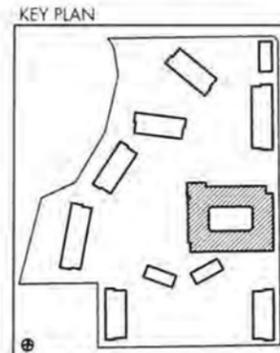
2500 Live Collins Blvd E., Suite 1800
Irving, TX 75039



BLDG. A - LEVEL 3 PLAN
SCALE: 1/16" = 1'-0"

Issues and Revisions:

No.	Date	Issues
01	10.04.19	PD Submittal Set



Jefferson Shady Brook

Grapevine, Texas
Wilder Belshaw Project Number: 1908

Drawing Name:
BLDG. A - LEVEL 3 PLAN

CASE NAME: JEFFERSON SHADY BROOK
CASE NUMBER: 238-01, CU19-26, PO19-01
LOCATION: 431 SCRIBNER STREET

DATE: _____

PLANNING AND ZONING COMMISSION

DATE: _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES
DEPARTMENT OF DEVELOPMENT SERVICES

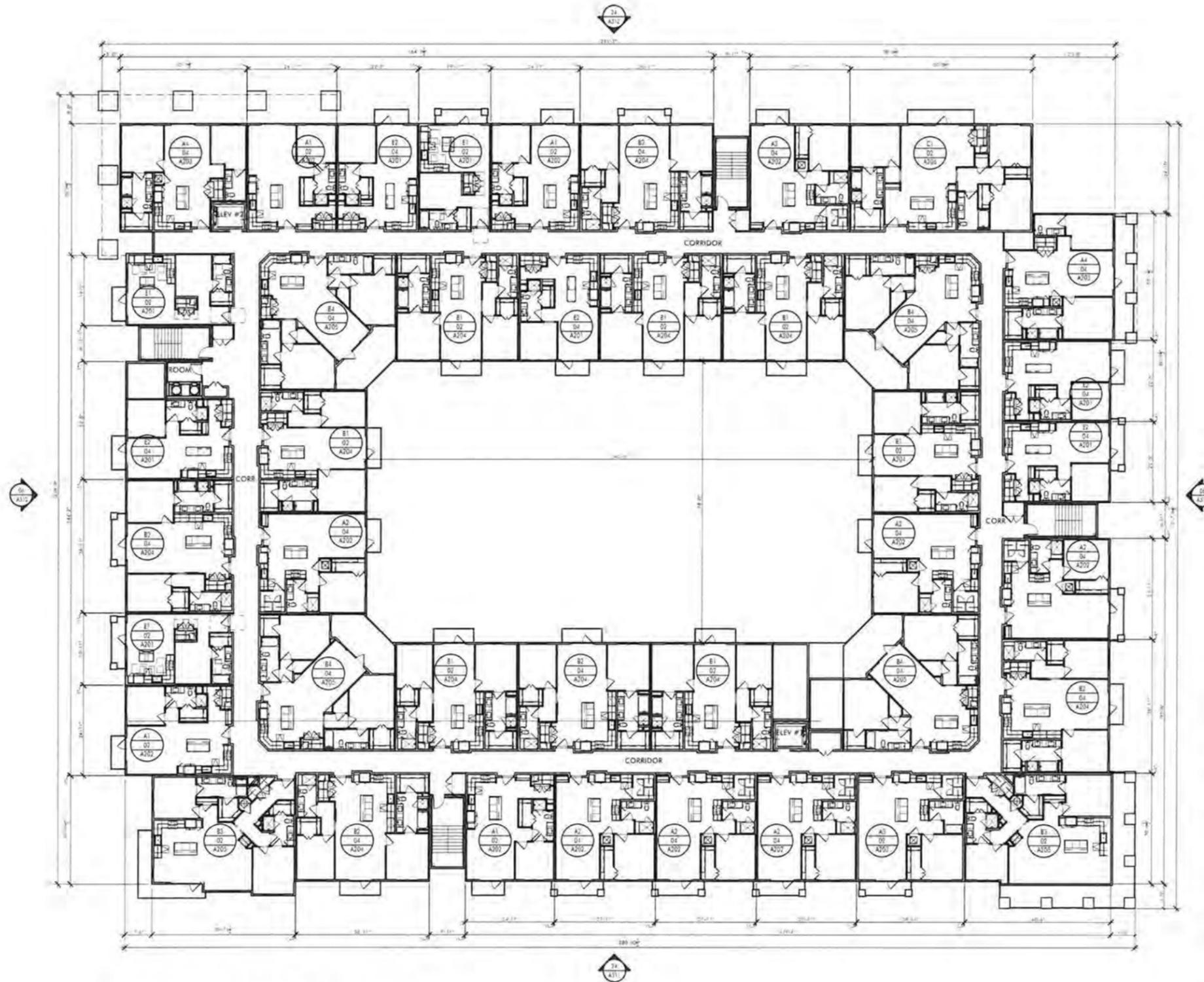
SHEET 12 OF 41
Sheet Number:
A113



Project Owner:

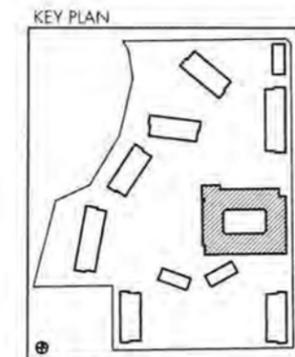
JPI

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 Irving, TX 75039



Issues and Revisions:

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01	10.04.19	PD Submittal Set



Jefferson Shady Brook

Grapevine, Texas.
 Wilder Belshaw Project Number: 1908

Drawing Name:
BLDG. A - LEVEL 4 PLAN

CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: 218-01-CU-19-08 PD-01
 LOCATION: 431 SCRIBNER STREET

 MAYOR

 SECRETARY

 DATE

 PLANNING AND ZONING COMMISSION

 ESTABLISH

 DATE

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES
 DEPARTMENT OF DEVELOPMENT SERVICES

SHEET 13 OF 41
 Sheet Number:

A114

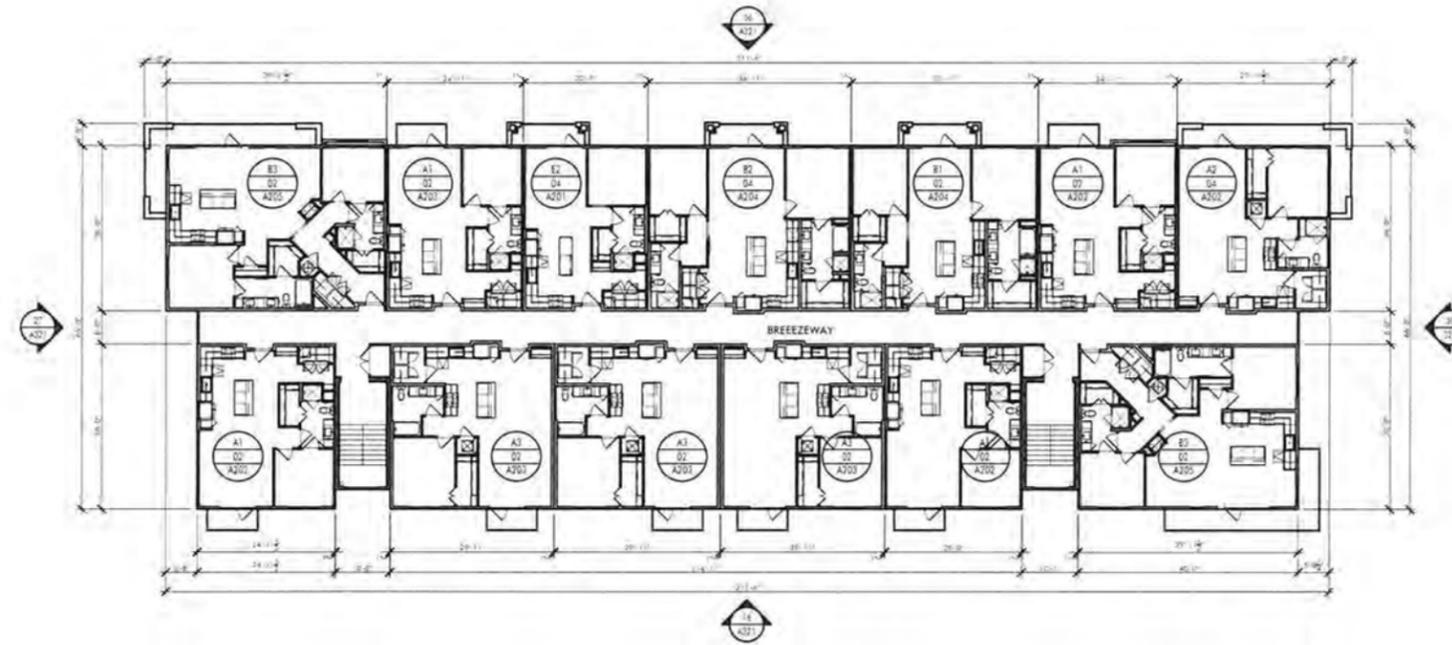
BLDG. A - LEVEL 4 PLAN
 SCALE: 1/16" = 1'-0"



Project Owner:

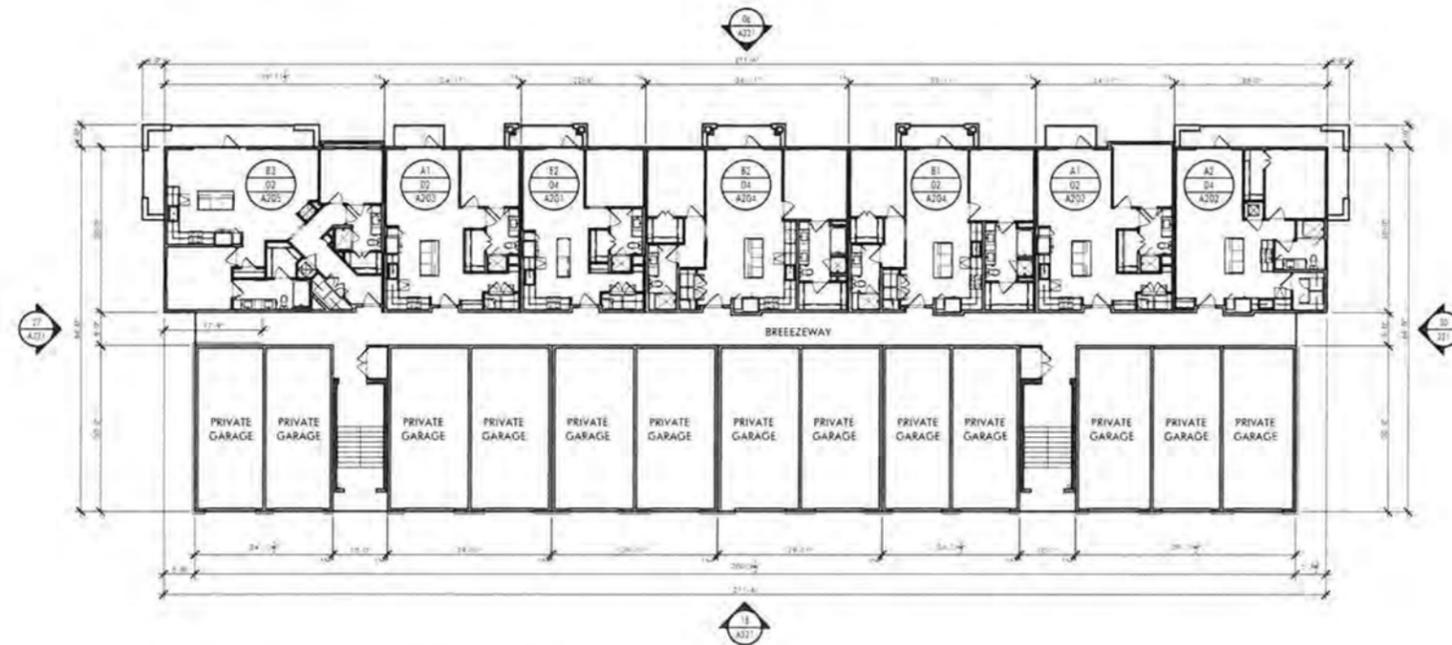
JPI

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 Irving, TX 75039



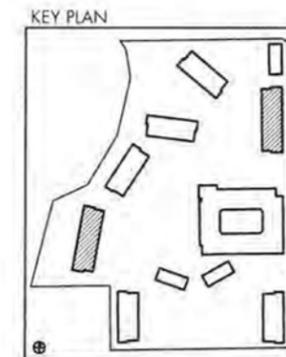
BLDG. B - LEVEL 2 PLAN

SCALE: 1/16" = 1'-0"



BLDG. B - LEVEL 1 PLAN

SCALE: 1/16" = 1'-0"



CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: 21901, CU19-05, P019-01
 LOCATION: 43 SCRIBNER STREET

MAYOR _____ SECRETARY _____
 DATE _____
 PLANNING AND ZONING COMMISSION
 CHAIRMAN _____
 DATE _____

APPROVAL: I HEREBY AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES
 DEPARTMENT OF DEVELOPMENT SERVICES

Issues and Revisions:

No.	Date	Issues
01	10/04/19	PD Submittal Set

Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name:
BLDG. B - LEVEL 1&2 PLAN

SHEET 14 OF 41
 Sheet Number:
A121



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 Suite 410 Addison Texas 75001
 The Arnold in East Austin 1621 E. 6th Street
 Suite 1151 Austin Texas 78702
 214.969.0500 phone www.wilderbelshaw.com

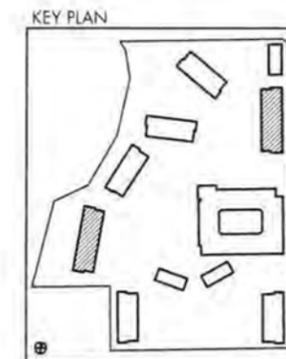
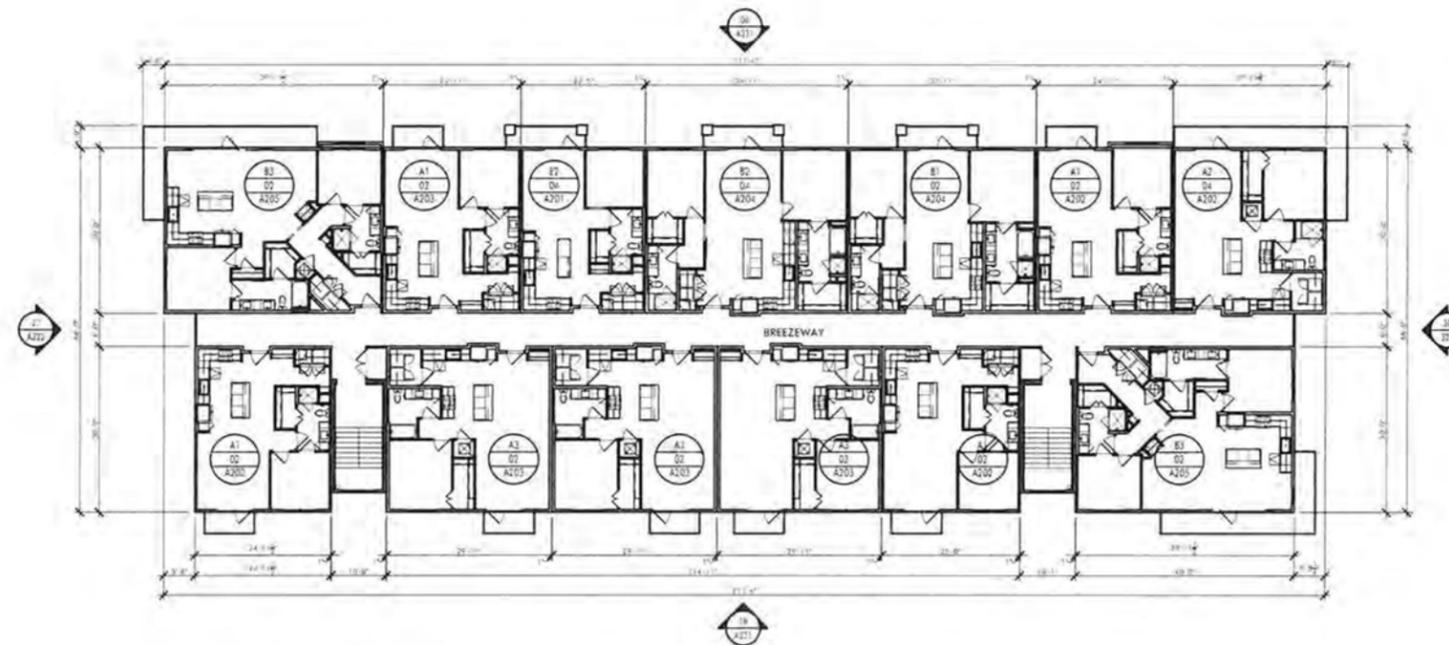
Project Owner:

JPI

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 Irving, TX 75039

Issues and Revisions:

No.	Date	Issues
01	10.04.19	PD Submittal Set



CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: 218-01 (CU) 19-02, P010211
 LOCATION: 431 SORBINER STREET

____ MAYOR _____ SECRETARY
 DATE: _____
 FORWARDED AND ZONING COMMISSION
 _____ CHAIRMAN
 DATE: _____

APPROVAL DOES NOT AUTHORIZE ANY WORK TO
 CONFLICT WITH ANY CODES OR ORDINANCES
 DEPARTMENT OF DEVELOPMENT SERVICES

Jefferson Shady Brook

Gropevine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name:
BLDG. B - LEVEL 3 PLAN

SHEET 15 OF 41
 Sheet Number:
A122

BLDG. B - LEVEL 3 PLAN
 SCALE: 1/16" = 1'-0"



Savoie2 at Vitruvian Park 3875 Fortia Ave
 Suite 410 Addison Texas 75001
 The Arnold in East Austin 1621 E. 6th Street
 Suite 1151 Austin Texas 78702
 214.969.0500 phone www.wilderbelshaw.com

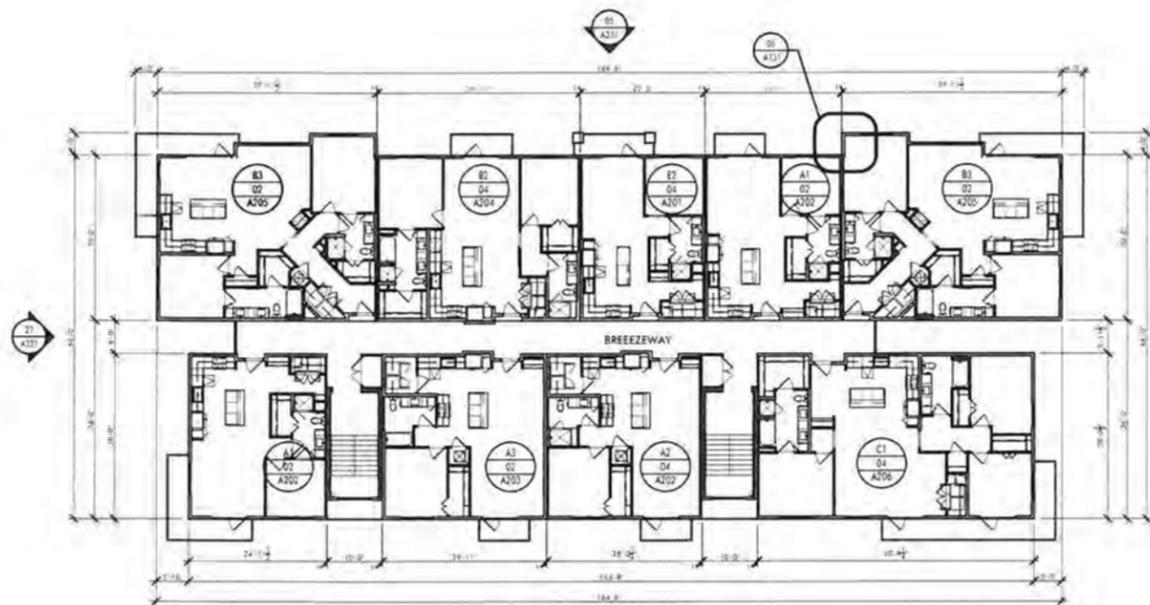
Project Owner:

JPI

600 Las Colinas Blvd E, Suite 1800
 Irving, TX 75039

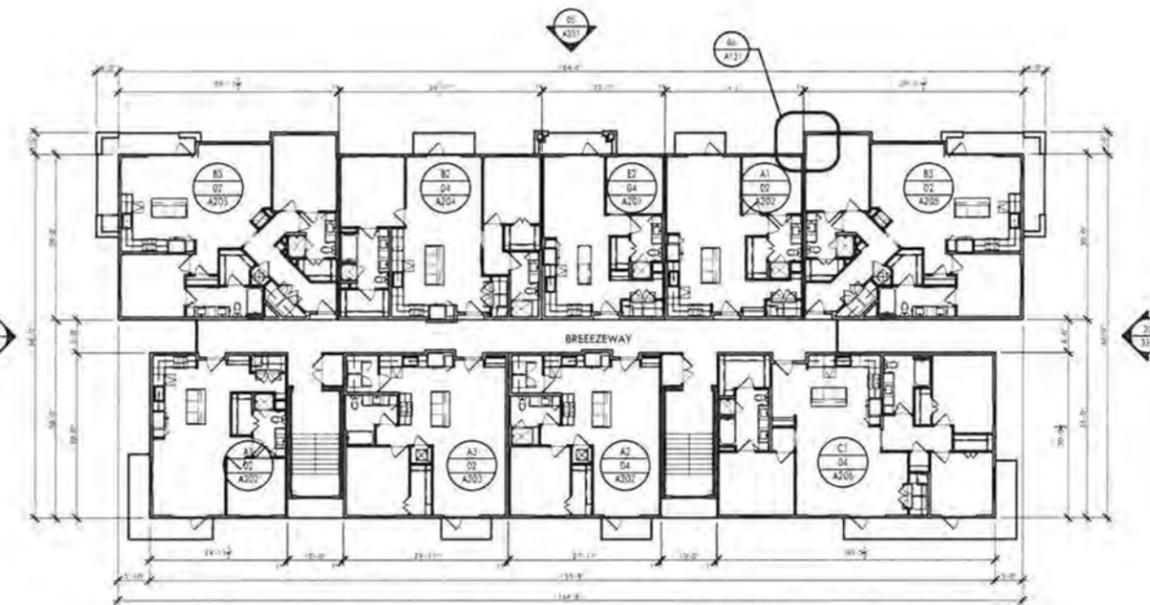
Issues and Revisions:

No.	Date	Issues
01	10.04.19	PD Submittal Set



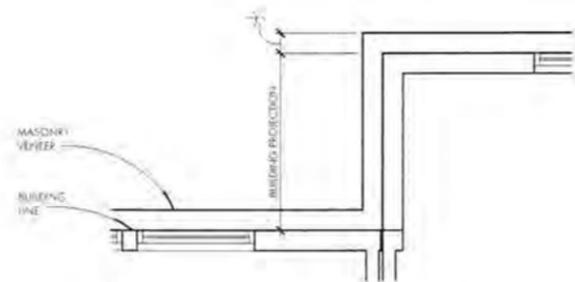
BLDG. C - LEVEL 3 PLAN

SCALE: 1/16" = 1'-0"



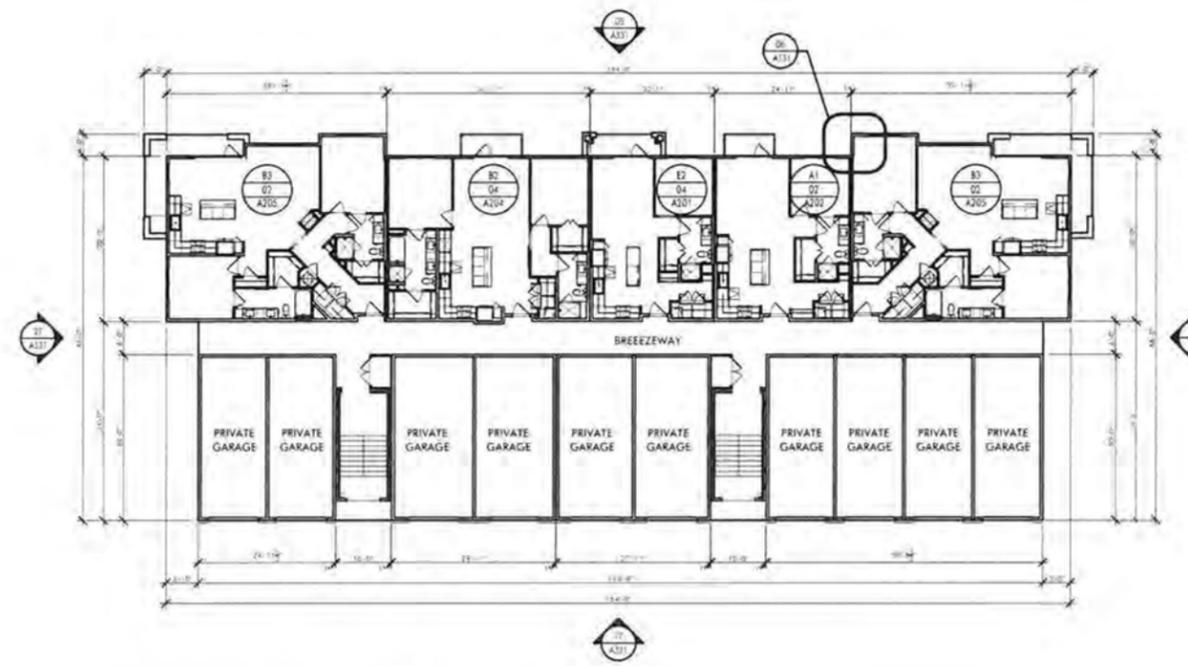
BLDG. C - LEVEL 2 PLAN

SCALE: 1/16" = 1'-0"



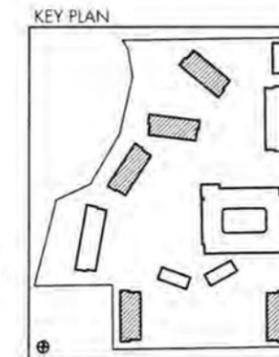
06 TYPICAL HORIZONTAL PROJECTION

SCALE: 1/2" = 1'-0"



BLDG. C - LEVEL 1 PLAN

SCALE: 1/16" = 1'-0"



CASE NAME: JEFFERSON SHADY BROOK
 BASE NUMBER: 211011, CJ19-20, PD19-01
 LOCATION: 431 SCRIBNER STREET

 MAYOR

 SECRETARY

 DATE

PLANNING AND ZONING COMMISSION

 CHAIRMAN

 DATE

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES
 DEPARTMENT OF DEVELOPMENT SERVICES

Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name:
BLDG. C - LEVELS 1 TO 3 PLANS

SHEET 16 OF 41
 Sheet Number:

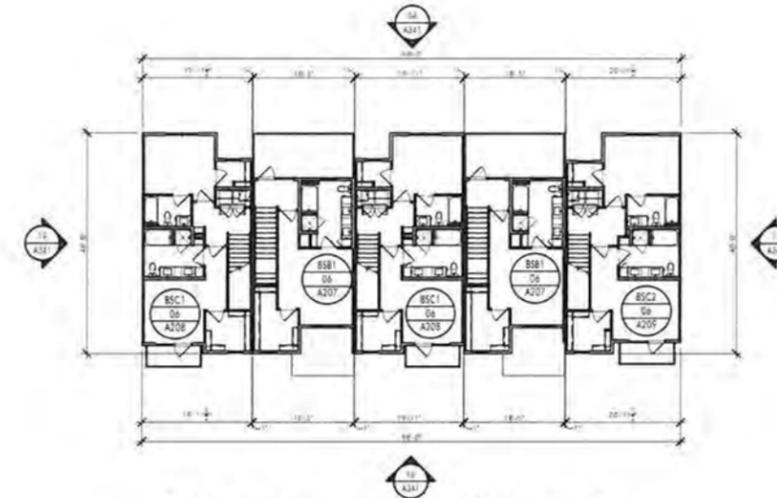
A131



Project Owner:

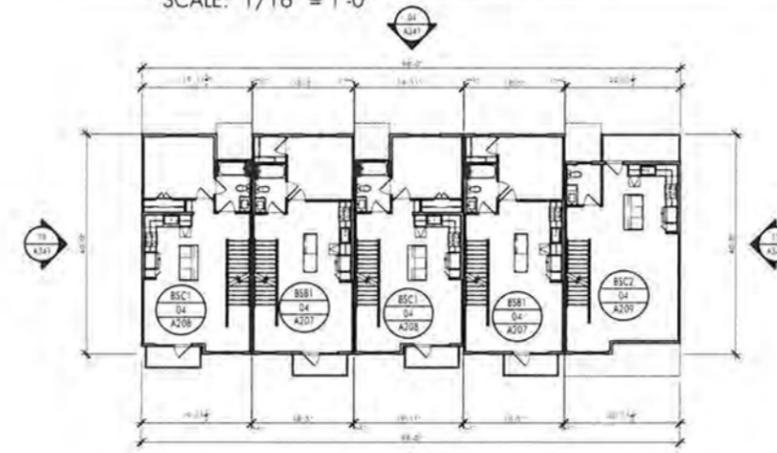
JPI

800 Eas Collins Blvd E, Suite 1800
 Irving, TX 75039



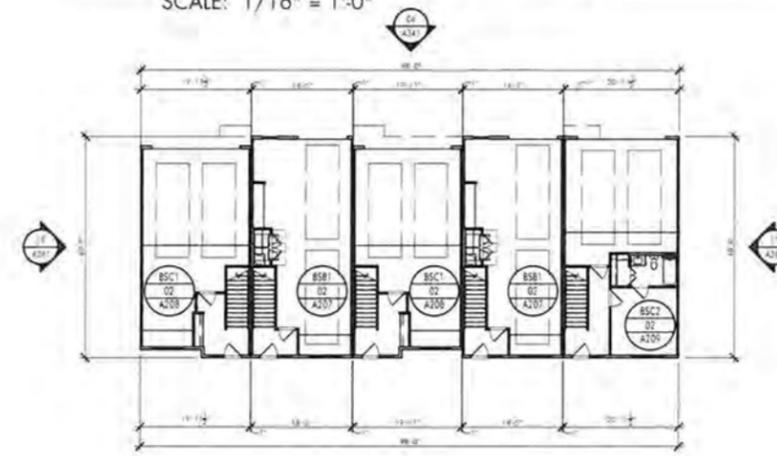
BLDG. D - LEVEL 3 PLAN

SCALE: 1/16" = 1'-0"



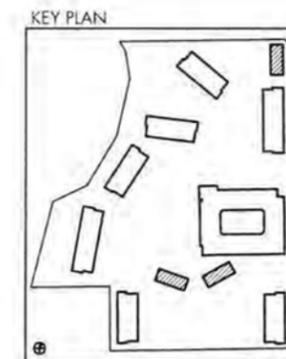
BLDG. D - LEVEL 2 PLAN

SCALE: 1/16" = 1'-0"



BLDG. D - LEVEL 1 PLAN

SCALE: 1/16" = 1'-0"



CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: 218-01-CU19-02, PD 19-01
 LOCATION: 431 SCRIBNER STREET

MAYOR: _____ SECRETARY: _____
 DATE: _____
 PLANNING AND ZONING COMMISSION
 CHAIRMAN: _____
 DATE: _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN
 CONFLICT WITH ANY CODES OR ORDINANCES
 DEPARTMENT OF DEVELOPMENT SERVICES

Issues and Revisions:

No.	Date	Issues
01	10/04/19	PD Submittal Set

Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name:
**BLDG. D - LEVELS
 1 TO 3 PLANS**

SHEET 17 OF 41

Sheet Number:

A141



Project Owner:

JPI

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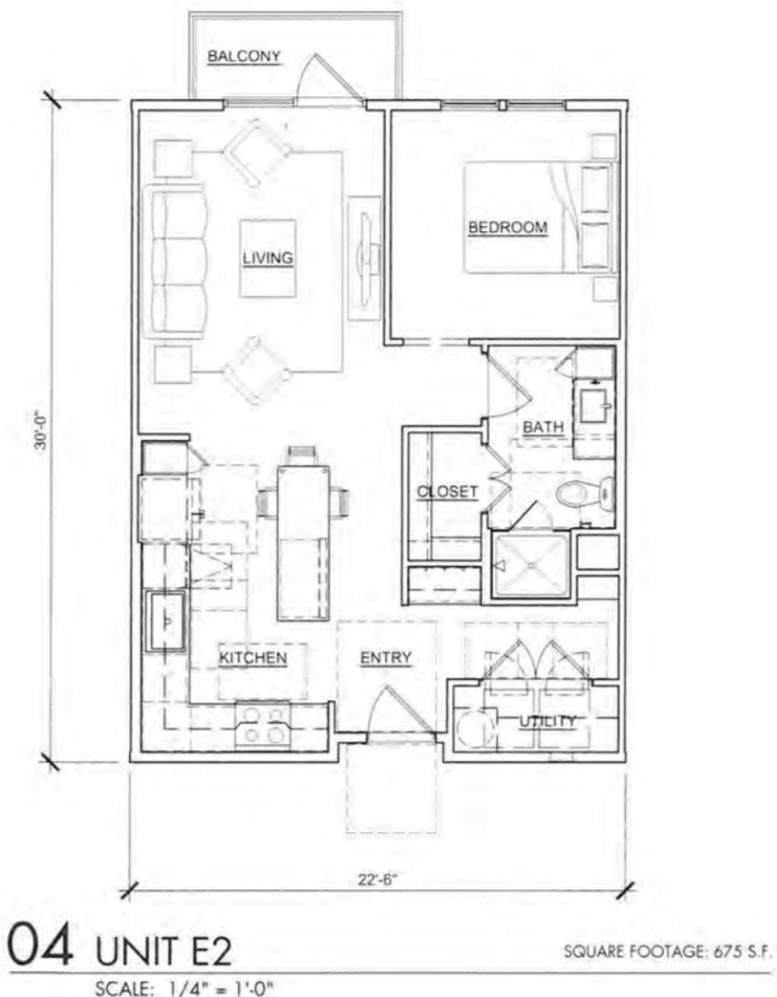
Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name:
E1 & E2 UNITS

SHEET 18 OF 41
 Sheet Number:

A201



CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: 2119-01 CU19-04 PD19-01
 LOCATION: 431 SCRIBNER STREET

MAYOR _____ SECRETARY _____
 DATE _____
 PLANNING AND ZONING COMMISSION
 CHAIRMAN _____
 DATE _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN
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 DEPARTMENT OF DEVELOPMENT SERVICES



Project Owner:

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Issues and Revisions:

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01	10.04.19	PD Submittal Set



Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name:
A1 & A2 UNITS

CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: 21901, CU19-26, PD19-01
 LOCATION: 431 SCRIBNER STREET

MAYOR _____ SECRETARY _____
 DATE: _____
 PLANNING AND ZONING COMMISSION
 CHAIRMAN _____
 DATE: _____

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 CONFLICT WITH ANY CODES OR ORDINANCES
 DEPARTMENT OF DEVELOPMENT SERVICES

SHEET 19 OF 41
 Sheet Number:

A202



Project Owner:

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No.	Date	Issues
01	10.04.19	PD Submittal Set

Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name:
A3 & A4 UNITS

SHEET 20 OF 41
 Sheet Number:

A203



04 UNIT A4 SQUARE FOOTAGE: 972 S.F.
 SCALE: 1/4" = 1'-0"



02 UNIT A3 SQUARE FOOTAGE: 900 S.F.
 SCALE: 1/4" = 1'-0"

CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: 219-01 CL19-26 PD19-01
 LOCATION: 431 SCRIBNER STREET

MAYOR: _____ SECRETARY: _____
 DATE: _____
 PLANNING AND ZONING COMMISSION
 CHAIRMAN: _____
 DATE: _____

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 DEPARTMENT OF DEVELOPMENT SERVICES



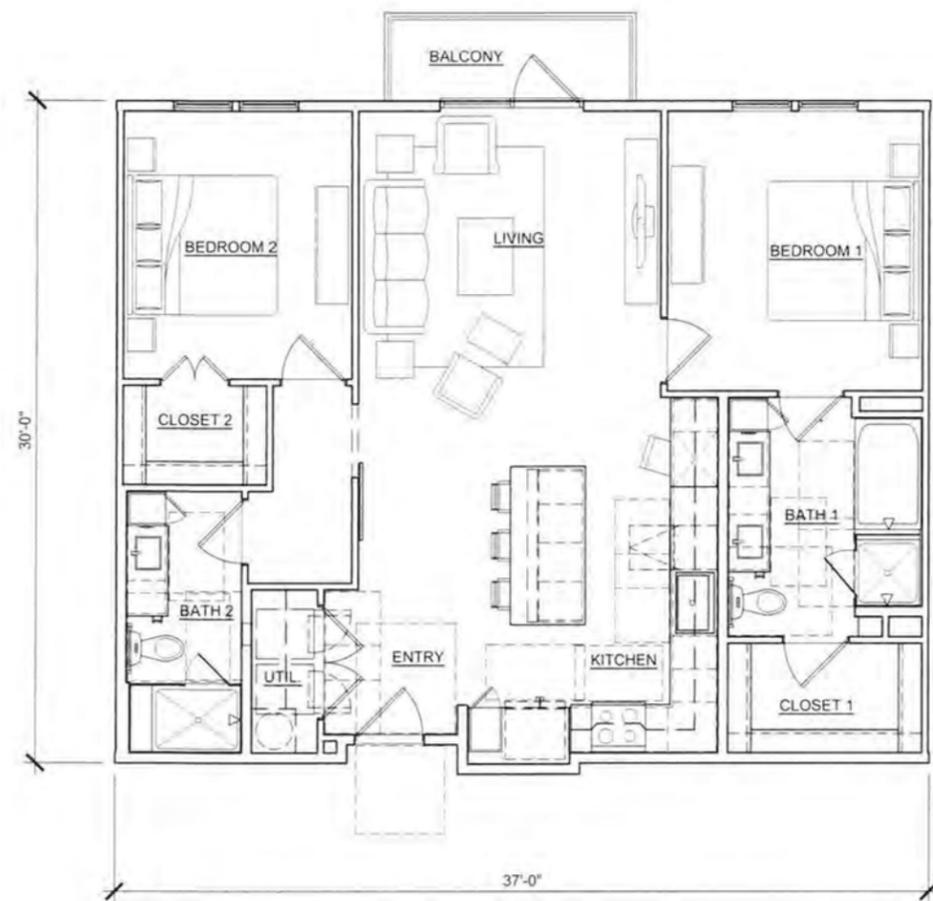
Project Owner:

JPI

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Issues and Revisions:

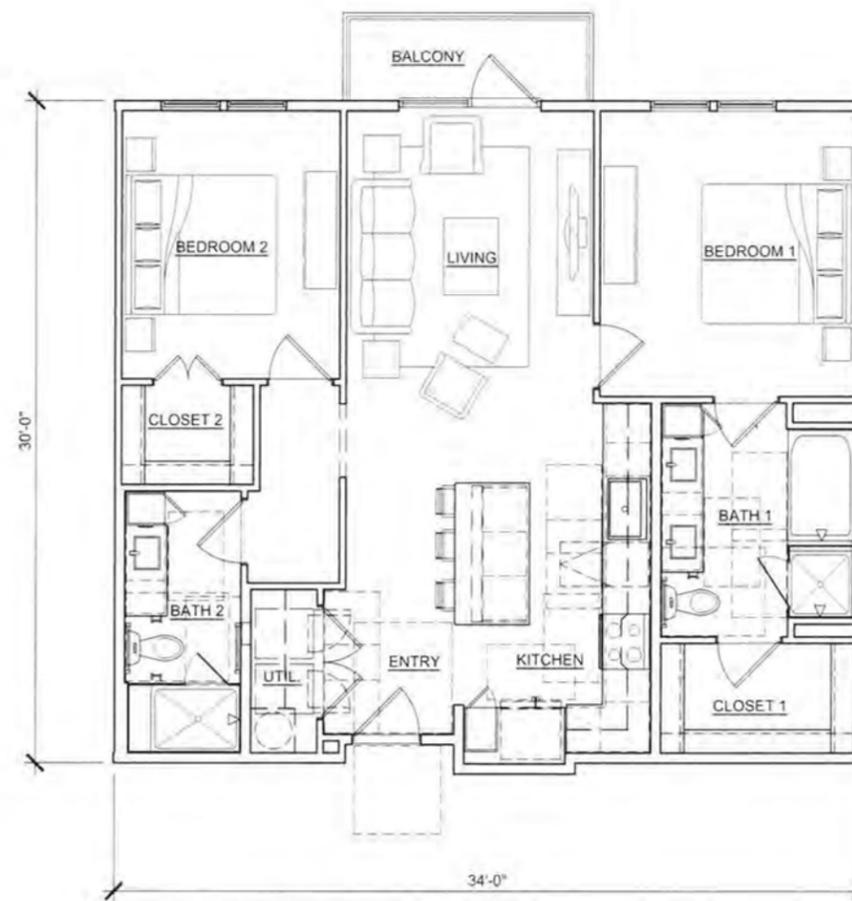
No.	Date	Issues
01	10.04.19	PD Submittal Set



04 UNIT B2

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE: 1110 S.F.



02 UNIT B1

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE: 1020 S.F.

CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: 216-01 CU19-26 PD19-01
 LOCATION: 431 SCRIBNER STREET

MAYOR _____ SECRETARY _____
 DATE _____
 PLANNING AND ZONING COMMISSION
 CHAIRMAN _____
 DATE _____

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 DEPARTMENT OF DEVELOPMENT SERVICES

Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name:
B1 & B2 UNITS

SHEET 21 OF 41
 Sheet Number:

A204



Project Owner:

JPI

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Issues and Revisions:

No.	Date	Issues
01	10.04.19	PD Submittal Set

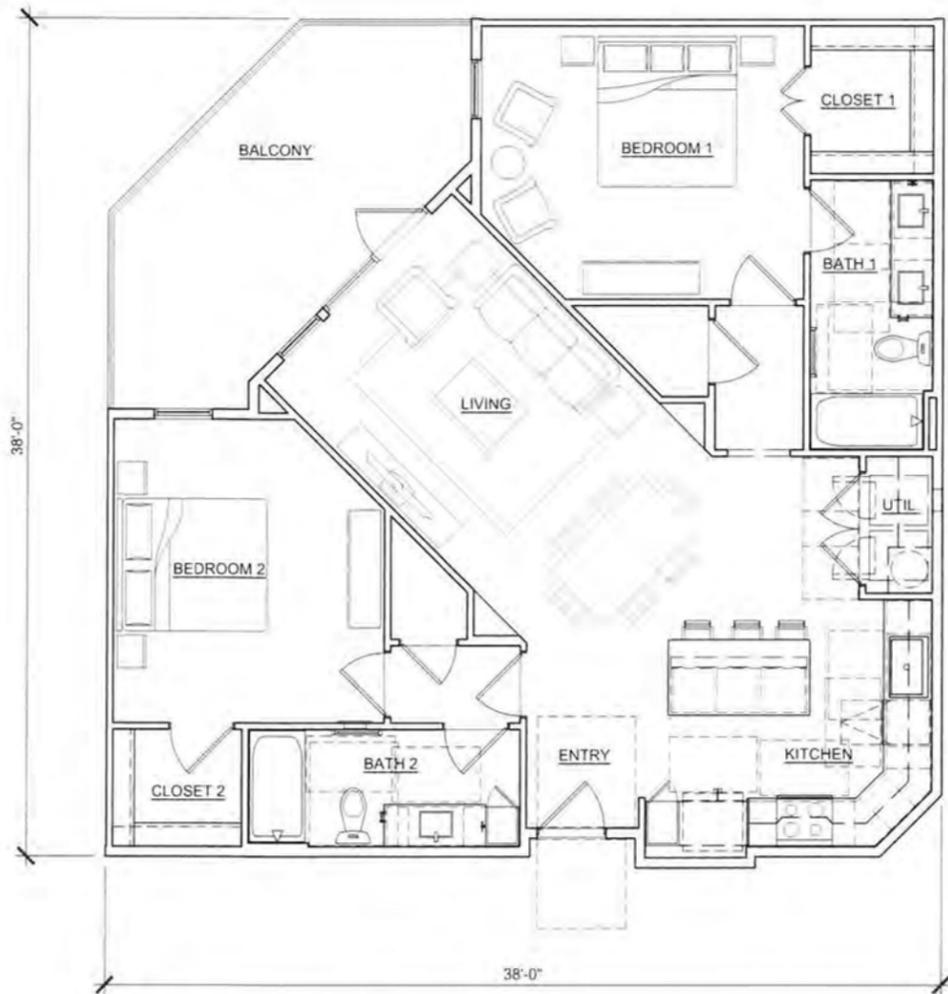
Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

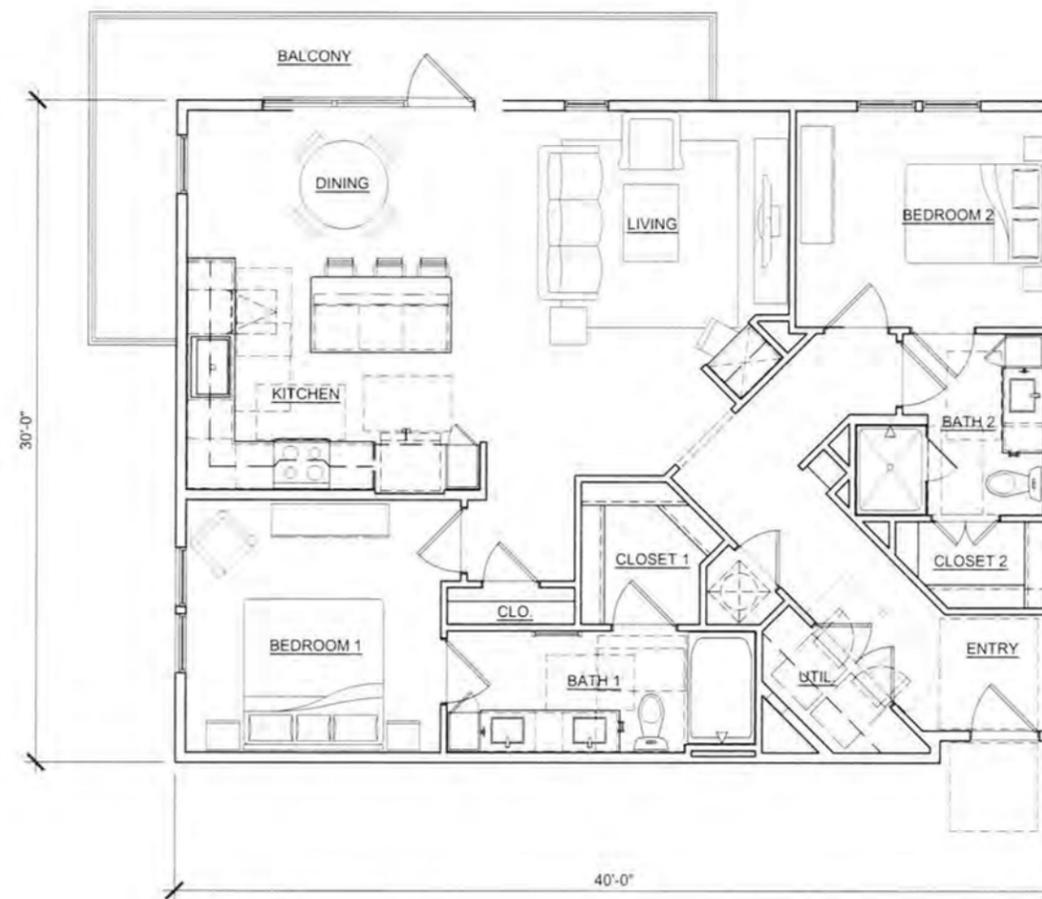
Drawing Name:
B3 & B4 UNITS

SHEET 22 OF 41
 Sheet Number:

A205



04 UNIT B4 SQUARE FOOTAGE: 1210 S.F.
 SCALE: 1/4" = 1'-0"



02 UNIT B3 SQUARE FOOTAGE: 1200 S.F.
 SCALE: 1/4" = 1'-0"

CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: 219-01 CU19-26 PD19-01
 LOCATION: 431 SCRIBNER STREET

MAYOR _____ SECRETARY _____
 DATE _____
 PLANNING AND ZONING COMMISSION
 CHAIRMAN _____
 DATE _____

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Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name:
UNIT C1

CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: Z19-01 CU19-26 PD19-01
 LOCATION: 431 SCRIBNER STREET

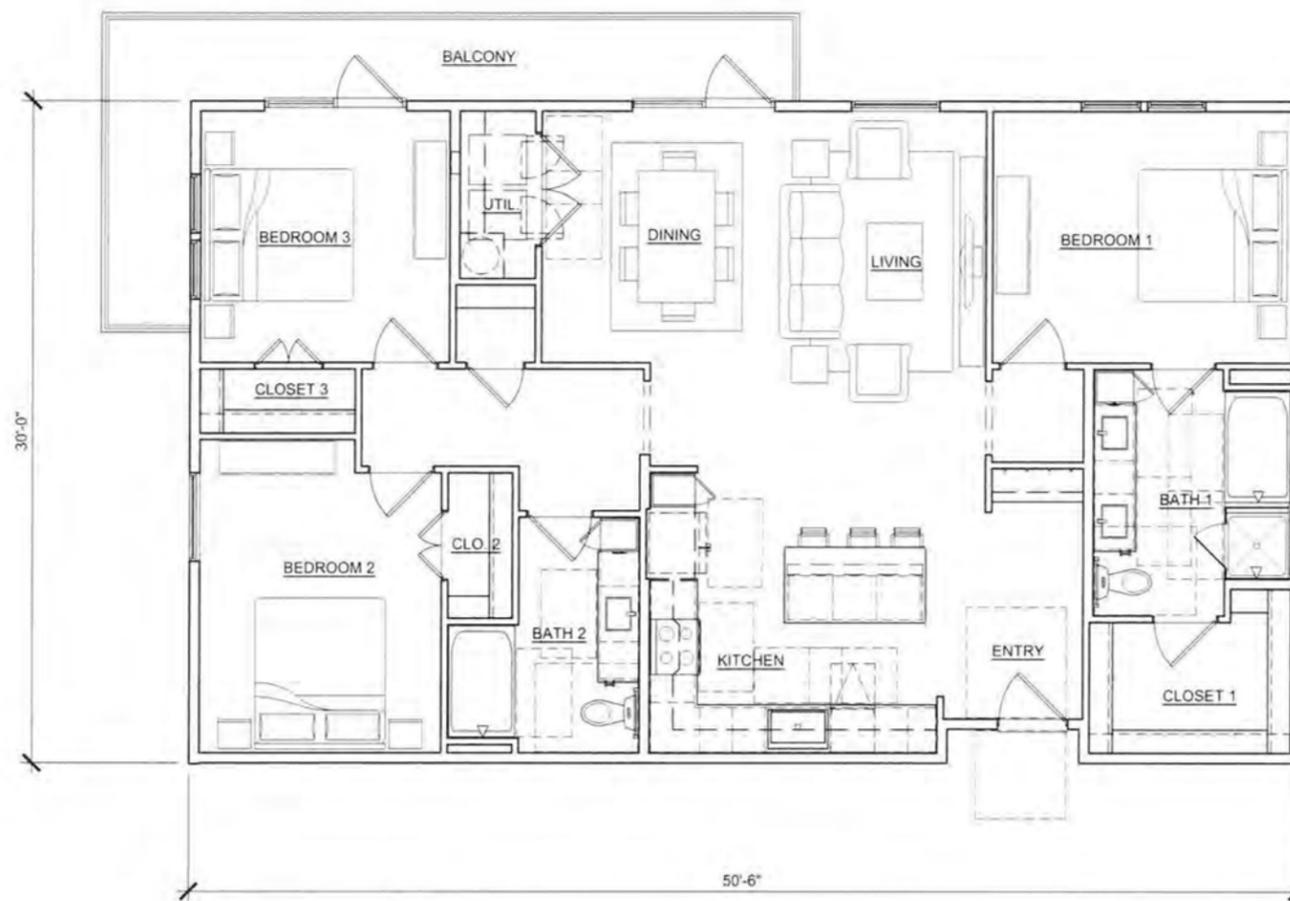
MAYOR _____ SECRETARY _____
 DATE: _____
 PLANNING AND ZONING COMMISSION
 CHAIRMAN _____

DATE: _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN
 CONFLICT WITH ANY CODES OR ORDINANCES
 DEPARTMENT OF DEVELOPMENT SERVICES

SHEET 23 OF 41
 Sheet Number:

A206



02 UNIT C1 SQUARE FOOTAGE: 1515 S.F.
 SCALE: 1/4" = 1'-0"



Issues and Revisions:

No.	Date	Issues
01	10.04.19	PD Submittal Set

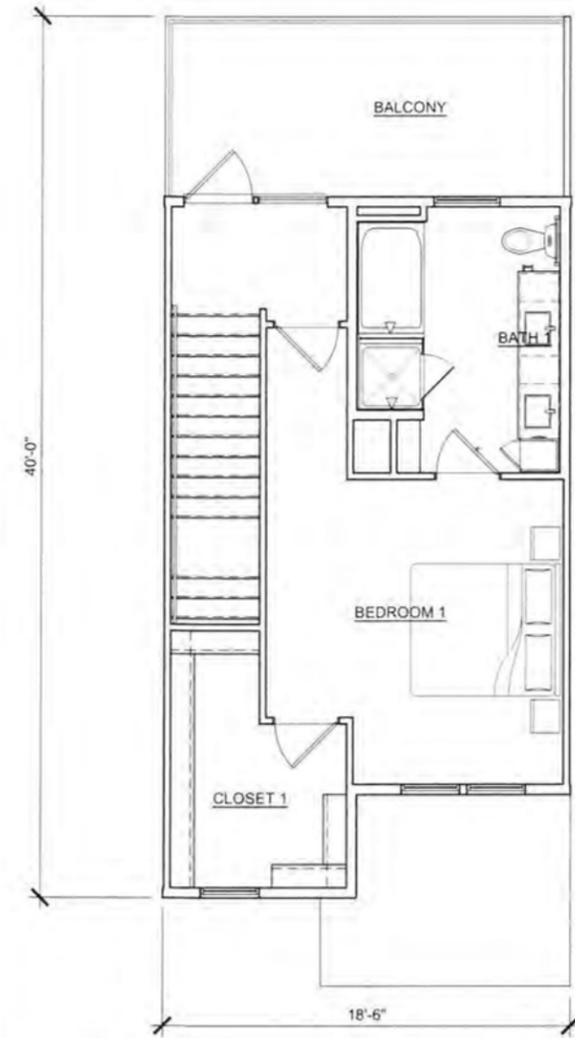
Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

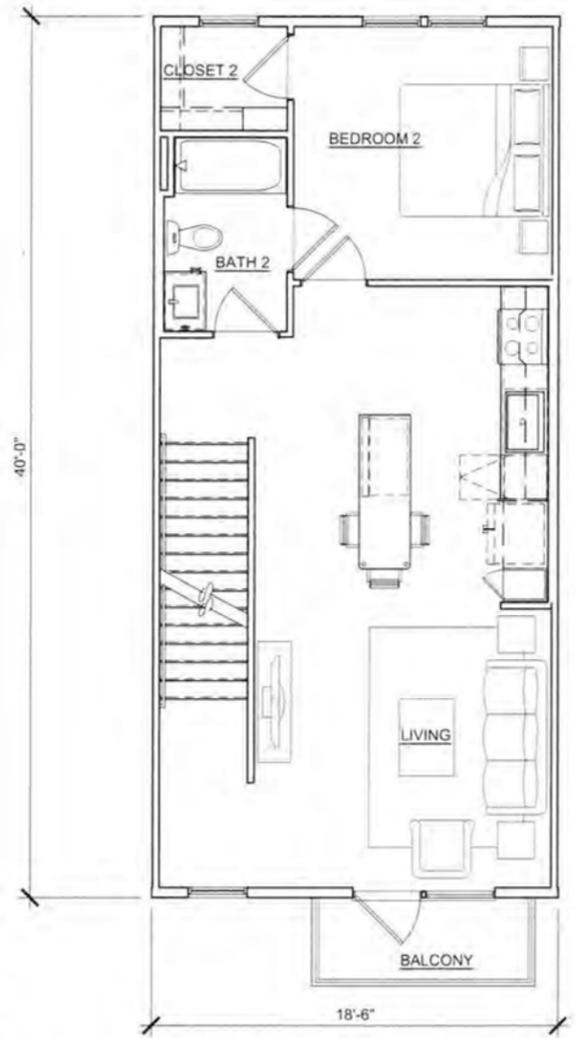
Drawing Name:
BROWNSTONE-B1

SHEET 24 OF 41
 Sheet Number:

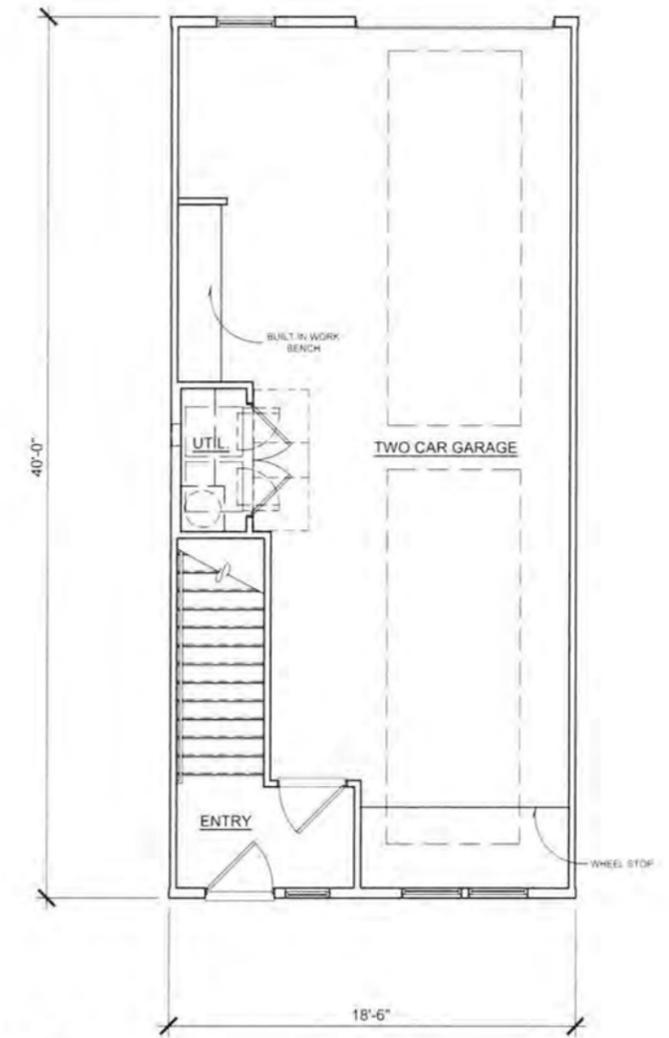
A207



06 UNIT BS-B1 LEVEL 3
 SCALE: 1/4" = 1'-0"



04 UNIT BS-B1 LEVEL 2
 SCALE: 1/4" = 1'-0"



02 UNIT BS-B1 LEVEL 1 SQUARE FOOTAGE: 1349 S.F.
 SCALE: 1/4" = 1'-0"

CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: 219-01, CU19-26, PD19-01
 LOCATION: 431 SCRIBNER STREET

MAYOR _____ SECRETARY _____
 DATE _____
 PLANNING AND ZONING COMMISSION
 CHAIRMAN _____
 DATE _____

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No.	Date	Issues
01	10.04.19	PD Submittal Set

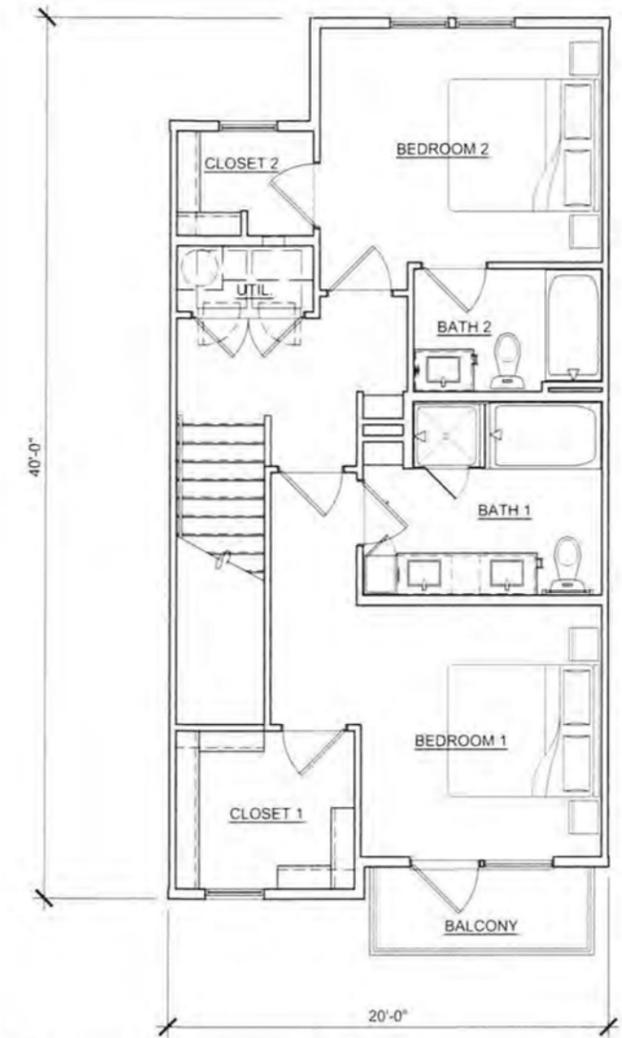
Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

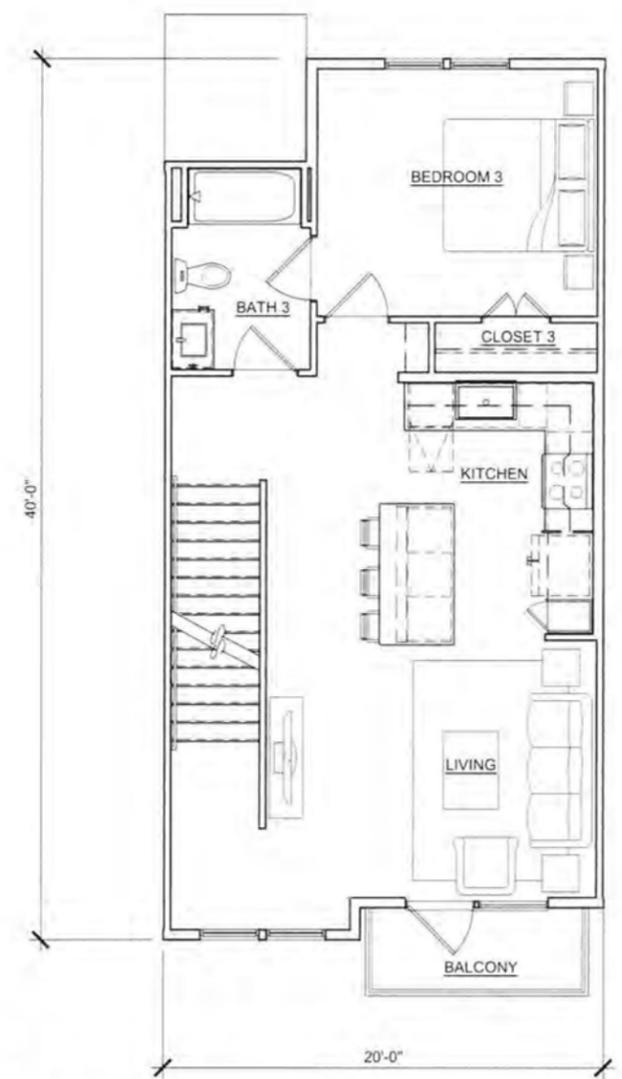
Drawing Name:
BROWNSTONE-C1

SHEET 25 OF 41
 Sheet Number:

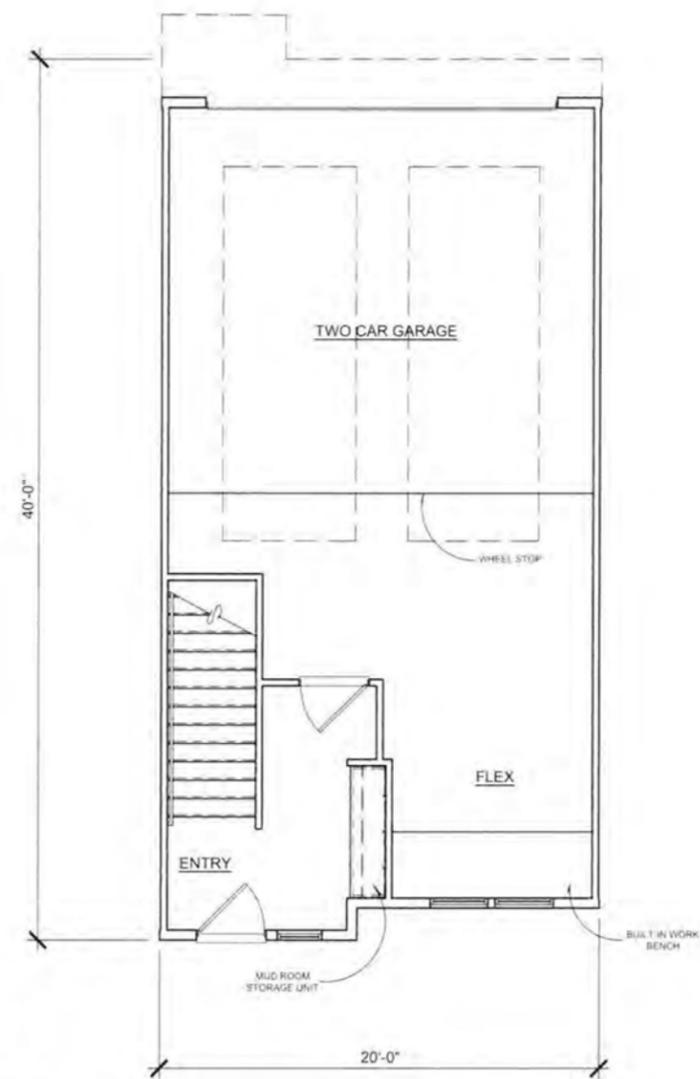
A208



06 UNIT BS-C1 LEVEL 3
 SCALE: 1/4" = 1'-0"



04 UNIT BS-C1 LEVEL 2
 SCALE: 1/4" = 1'-0"



02 UNIT BS-C1 LEVEL 1 SQUARE FOOTAGE: 1596 S.F.
 SCALE: 1/4" = 1'-0"

CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: 219-01 CU19-26 PD19-01
 LOCATION: 431 SCRIBNER STREET

MAYOR _____ SECRETARY _____
 DATE _____
 PLANNING AND ZONING COMMISSION:
 CHAIRMAN _____
 DATE _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN
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No.	Date	Issues
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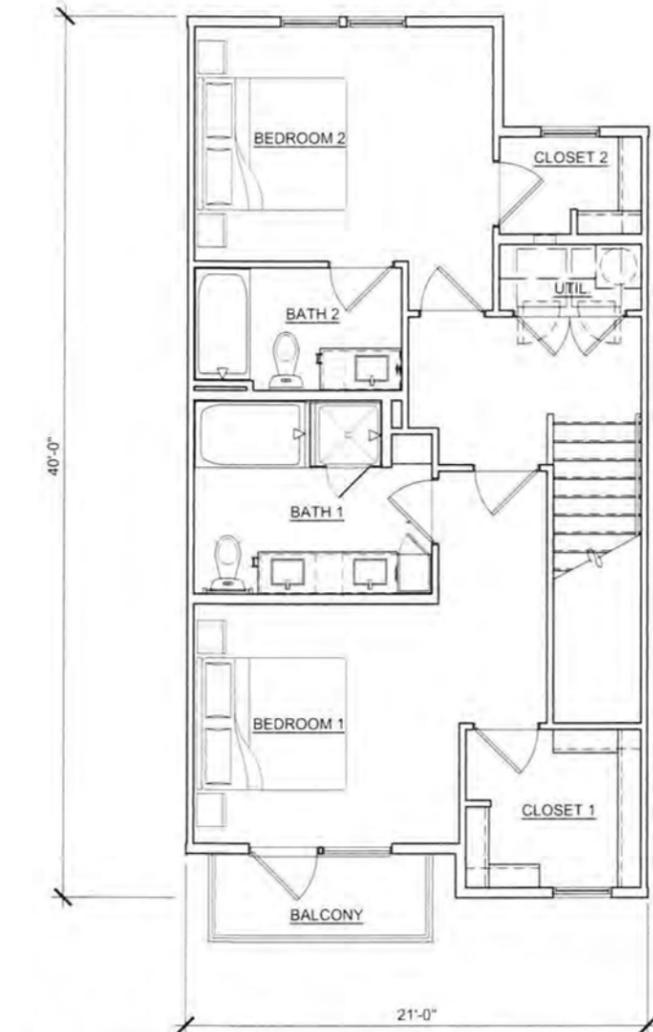
Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name:
 UNITS

SHEET 26 OF 41
 Sheet Number:

A209



06 UNIT BS-C2 LEVEL 3

SCALE: 1/4" = 1'-0"



04 UNIT BS-C2 LEVEL 2

SCALE: 1/4" = 1'-0"



02 UNIT BS-C2 LEVEL 1 SQUARE FOOTAGE: 1799 S.F.

SCALE: 1/4" = 1'-0"

CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: Z19-01 CG19-26 PD19-01
 LOCATION: 431 SCRIBNER STREET

MAYOR _____ SECRETARY _____
 DATE _____
 PLANNING AND ZONING COMMISSION
 CHAIRMAN _____
 DATE _____

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 DEPARTMENT OF DEVELOPMENT SERVICES



Savoys2 at Vitruvian Park 3875 Forta Ave
 Suite 410 Addison Texas 75001
 The Arnold in East Austin 1621 E 6th Street
 Suite 1151 Austin Texas 78702
 214 969.0500 phone www.wilderbelshaw.com

Project Owner:
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Issues and Revisions:

No.	Date	Issues
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24 BLDG. A - SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

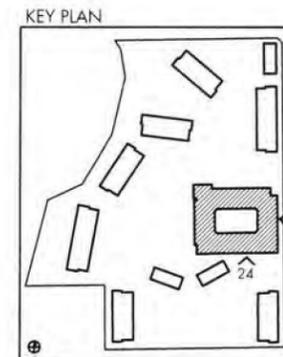
72.32% BRICK/STONE
 27.68% STUCCO



06 BLDG. A - SCRIBNER ELEVATION

SCALE: 3/32" = 1'-0"

71.53% BRICK/STONE
 28.47% STUCCO



Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name:
BLDG. A - EXTERIOR ELEVATIONS

CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: Z19-01 CU19-28 PD19-01
 LOCATION: 431 SCRIBNER STREET

MAYOR _____ SECRETARY _____
 DATE: _____
 PLANNING AND ZONING COMMISSION:
 CHAIRMAN _____

DATE: _____

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 DEPARTMENT OF DEVELOPMENT SERVICES

SHEET 27 OF 41
 Sheet Number:

A311



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 Suite 410 Addison Texas 75001
 The Arnold in East Austin 1621 E. 6th Street
 Suite 1151 Austin Texas 78702
 214 969.0500 phone www.wilderbelshaw.com

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 Irving, TX 75039

Issues and Revisions:

No.	Date	Issues
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24 BLDG. A - NORTH ELEVATION

SCALE: 3/32" = 1'-0"

71.50% BRICK/STONE
 28.50% STUCCO



06 BLDG. A - WEST ELEVATION

SCALE: 3/32" = 1'-0"

70.18% BRICK/STONE
 29.82% STUCCO

KEY PLAN

CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: Z19-01 CU19-28 PD19-01
 LOCATION: 431 SCRIBNER STREET

MAYOR _____ SECRETARY _____
 DATE _____
 PLANNING AND ZONING COMMISSION
 CHAIRMAN _____
 DATE _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN
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 DEPARTMENT OF DEVELOPMENT SERVICES

**Jefferson
 Shady Brook**

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name:
**BLDG. A - EXTERIOR
 ELEVATIONS**

SHEET 28 OF 41
 Sheet Number:

A312



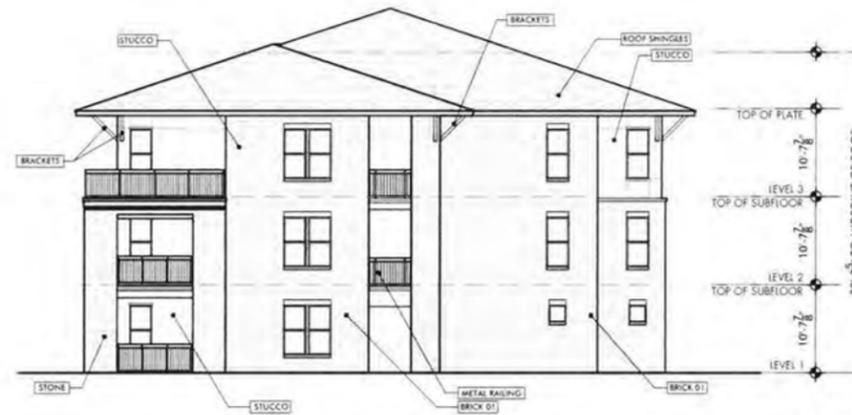
Savoys2 at Vitruvian Park 3875 Florida Ave
 Suite 410 Addison Texas 75001
 The Arnold in East Austin 1621 E. 6th Street
 Suite 1151 Austin Texas 78702
 214 969.0500 phone www.wilderbelshaw.com

Project Owner:

JPI
 600 Los Colinas Blvd E, Suite 1800
 Irving, TX 75039



30 BLDG. B - SIDE ELEVATION 80.24% BRICK/STONE
 19.76% STUCCO
 SCALE: 3/32" = 1'-0"



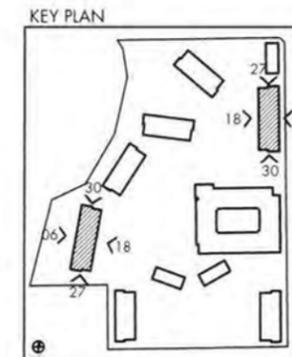
27 BLDG. B - SIDE ELEVATION 87.78% BRICK/STONE
 12.22% STUCCO
 SCALE: 3/32" = 1'-0"



18 BLDG. B - REAR ELEVATION 82.90% BRICK/STONE
 17.10% STUCCO
 SCALE: 3/32" = 1'-0"



06 BLDG. B - FRONT ELEVATION 80.40% BRICK/STONE
 19.60% STUCCO
 SCALE: 3/32" = 1'-0"



CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: Z19-01, CU19-28, P019-01
 LOCATION: 431 SCRIBNER STREET

MAYOR _____ SECRETARY _____
 DATE _____
 PLANNING AND ZONING COMMISSION
 CHAIRMAN _____
 DATE _____

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Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name:
BLDG. B- EXTERIOR ELEVATIONS

SHEET 29 OF 41
 Sheet Number:

A321



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 Suite 410 Addison Texas 75001
 The Arnold in East Austin 1621 E 6th Street
 Suite 1151 Austin Texas 78702
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Project Owner:

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Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name:
BLDG. C - EXTERIOR ELEVATIONS

SHEET 30 OF 41
 Sheet Number:

A331

30 BLDG. C - SIDE ELEVATION
 SCALE: 3/32" = 1'-0"

84.76% BRICK/STONE
 15.24% STUCCO

27 BLDG. C - SIDE ELEVATION
 SCALE: 3/32" = 1'-0"

83.21% BRICK/STONE
 16.79% STUCCO

17 BLDG. C - REAR ELEVATION
 SCALE: 3/32" = 1'-0"

82.91% BRICK/STONE
 17.09% STUCCO

05 BLDG. C - FRONT ELEVATION
 SCALE: 3/32" = 1'-0"

84.90% BRICK/STONE
 15.12% STUCCO



CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: 215-01 CU19-28 PD19-01
 LOCATION: 431 SCRIBNER STREET

MAYOR _____ SECRETARY _____
 DATE: _____
 PLANNING AND ZONING COMMISSION:
 _____ CHAIRMAN _____
 DATE: _____

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 DEPARTMENT OF DEVELOPMENT SERVICES



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The Arnold in East Austin 1621 E 6th Street
Suite 1151 Austin Texas 78702
214 969.0500 phone www.wilderbelshaw.com

Project Owner:

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29 BLDG. D - SIDE ELEVATION
SCALE: 3/32" = 1'-0"
90.85% BRICK/STONE
09.15% STUCCO



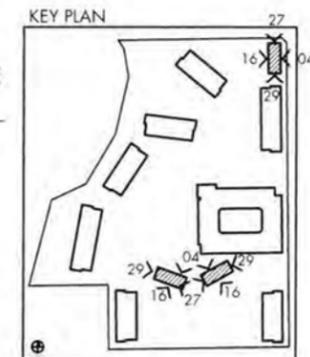
27 BLDG. D - SIDE ELEVATION
SCALE: 3/32" = 1'-0"
90.45% BRICK/STONE
09.55% STUCCO



16 BLDG. D - REAR ELEVATION
SCALE: 3/32" = 1'-0"
80.46% BRICK/STONE
19.54% STUCCO



04 BLDG. D - FRONT ELEVATION
SCALE: 3/32" = 1'-0"
85.95% BRICK/STONE
14.05% STUCCO



CASE NAME: JEFFERSON SHADY BROOK
CASE NUMBER: 219-01, CU19-26, PD19-01
LOCATION: 431 SCRIBNER STREET

MAYOR _____ SECRETARY _____
DATE _____
PLANNING AND ZONING COMMISSION
CHAIRMAN _____
DATE _____

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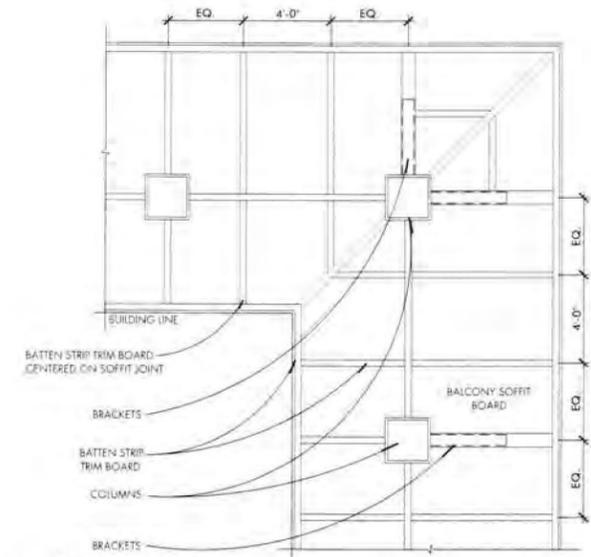
Issues and Revisions:

No.	Date	Issues
01	10.04.19	PD Submittal Set

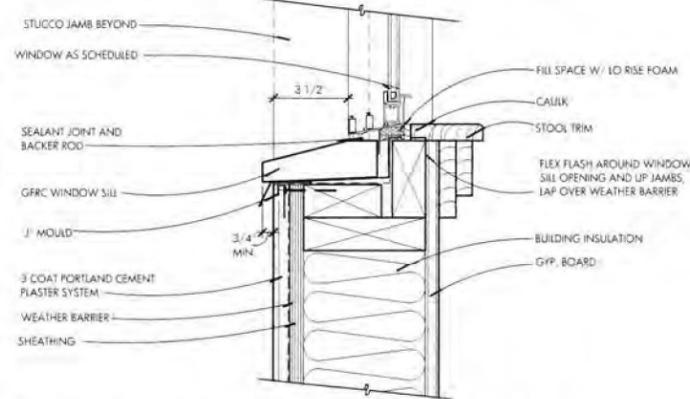
Jefferson Shady Brook

Grapevine, Texas
Wilder Belshaw Project Number: 1908

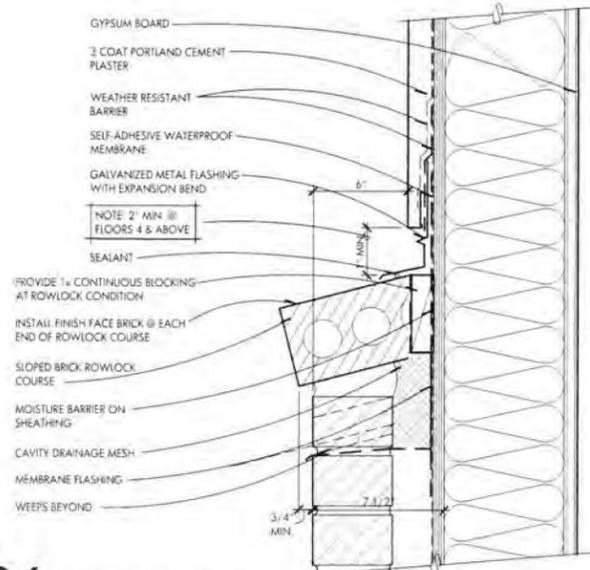
Drawing Name:
BLDG. D - EXTERIOR ELEVATIONS



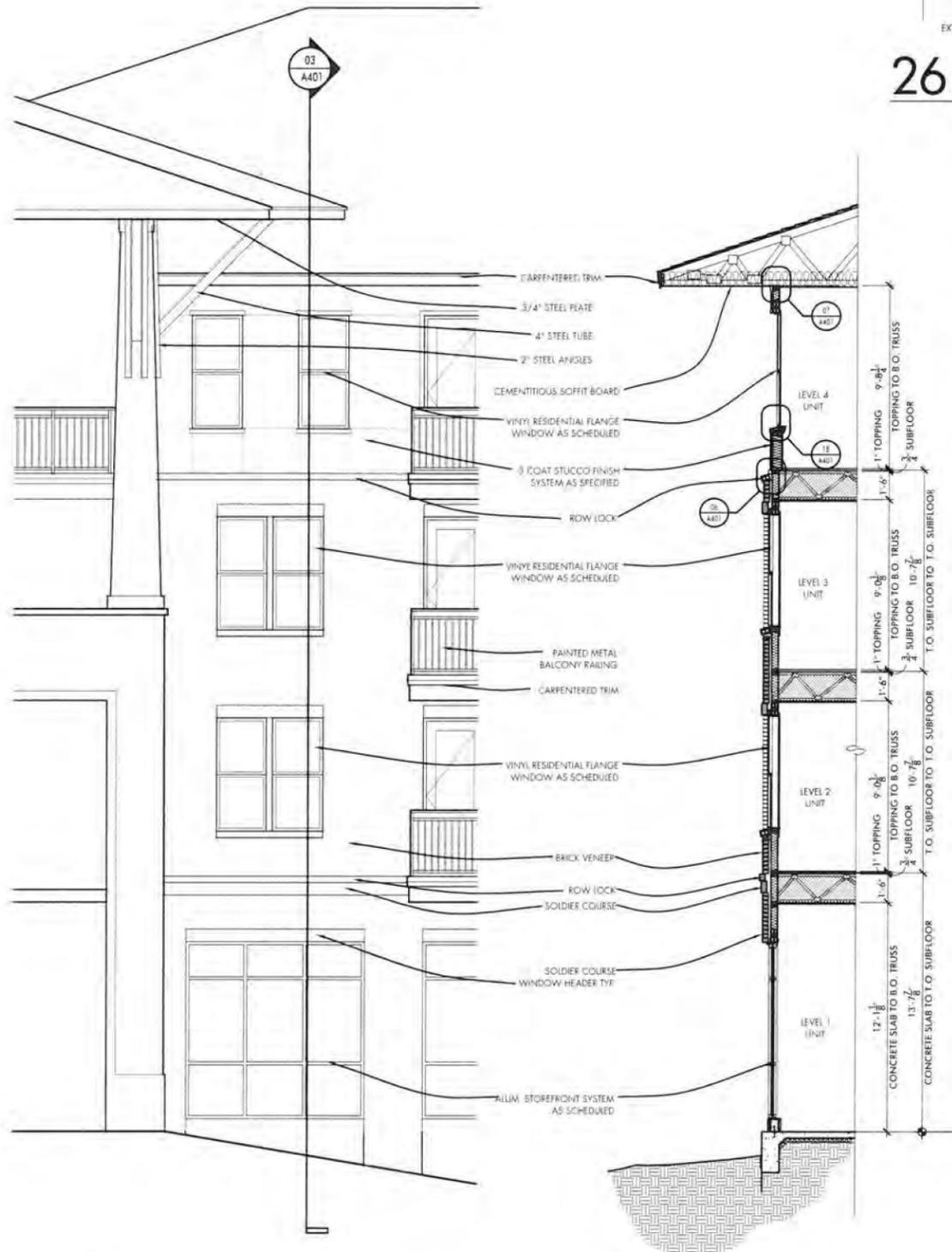
30 TYPICAL BALCONY SOFFIT
SCALE: 1/4" = 1'-0"



18 WINDOW SILL AT STUCCO
SCALE: 3" = 1'-0"

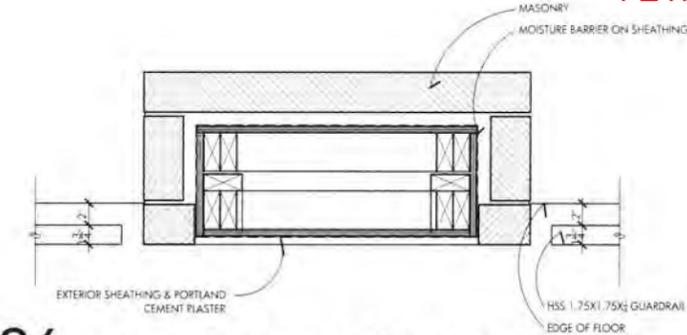


06 BRICK TO STUCCO
SCALE: 3" = 1'-0"

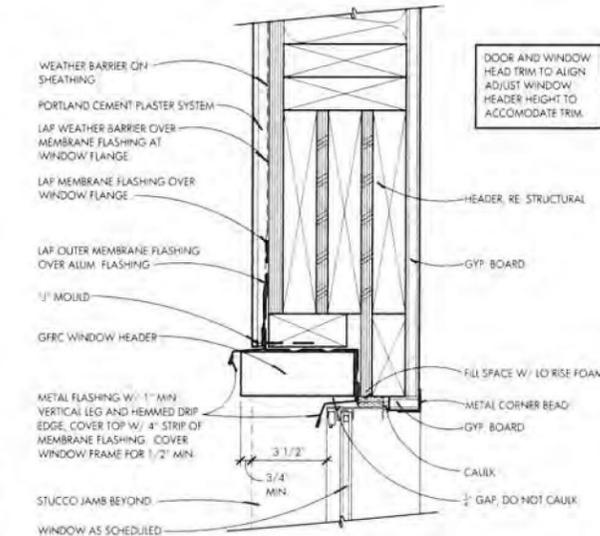


04 ENLARGED ELEVATION
SCALE: 1/4" = 1'-0"

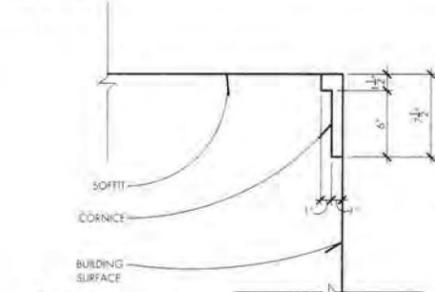
03 WALL SECTION
SCALE: 1/4" = 1'-0"



26 PLAN DETAIL - BALCONY RAILING
SCALE: 1 1/2" = 1'-0"



20 WINDOW HEAD AT STUCCO
SCALE: 3" = 1'-0"



07 CORNICE PROFILE
SCALE: 1 1/2" = 1'-0"

CASE NAME: JEFFERSON SHADY BROOK
CASE NUMBER: 219-01, CU19-28, PD19-01
LOCATION: 431 SCRIBNER STREET

MAYOR: _____ SECRETARY: _____
DATE: _____
PLANNING AND ZONING COMMISSION
CHAIRMAN: _____
DATE: _____

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No.	Date	Issues
01	10.04.19	PD Submittal Set

Jefferson Shady Brook

Grapevine, Texas
Wilder Belshaw Project Number: 1908

Drawing Name:
WALL SECTIONS

SHEET 32 OF 41
Sheet Number:

A401



Project Owner:

JPI

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Issues and Revisions:

No.	Date	Issues
01	10.04.19	PD Submittal Set

Jefferson Shady Brook

Grapevine, Texas
Wilder Belshaw Project Number: 1908

Drawing Name:
WALL SECTIONS

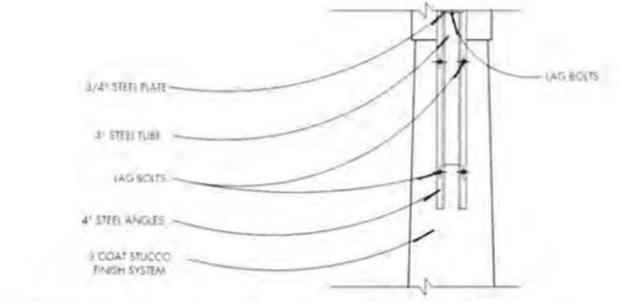
SHEET 33 OF 41
Sheet Number:

A402

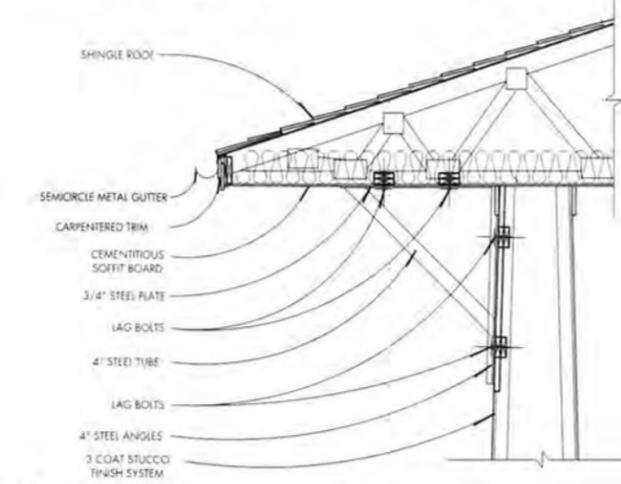
CASE NAME: JEFFERSON SHADY BROOK
CASE NUMBER: 219-01, CU19-28, PD19-01
LOCATION: 431 SCRIBNER STREET

MAYOR _____ SECRETARY _____
DATE _____
PLANNING AND ZONING COMMISSION
CHAIRMAN _____
DATE _____

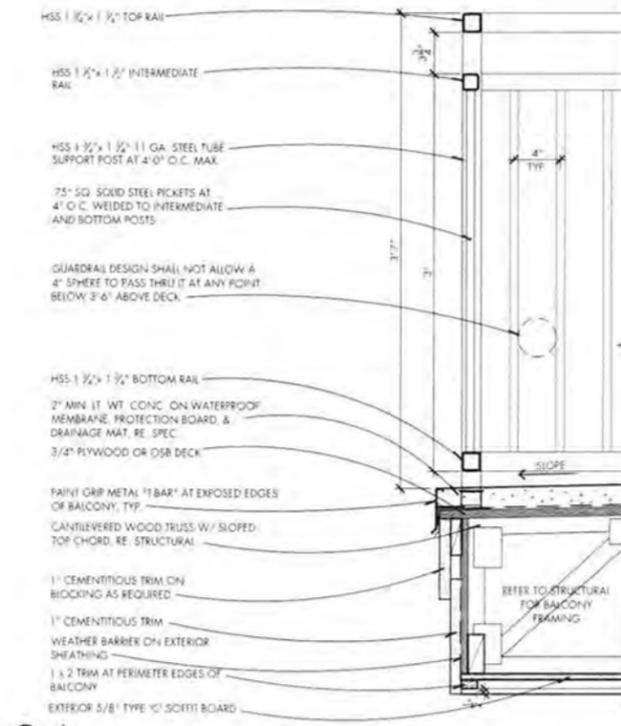
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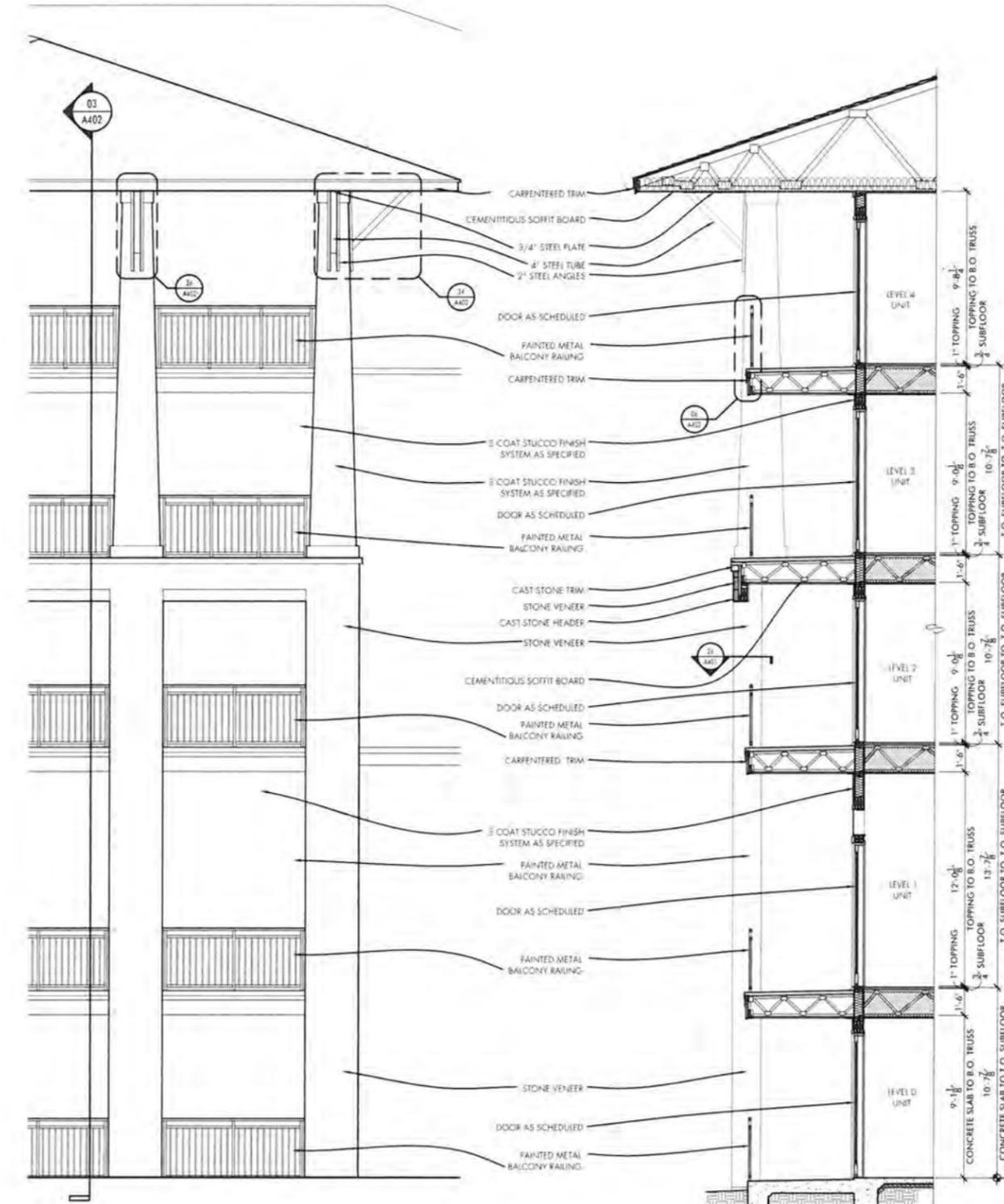
36 TYPICAL BRACKET DETAIL
SCALE: 1/2" = 1'-0"



24 TYPICAL BRACKET DETAIL
SCALE: 1/2" = 1'-0"



06 BALCONY RAILING
SCALE: 1 1/2" = 1'-0"



04 ENLARGED ELEVATION
SCALE: 1/4" = 1'-0"

03 WALL SECTION
SCALE: 1/4" = 1'-0"



Project Owner:

JPI

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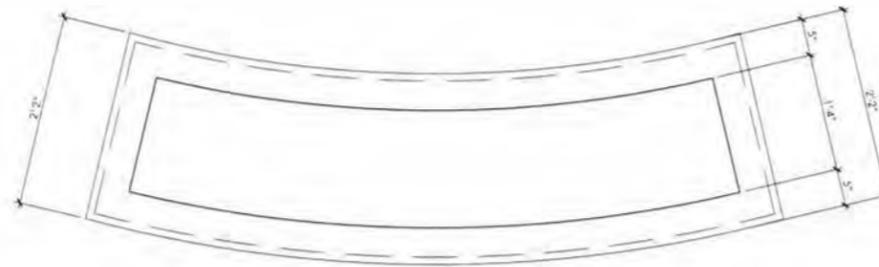
Issues and Revisions:

No.	Date	Issues
01	10.04.19	PD Submittal Set



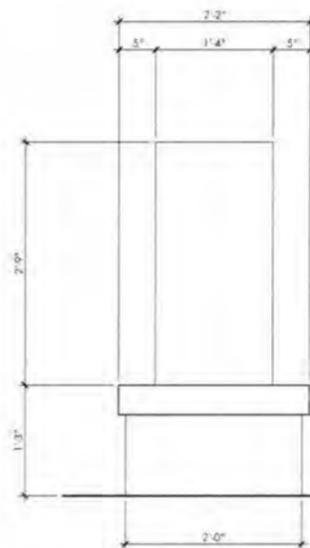
MONUMENT SIGN LOCATION

NOT TO SCALE



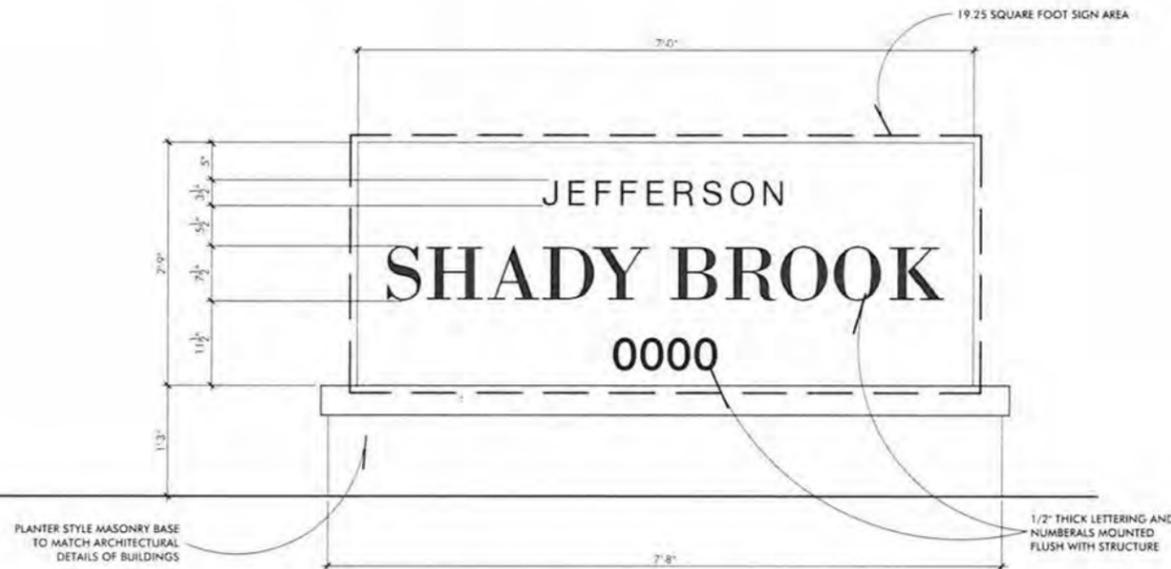
MONUMENT SIGN PLAN

SCALE: 1" = 1'-0"



MONUMENT SIGN SIDE ELEVATION

SCALE: 1" = 1'-0"



MONUMENT SIGN FRONT ELEVATION

SCALE: 1" = 1'-0"

CASE NAME: JEFFERSON SHADY BROOK
 CASE NUMBER: Z19-01, CU19-26, PD19-01
 LOCATION: 431 SCRIBNER STREET

 MAYOR SECRETARY

DATE: _____

PLANNING AND ZONING COMMISSION

 CHAIRMAN

DATE: _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN
 CONFLICT WITH ANY CODES OR ORDINANCES
 DEPARTMENT OF DEVELOPMENT SERVICES

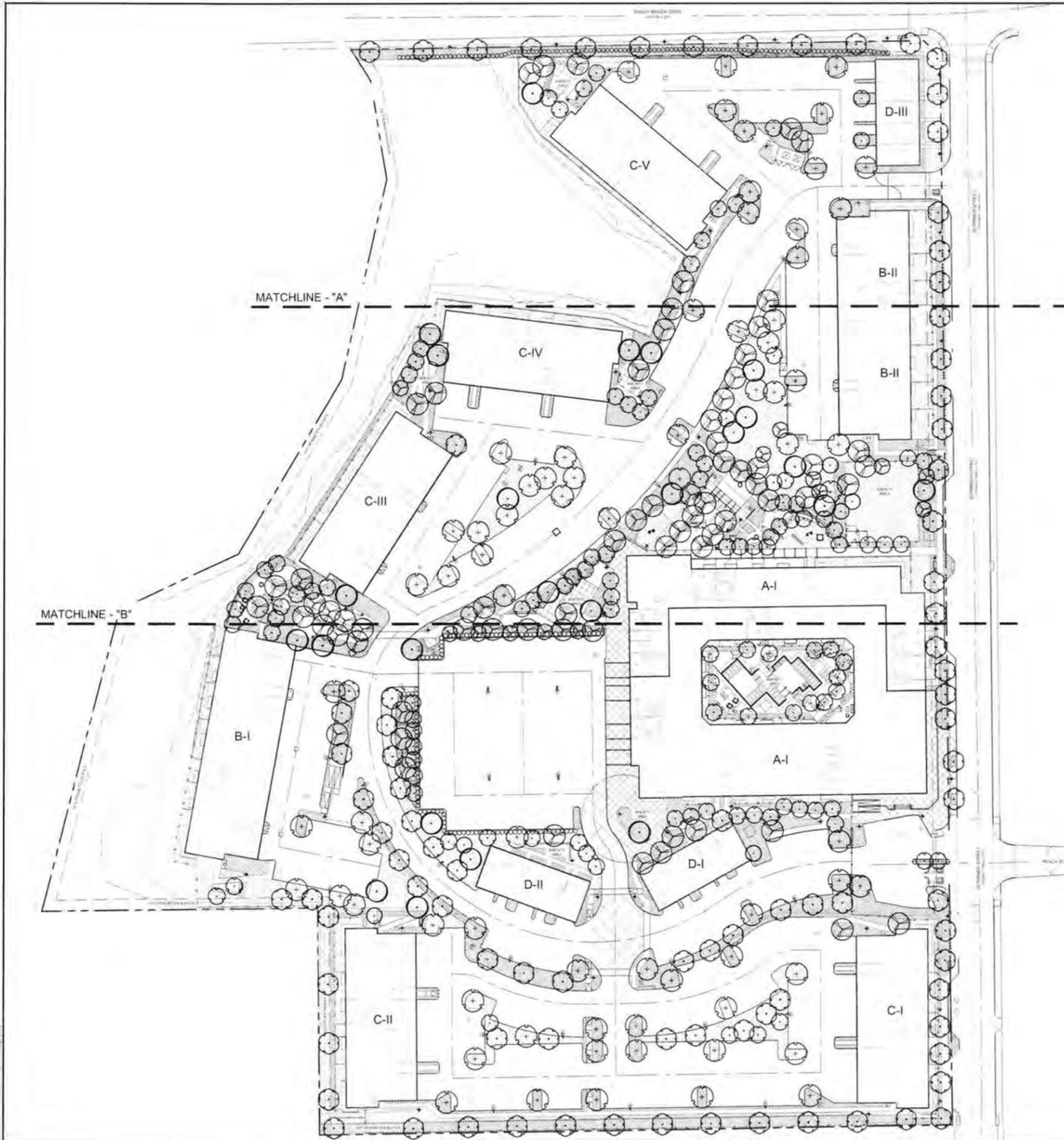
Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

Drawing Name:
**MONUMENT SIGN -
 PLAN & ELEVATIONS**

SHEET 34 OF 41
 Sheet Number:

A510



LANDSCAPE SCHEDULE

NON-VEHICULAR TREES	PERIMETER TREES	PARKING SCAPES
<p>MIN. 2" CAL (TOTAL 34)</p> <p>Quercus laevis / Red Oak Liriodendron virginiana / Southern Live Oak</p>	<p>MIN. 2" CAL (TOTAL 89)</p> <p>Quercus macrocarpa / Bur Oak Quercus muhlenbergii / Chiquagon Oak Juniperus chinensis / Cedar Elm Quercus shumardii / Texas Red Oak</p>	<p>BERMUDA SOO Cynodon dactylon / Bermuda Grass</p> <p>BERMUDA SEEDING Cynodon dactylon / Bermuda Grass</p> <p>LANDSCAPE BED</p>
<p>MIN. 2" CAL (TOTAL 46)</p> <p>Quercus macrocarpa / Bur Oak Quercus muhlenbergii / Chiquagon Oak Juniperus chinensis / Cedar Elm</p>	<p>INTERIOR PARKING TREES</p> <p>MIN. 2" CAL (TOTAL 74)</p> <p>Platanus chinensis / Sycamore / Redwood / TM / Chinese Pistache Juniperus chinensis / Cedar Elm Quercus macrocarpa / Bur Oak Quercus shumardii / Texas Red Oak Baccharis artemisiifolia / Western Soapberry</p>	
<p>MIN. 2" CAL (TOTAL 142)</p> <p>Quercus macrocarpa / Bur Oak Carya sinuata / Pecan Magnolia grandiflora / Southern Magnolia</p>	<p>ORNAMENTAL TREES</p> <p>MIN. 30 GAL (TOTAL 106)</p> <p>Lagerstroemia x natchez / White Crape Myrtle Multi-Trunk Platanus chinensis / Sycamore / Redwood / TM / Chinese Pistache Cercis canadensis / Oklahoma Redbud Sophora alba / Eve's Necklace</p>	
<p>MIN. 2" CAL (TOTAL 1)</p> <p>Ilex vomitoria / Yaupon Holly Pinus murrayana / Japanese Black Pine Juniperus virginiana / Eastern Red Cedar Pinus strobus / Christmas Tree / Christmas Blue Alger Pine</p>		

CITY REQUIREMENTS

OFF-STREET PARKING AREAS (IP)

INTERIOR LANDSCAPING
GROSS PARKING: MIN. 10% GROSS PARKING TO BE LANDSCAPE
196,254 SF PARKING X 10% = 19,625 SF REQUIRED
19,626 SF PROPOSED
1 TREE PER 400 SF REQUIRED LANDSCAPE AREA
19,626 SF / 400 = 49 TREES REQUIRED
49 TREES PROPOSED

PERIMETER LANDSCAPING (P)

PUBLIC STREET
1 TREE PER 50 LIN. FT. SCRIBNER STREET
569.62 LF / 50 = 11.39 = 11 TREES REQUIRED
11 TREES PROPOSED

PUBLIC STREET
1 TREE PER 50 LIN. FT. SHADE BROOK DRIVE
544.88 LF / 50 = 10.89 = 11 TREES REQUIRED
11 TREES PROPOSED

10' LANDSCAPE BUFFER ADJACENT TO PROPERTY LINES
1 TREE PER 50 LIN. FT.
SOUTH PROPERTY LINES
509 LF / 50 = 10.18 = 10 TREES REQUIRED
10 TREES PROPOSED

WEST PROPERTY LINES
1655.46 LF / 50 = 33.11 = 31 TREES REQUIRED
ACHIEVED THRU PRESERVATION AREA

NON-VEHICULAR OPEN SPACE (NV)
TOTAL SITE: 638,158 SF
NON-VEHICULAR OPEN SPACE: 246,086 SF (38.5% of site)
1 TREE PER 3000 SF OPEN SPACE
246,086 SF / 3000 = 82.03 = 82 TREES REQUIRED
82 TREES PROPOSED

1"=50'

TYPICAL LANDSCAPE EDGE PLANTING - 10'

PERIMETER REFERENCE

PERIMETER TREE - EVERGREEN SHRUB
BANK OF SHRUBS, ORNAMENTAL GRASSES AND GROUNDCOVER

CASE NAME: JEFFERSON SHADY BROOK
CASE NUMBER: 215-01 CU19-28 PD19-01
LOCATION: 431 SCRIBNER STREET

MAYOR: _____ SECRETARY: _____
DATE: _____
PLANNING AND ZONING COMMISSION
CHAIRMAN: _____
DATE: _____

APPROVAL: DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES
DEPARTMENT OF DEVELOPMENT SERVICES

811
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BIDDING, PERMITTING, OR
CONSTRUCTION.

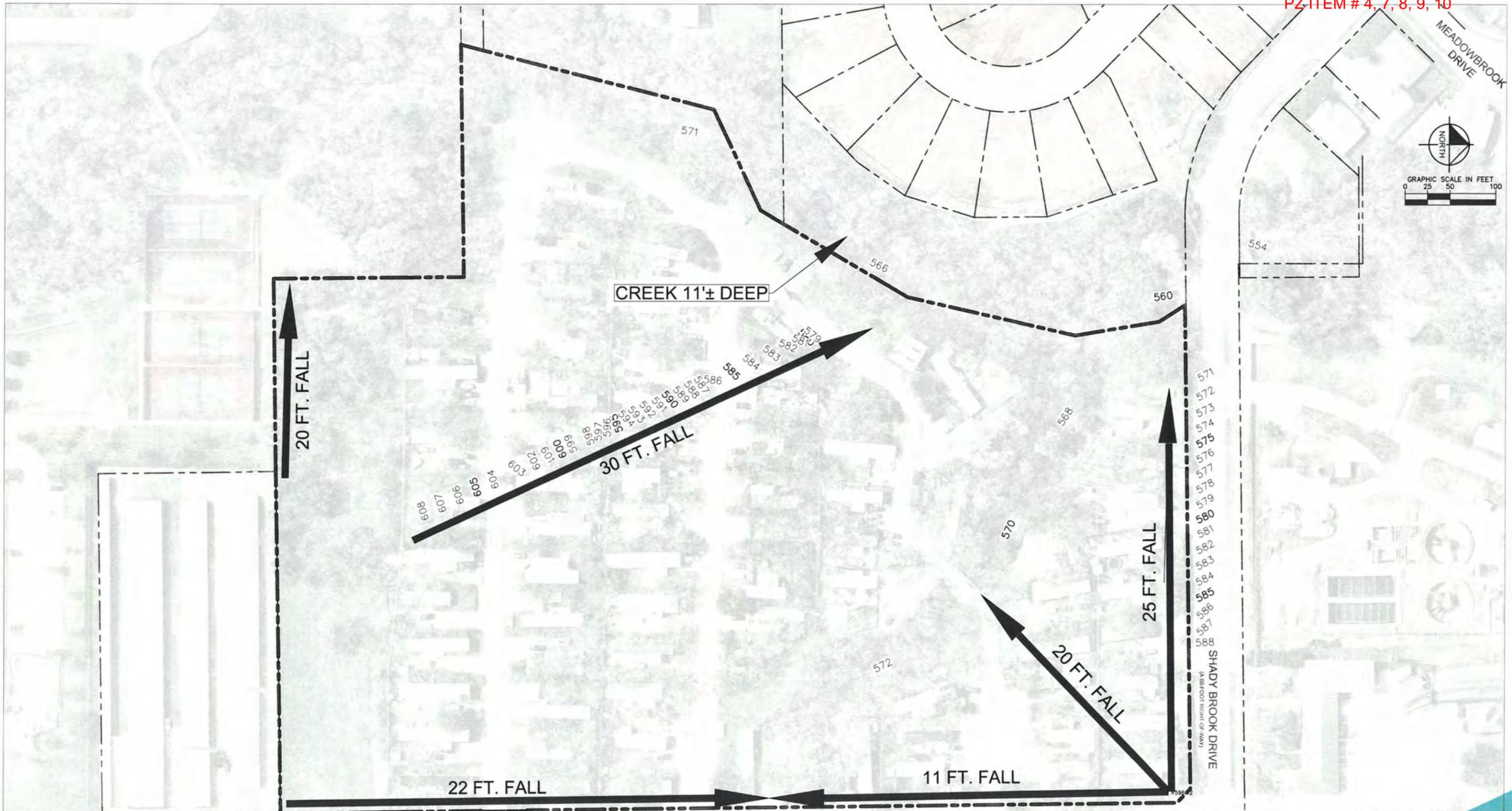
Matthew S. Vinten
Registered Landscape Architect of the
State of Texas
Registration Number: 2946

LDI PROJECT:	8510032
DATE:	10/04/2019
SCALE:	AS NOTED
DESIGNED BY:	LDI
DRAWN BY:	LDI
CHECKED BY:	LDI

JEFFERSON SHADY BROOK
CITY OF GRAPEVINE
TARRANT COUNTY, TEXAS

OVERALL LANDSCAPE PLAN

SHEET NUMBER
36 OF 41



JEFFERSON SHADY

BROOK
GRAPEVINE, TEXAS
EXISTING TOPOGRAPHY

DWG NAME: K:\CAL_CIVIL\04444455_01_GRAPEVINE\CAD\EXHIBITS\2018\1802_EXISTING CONDITIONS.DWG
LAST SAVED: 10/20/18 11:28 AM

SCRIBNER STREET
(A VARIABLE WIDTH RIGHT-OF-WAY)

SHADY BROOK DRIVE
(A 60 FOOT RIGHT-OF-WAY)

Kimley»Horn

13455 Noel Rd
Suite 700
Dallas, Texas 75240
972-776-1785
State of Texas Registration No. F-928

NOTE: THIS PLAN IS CONCEPTUAL IN NATURE AND HAS BEEN PRODUCED WITHOUT CONTACT WITH THE CITY, COUNTY,



Savoys2 at Vitruvian Park 3875 Ponte Ave
Suite 410 Addison Texas 75001

The Arnold in East Austin 1621 E 6th Street
Suite 1151 Austin Texas 78702

214 969.0500 phone www.wilderbelshaw.com

Project Owner:

JPI

600 Las Colinas Blvd E, Suite 1800
Irving, TX 75039

Issues and Revisions:

No.	Date	Issues
01	09.18.19	PD Submittal Set



24 BLDG. A - SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

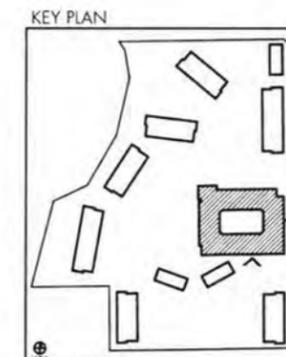
72.32% BRICK/STONE
27.68% STUCCO



06 BLDG. A - SCRIBNER ELEVATION

SCALE: 3/32" = 1'-0"

71.53% BRICK/STONE
28.47% STUCCO



Jefferson
Shady Brook

Grapevine, Texas

Wilder Belshaw Project Number: 1908

Drawing Name:

BLDG. A - EXTERIOR
ELEVATIONS

CASE NAME: Jefferson Shady Brook
CASE NUMBER:
LOCATION: 430 SCRIBNER ST

MAYOR: _____ SECRETARY: _____
DATE: _____
PLANNING AND ZONING COMMISSION
CHAIRMAN: _____
DATE: _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN
CONFLICT WITH ANY CODES OR ORDINANCES
DEPARTMENT OF DEVELOPMENT SERVICES

SHEET 27 OF 68

Sheet Number:

A311



Project Owner:

JPI
600 Las Colinas Blvd E, Suite 1800
Iring, TX 75039

Issues and Revisions:

No.	Date	Issues
01	09.18.19	PD Submittal Set



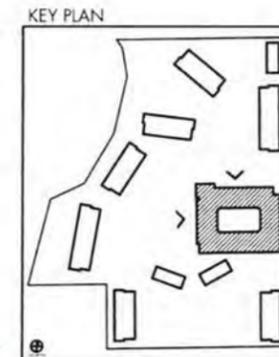
24 BLDG. A - NORTH ELEVATION
SCALE: 3/32" = 1'-0"

71.50% BRICK/STONE
28.50% STUCCO



06 BLDG. A - WEST ELEVATION
SCALE: 3/32" = 1'-0"

70.18% BRICK/STONE
29.82% STUCCO



**Jefferson
Shady Brook**

Grapevine, Texas
Wilder Belshaw Project Number: 1908

Drawing Name:

**BLDG. A - EXTERIOR
ELEVATIONS**

CASE NAME: Jefferson Shady Brook
CASE NUMBER: _____
LOCATION: 430 SCRIBNER ST

MAYOR: _____ SECRETARY: _____
DATE: _____
PLANNING AND ZONING COMMISSION
CHAIRMAN: _____
DATE: _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN
CONFLICT WITH ANY CODES OR ORDINANCES
DEPARTMENT OF DEVELOPMENT SERVICES

SHEET 28 OF 68

Sheet Number:

A312



Project Owner:

JPI

600 Las Colinas Blvd E, Suite 1800
 Irving, TX 75039

Issues and Revisions:

No.	Date	Issues
01	09.18.19	PD Submittal Set

Jefferson Shady Brook

Grapevine, Texas
 Wilder Belshaw Project Number: 1908

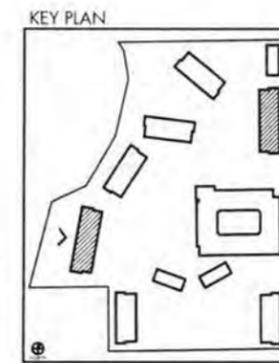
Drawing Name:

BLDG. B - EXTERIOR ELEVATIONS

SHEET 29 OF 68

Sheet Number:

A321



CASE NAME: Jefferson Shady Brook
 CASE NUMBER:
 LOCATION: 430 SCRIBNER ST

MAYOR: _____ SECRETARY: _____
 DATE: _____
 PLANNING AND ZONING COMMISSION

CHAIRMAN: _____
 DATE: _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.
 DEPARTMENT OF DEVELOPMENT SERVICES



80.40% BRICK/STONE
 19.60% STUCCO

06 BLDG. B - FRONT ELEVATION
 SCALE: 3/32" = 1'-0"



Savoie2 at Vitruvian Park 3875 Ponte Ave
 Suite 410 Addison Texas 75001

The Arnold in East Austin 1621 E. 6th Street
 Suite 1151 Austin Texas 78702

214 969.0500 phone www.wilderbelshaw.com

Project Owner:

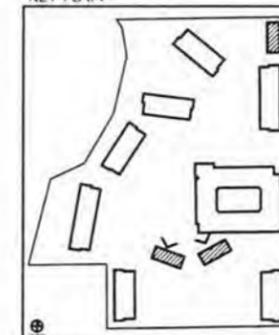
JPI

600 Las Colinas Blvd E., Suite 1800
 Irving, TX 75039

Issues and Revisions:

No.	Date	Issue
01	09.18.19	PD Submittal Set

KEY PLAN



PLANNING AND ZONING COMMISSION

DATE _____

DATE _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

DEPARTMENT OF DEVELOPMENT SERVICES

Jefferson Shady Brook

Grapevine, Texas

Wilder Belshaw Project Number: 1908

Drawing Name:

BLDG. D - EXTERIOR ELEVATIONS

SHEET 31 OF 68

Sheet Number:

A341



04 BLDG. D - FRONT ELEVATION

SCALE: 3/32" = 1'-0"

85.95% BRICK/STONE
 14.05% STUCCO



- City of Grapevine requires 20% open space (2.9 Acres)

- **Jefferson Shady Brook** provides **44%** open space
(6.5 acres)



OVERALL OPEN SPACE

JEFFERSON SHADY BROOK • GRAPEVINE, TX • EXHIBITS

PN 8519032 | 10.04.2019 | JPI



LandDesign.

RZ-Exh 7



PEDESTRIAN CONNECTIVITY

JEFFERSON SHADY BROOK • GRAPEVINE, TX • EXHIBITS

PN 8519032 | 10.04.2019 | JPI



LandDesign.

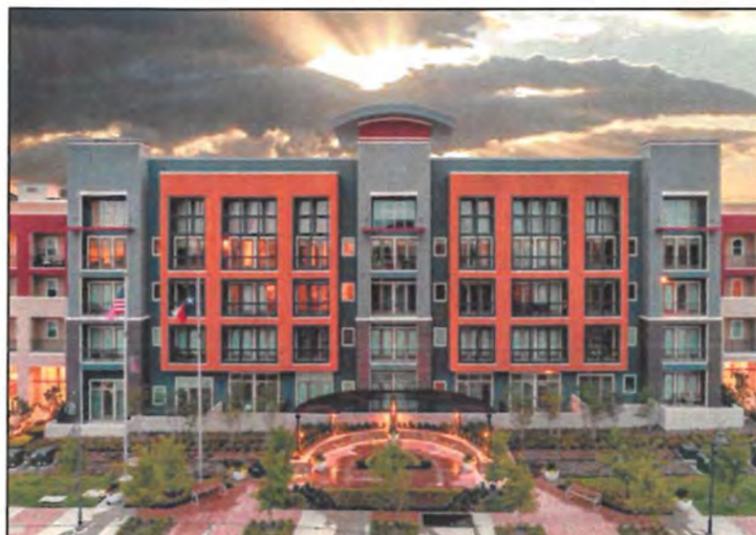
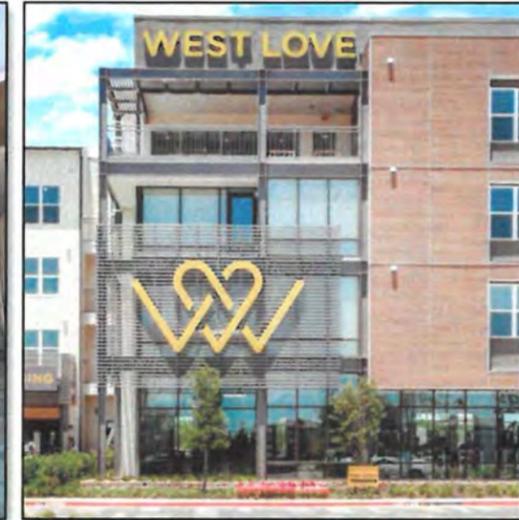
RZ-Exh 9



BUILDING QUALITY FOR OUR CUSTOMERS

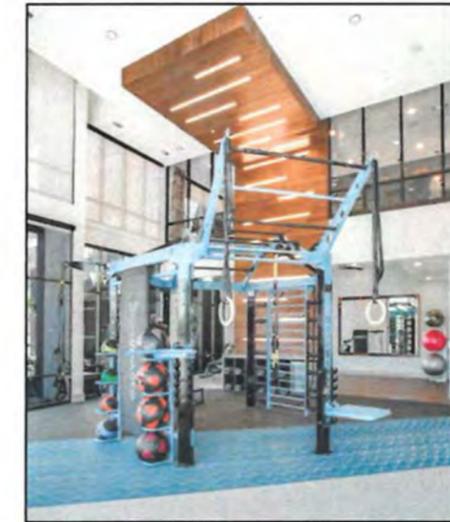


EXTERIORS





AMENITIES



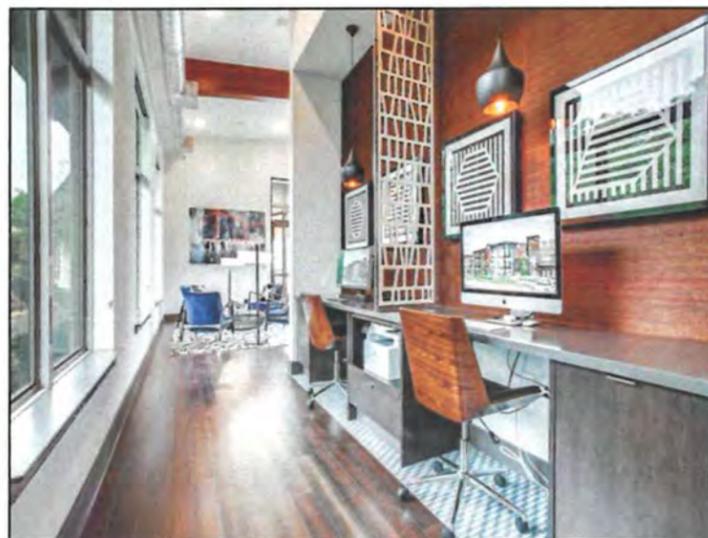
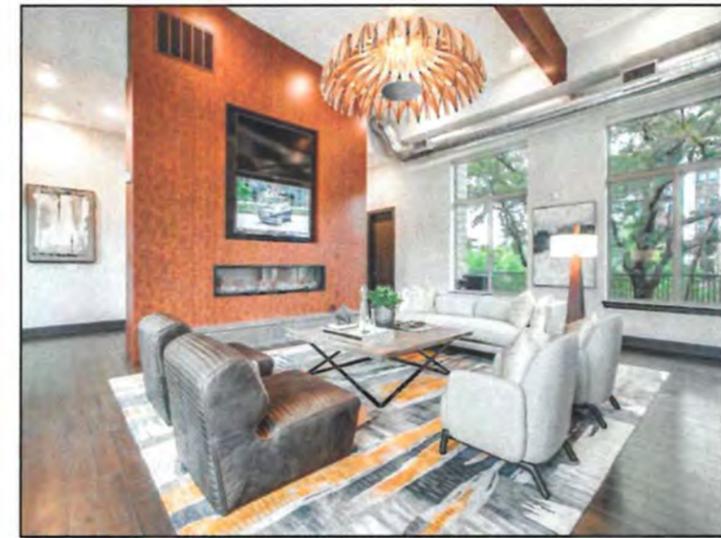


AMENITIES





AMENITIES



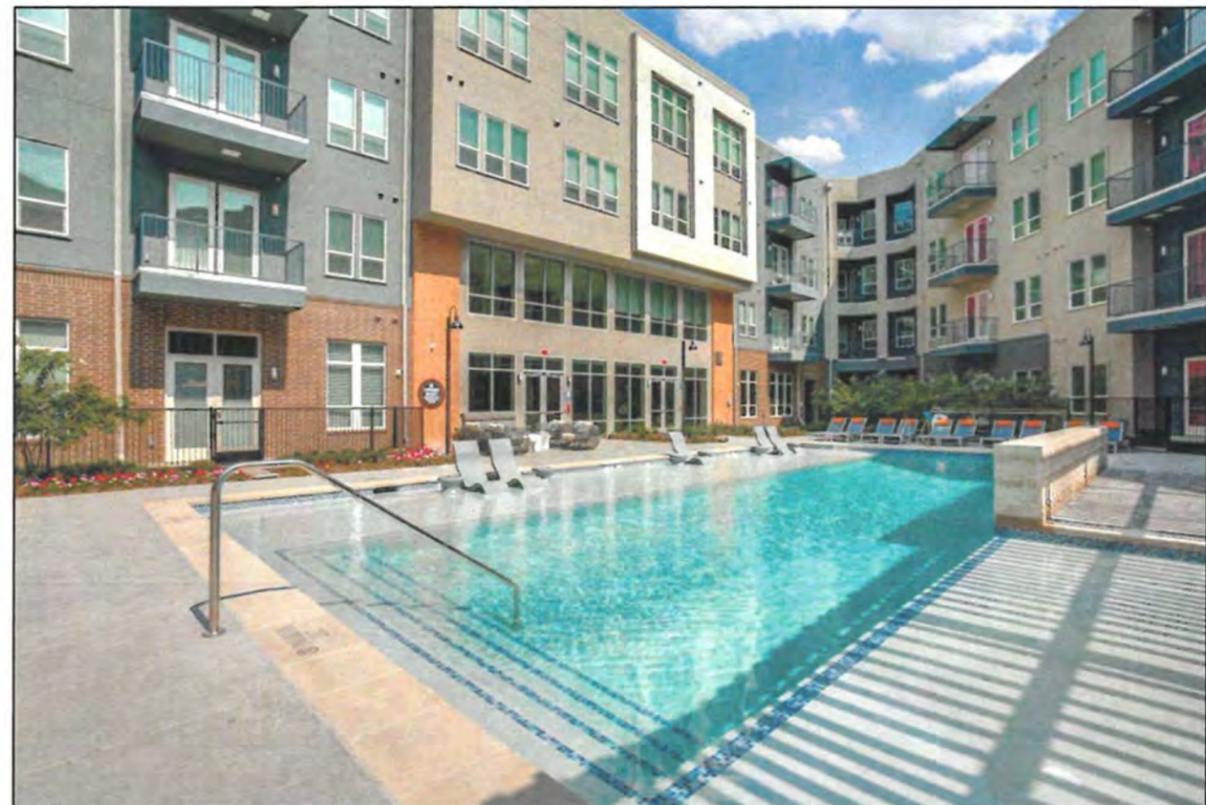
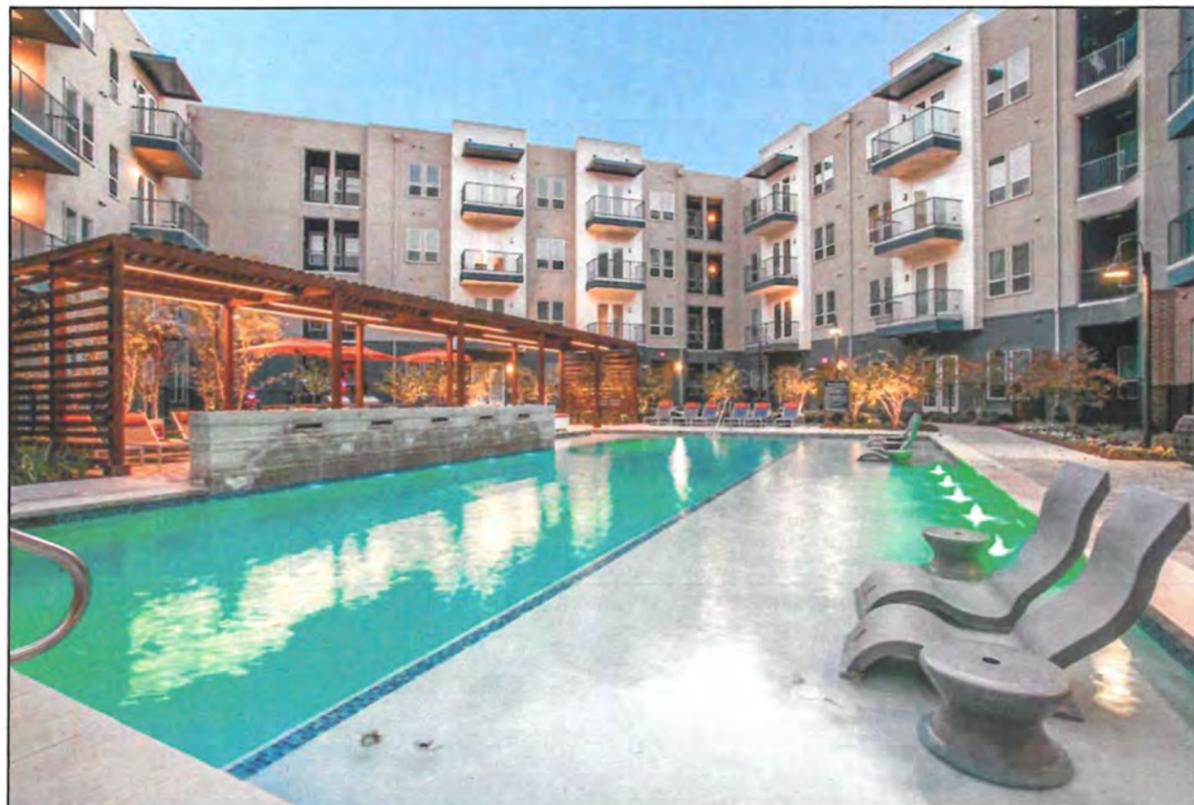


COURTYARDS





COURTYARDS



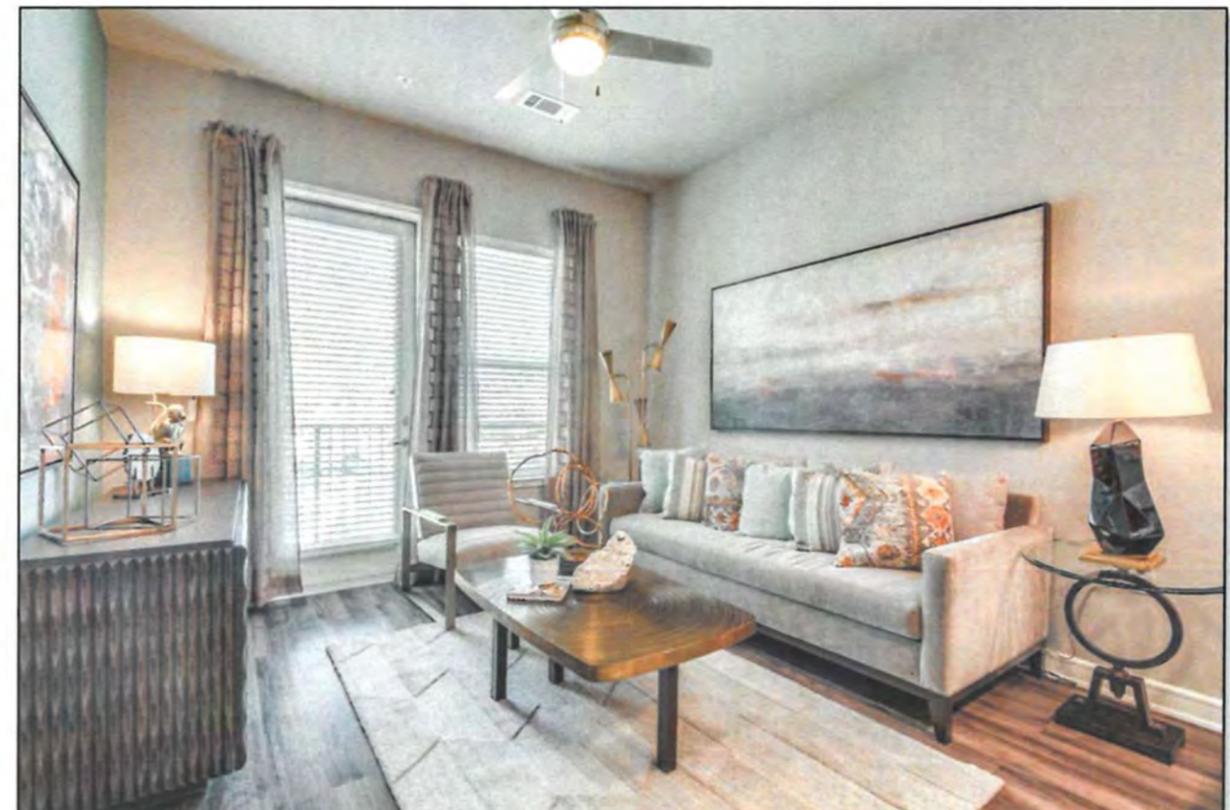


INTERIORS





INTERIORS





INTERIORS



MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,
AND THE PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 15, 2019

SUBJECT: PRELIMINARY PLAT APPLICATION
LOT 1, BLOCK 1, JEFFERSON SHADY BROOK

PLAT APPLICATION FILING DATE..... October 8, 2019

APPLICANTJPI, Miller Sylvan

REASON FOR APPLICATION..... Development of 362 Unit Apartment Complex

PROPERTY LOCATION 427 and 431 Scribner Street

ACREAGE..... 14.65

ZONING Existing: R-MH and R-MF-2
Proposed: R-MF

NUMBER OF LOTS 1

PREVIOUS PLATTINGNo

CONCEPT PLAN Z19-04 and CU19-28

SITE PLAN..... PD19-01

OPEN SPACE REQUIREMENT.....No

AVIGATION RELEASE Yes

PUBLIC HEARING REQUIREDNo

**PLAT INFORMATION SHEET
PRELIMINARY PLAT APPLICATION
LOT 1, BLOCK 1, JEFFERSON SHADY BROOK**

I. GENERAL:

- The applicant, JPI, Miller Sylvan is preliminary platting 14.65 acres into one (1) lot for proposed apartment complex. The property is located at 427 and 431 Scribner Street.

II. STREET SYSTEM:

- The development has access to Shady Brook Drive and Scribner Street.

- Abutting roads: on the City Thoroughfare Plan:
 not on the City Thoroughfare Plan: Shady Brook Drive and Scribner Street

The developer at a minimum will be required to construct sidewalks on both Shady Brook Drive and Scribner Street. In addition, curb & gutter, intersection improvements and subgrade stabilization will be necessary for Scribner Street per Developer's Agreement.

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 15.00 / LF		

Periphery Street Fees are not due:

III. STORM DRAINAGE SYSTEM:

- The site drains mainly west towards Morehead Branch.

- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for:
- Water and Wastewater Impact Fees are due prior to the issuance of building permits for: Lot 1, Block 1, Jefferson Shady Brook
 - Single Family Residential (\$ 2,414/ Lot)
 - Multifamily (\$ 1,134/ Unit)
 - Hotel (\$ 43,632/ Acre)
 - Corporate Office (\$ 20,523/ Acre)
 - Government (\$ 4,414/ Acre)
 - Commercial / Industrial (\$ 5,739 / Acre)
- Open Space Fees are not required for: Lot 1, Block 1, Jefferson Shady Brook
- Open Space Fees are due prior to the preconstruction meeting for public infrastructure improvements for:
 - R-5.0, R-TH, Zero Lot District (\$ 1,416.00 / Lot)
 - R-7.5, Single Family District (\$ 1,146.00 / Lot)
 - R-12.5, Single Family District (\$ 1,071.00 / Lot)
 - R-20.0, Single Family District (\$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
 - Front building line
 - Allowing a setback of 3 feet for the rear property line for an accessory building
 - Lot width & depth
 - Max. Impervious Area
 - Landscaping Regulations, allowing no landscape buffer between the edge of the parking area and the adjacent property line.
- The following items associated with this plat are not in accordance with the current subdivision standards:
 - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
 - Length of cul-de-sac street exceeds the 600-foot limit:
 - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
 - The right-of-way provides for future widening of public streets that will serve the development of this site.
 - The onsite utility easements provide for a utility network to serve the development of this site.
 - The onsite drainage easements provide for a drainage network to serve the development of this site.

- The onsite access easements provide cross access capabilities to this site and surrounding property.
- The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:

- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
- The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
- The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
- The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
- The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
- All of the dedications benefit the development to at least the extent of the impact of such on the development.

VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Preliminary Plat of Lot 1, Block 1, Jefferson Shady Brook."

LINE TABLE											
NO.	BEARING	LENGTH									
L2	N89°32'30"E	40.83	L43	S34°00'52"W	22.27	L65	N27°59'50"E	188.91	L125	S21°21'16"W	24.10
L3	S00°26'26"E	20.17	L45	N28°29'11"E	24.59	L86	N39°49'47"E	34.45	L126	S44°33'48"W	27.72
L4	N90°00'00"E	10.00	L46	N61°44'24"W	10.00	L87	N89°32'30"E	63.73	L127	S22°52'07"W	50.69
L5	N00°26'26"E	20.25	L47	S28°29'11"W	24.55	L88	S00°27'30"E	7.93	L128	S40°18'33"W	48.00
L6	N89°32'30"E	81.39	L49	N13°58'21"W	23.08	L89	N89°32'30"E	10.00	L129	S47°39'15"W	32.06
L7	N39°49'47"E	40.11	L50	S75°48'03"W	10.00	L90	N00°27'30"W	7.93	L130	S09°58'22"W	35.90
L8	S62°00'04"E	20.33	L51	S13°58'21"E	23.04	L91	N89°32'30"E	38.86	L131	S41°30'33"W	55.93
L9	N27°59'56"E	8.33	L52	S67°51'04"W	82.79	L92	S00°27'42"E	8.50	L132	S44°44'45"W	46.19
L10	S62°00'04"E	20.59	L53	N89°38'56"W	97.75	L93	N89°32'18"E	10.00	L133	S31°28'10"W	30.11
L11	N27°59'56"E	10.00	L54	N00°21'04"E	8.16	L94	N00°27'42"W	8.50	L134	S23°11'50"E	4.94
L12	N62°00'04"W	40.92	L55	N89°38'56"W	10.00	L95	N89°32'30"E	5.05	L135	S19°34'53"W	27.81
L13	N27°59'56"E	157.85	L56	S00°21'04"W	8.16	L96	S89°14'15"E	54.93	L136	S44°56'06"W	19.32
L14	S56°01'13"E	24.13	L57	N89°38'56"W	50.72	L97	N74°15'11"E	273.79	L137	S07°55'47"W	20.15
L15	S83°01'27"E	13.13	L58	N00°21'14"E	5.67	L98	N00°29'11"W	115.97	L138	S30°20'53"E	10.62
L16	N06°58'33"E	10.00	L59	N89°50'38"W	10.00	L99	N89°16'35"E	62.70	L139	S20°09'29"W	26.41
L17	N83°01'27"W	10.73	L60	S00°01'11"W	5.63	L100	N00°29'11"W	120.33	L140	S61°39'57"W	20.00
L18	N56°01'13"W	22.77	L61	N89°38'56"W	8.87	L101	N74°15'11"E	271.06	L141	S34°12'26"W	51.14
L19	N61°39'13"E	74.56	L62	N89°38'56"W	179.15	L102	S89°14'15"E	52.55	L142	S36°37'22"W	23.12
L20	N47°51'40"E	16.49	L63	S67°51'04"W	84.78	L103	N30°52'03"W	34.54	L143	S44°38'56"W	21.07
L21	S42°08'20"E	33.89	L64	N13°58'21"W	8.62	L104	N35°52'50"W	47.35	L144	S06°17'52"W	32.80
L22	N47°51'40"E	10.00	L65	N43°53'18"E	10.75	L105	N19°05'50"W	29.72	L145	S12°53'15"E	26.15
L23	N42°08'20"W	30.62	L66	N48°06'42"W	10.00	L106	N14°48'31"W	23.70	L146	S82°59'12"E	12.77
L24	S79°50'31"E	27.78	L67	S43°53'18"W	16.28	L107	N79°42'14"W	43.58	L147	S38°39'54"E	26.02
L25	N10°09'29"E	10.00	L68	S13°58'21"E	13.88	L108	N67°26'23"W	9.77	L148	S89°17'19"W	5.00
L26	N79°50'31"W	19.86	L69	N01°44'03"E	14.36	L109	N25°09'30"W	31.04	L149	S89°34'55"W	5.00
L27	N00°34'32"E	36.62	L70	N88°15'57"W	10.00	L110	N62°18'05"W	66.32			
L28	S86°28'05"E	21.94	L71	S01°44'03"W	14.20	L111	N23°18'35"E	26.13			
L29	N03°31'55"E	10.00	L72	N57°18'50"W	11.20	L112	N67°07'52"W	67.51			
L30	N86°28'05"W	22.46	L73	N81°38'00"E	9.69	L113	N37°07'52"W	129.72			
L31	N00°34'32"E	13.00	L74	S81°38'00"W	9.73	L114	N82°07'52"W	10.85			
L32	N84°45'42"E	41.09	L75	S81°38'00"W	9.73	L115	N82°07'52"W	13.87			
L33	N39°45'34"E	27.68	L76	N00°34'32"E	50.38	L116	N37°07'52"W	129.72			
L34	N17°15'34"E	103.58	L77	N47°51'40"E	36.83	L117	N67°07'52"W	67.66			
L35	N62°15'34"E	50.03	L78	N61°39'13"E	73.35	L118	N23°18'35"E	26.15			
L36	S62°15'34"W	56.57	L79	S39°24'08"E	40.30	L119	N60°03'54"W	38.66			
L37	S17°15'34"W	105.73	L80	N50°35'52"E	10.00	L120	S86°09'32"W	62.80			
L38	S39°45'34"W	21.55	L81	N39°24'08"W	40.00	L121	N60°09'24"W	32.59			
L39	S84°45'42"W	37.13	L82	S43°45'56"E	8.51	L122	N45°09'13"W	43.02			
L41	N34°00'52"E	22.01	L83	N46°14'04"E	10.00	L123	S65°26'21"W	19.41			
L42	N55°59'08"W	10.00	L84	N43°45'56"W	8.52	L124	S13°11'44"W	51.94			

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	28°59'15"	500.38	253.15	N47°11'26"E	250.46
C2	2°56'03"	380.94	19.51	S03°17'30"E	19.51
C3	46°20'04"	198.00	160.12	N32°14'23"W	155.79
C4	5°00'14"	198.00	17.30	N57°34'39"W	17.29
C5	39°32'54"	198.00	136.73	N82°44'47"W	134.03
C6	6°10'35"	188.00	26.83	N71°56'21"E	26.81
C7	12°02'53"	188.00	39.53	N85°06'02"E	39.46
C8	28°30'47"	188.00	93.56	S71°34'13"E	92.60
C9	47°29'10"	187.74	155.60	S33°35'19"E	151.18
C10	3°42'08"	370.94	23.97	S03°42'34"E	23.97
C11	9°03'05"	510.38	80.63	N57°09'31"E	80.54
C12	4°44'09"	510.38	42.19	N49°08'31"E	42.17
C13	13°00'04"	510.38	115.81	N39°09'04"E	115.56
C14	30°00'00"	110.00	57.60	N52°07'52"W	56.94
C15	45°00'00"	90.00	70.69	S59°37'52"E	68.88
C16	45°00'00"	110.00	86.39	S59°37'52"E	84.19
C17	30°00'00"	90.00	47.12	N52°07'52"W	46.59

STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS, SHADY OAKS MHP, LLC is the owner of a tract of land situated in the Thomas Mahan Survey, Abstract No. 1050, City of Grapevine, Tarrant County, Texas and being all of a called 12.3404 acre tract of land described in General Warranty Deed to Shady Oaks MHP, LLC, recorded in Instrument No. D206282874, Official Public Records, Tarrant County, Texas and being all of a called 1.759 acre tract of land described in Special Warranty Deed to Grapevine Storehouse, Ltd., recorded in Instrument No. D212220415, Official Public Records, Tarrant County, Texas, and being all of Peach Street (a 50-foot right-of-way) record in plat thereof in Volume 6935, Page 771, Deed Records, Dallas County, Texas, Abandoned in Instrument No. D219 _____, Official Public Records, Tarrant County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod with plastic cap stamped "KHA" set at the intersection of the south right-of-way line of Shady Brook Drive (a 60-foot right-of-way) with the west right-of-way line of Scribner Street (a 50-foot right-of-way at this point);

THENCE with said west right-of-way line of Scribner Street, the following courses and distances:

South 0°42'41" East, a distance of 879.62 feet to 5/8-inch iron rod with plastic cap stamped "KHA" set for corner;
South 1°01'27" East, a distance of 120.00 feet to a 1/2-inch iron rod with plastic cap stamped "Area Surveying" found for the northeast corner of Lot 1, Block 1 of The Storehouse Addition, an addition to the City of Grapevine, Texas, according to the plat thereof recorded in Volume 388-153, Page 89, Plat Records, Tarrant County, Texas;

THENCE leaving said west right-of-way line of Scribner Street, and with the north line of said Lot 1, Block 1, South 89°04'23" West, a distance of 375.00 feet to a 3/8-inch iron rod found for the northwest corner of said Lot 1, Block 1 and being a northeast corner of Lot 1, Block 1 of the Education Addition No. 3, an addition to the City of Grapevine, Texas, according to the plat thereof recorded in Instrument No. D200242914, Official Public Records, Tarrant County, Texas;

THENCE with the north line of said Education Addition No. 3, the following courses and distances:

South 89°16'35" West, a distance of 211.34 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set;
North 0°30'35" West, a distance of 208.61 feet to a mag nail found for the most northerly northeast corner of said Education Addition No. 3;
South 89°11'21" West, a distance of 254.48 feet to a point for most westerly southwest corner of said 12.3404 acre tract;

THENCE with the west line of said 12.3404 acre tract, the following courses and distances:

North 14°20'49" East, a distance of 286.77 feet to a point for corner;
North 64°48'34" East, a distance of 122.00 feet to a point for corner;
North 30°27'34" East, a distance of 187.16 feet to a point for corner;
North 12°46'47" East, a distance of 189.28 feet to a point for corner;
North 9°30'03" West, a distance of 92.50 feet to a point for corner;
North 32°30'33" West, a distance of 33.72 feet to a point for corner in said south right-of-way line of Shady Brook Drive;

THENCE with the south right-of-way line of Shady Brook Drive, North 89°09'56" East, a distance of 544.77 feet to the **POINT OF BEGINNING** and containing 14.65 acres or 638,162 square feet of land.

Bearing system based on the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983.

STATE OF TEXAS §
COUNTY OF TARRANT §

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS, THAT SHADY OAKS MHP, LLC, does hereby adopt this plat of JEFFERSON SHADY BROOK, an addition to the City of Grapevine, Tarrant County, Texas, and does hereby dedicate to the public use forever the right-of-way and easements shown hereon. The easements shown hereon are hereby reserved for the purposes as indicated. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of paving on the easements is the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed, or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using, or desiring to use same. Any City or franchised utility shall have the full right to remove and keep removed all or parts of any fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all City or franchised utilities shall at all times have the full right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone.

"I have reviewed the City's findings concerning dedications and I do agree that the statements are true and correct."

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

Witness my hand this the _____ day of _____, 2019.

BY: SHADY OAKS MHP, LLC

Name, Title

STATE OF TEXAS §
COUNTY OF TARRANT §

Before me, the undersigned authority, a Notary Public in and for the said County and State on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

Given under my hand and seal of office, this _____ day of _____, A.D. 2019.

Notary Public in and for the State of Texas

AVIGATION RELEASE

THE STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS, SHADY OAKS MHP, LLC, hereinafter called "Owner" (whether one or more), is the owner of that certain parcel of land situated in the City of Grapevine, Tarrant County, Texas, being said property as described as shown on this plat.

NOW THEREFORE, in consideration of the sum of ONE AND 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confessed, Owners does hereby waive, release, remise and quitclaim to the City of Grapevine, Tarrant County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas, Texas and Fort Worth, Texas, their successors and assigns, hereinafter called "Cities", for the use and benefit of the public and its agencies, any and all claims for damages of any kind to persons or property that Owners may suffer by reason of the passage and flight of all aircraft in the air space above Owners' property above the height restriction as presently established by Ordinance No. 73-50 for the City of Grapevine, known as the Airport Zoning Ordinance of the Dallas-Fort Worth International Airport, to an infinite height above same, whether such damage shall originate from noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft, landing at, or taking off from, or operating at or on the Dallas-Fort Worth International Airport.

This instrument does not release the owners or operators of aircraft from liability for damage to person or property caused by falling aircraft or falling physical objects from aircraft, except as stated herein with respect to noise, fumes, dust, fuel, and lubricant particles.

It is agreed that this Release shall be binding upon said owners and their heirs and assigns, and successors in interest to said property; and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of the county or counties in which the property is situated.

EXECUTED at _____, Texas, this _____ day of _____, 2019.

BY: SHADY OAKS MHP, LLC

Name, Title

STATE OF TEXAS §
COUNTY OF TARRANT §

Before me, the undersigned authority, a Notary Public in and for the said County and State on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

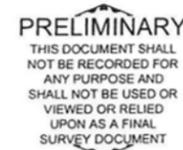
Given under my hand and seal of office, this _____ day of _____, A.D. 2019.

Notary Public in and for the State of Texas

SURVEYOR'S CERTIFICATION

I, J. Andy Dobbs, of Kimley-Horn and Associates, Inc., a Registered Professional Land Surveyor of the State of Texas, do hereby declare that I prepared this plat from an actual and accurate survey on the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the State of Texas and the City of Grapevine.

J. Andy Dobbs, RPLS No. 6196
Kimley-Horn and Associates, Inc.
13455 Noel Road
Two Galleria Office Tower, Suite 700
Dallas, Texas 75241
972-770-1397
andy.dobbs@kimley-horn.com

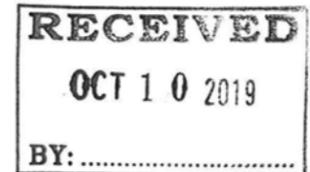


STATE OF TEXAS §
COUNTY OF DALLAS §

Before me, the undersigned authority, a Notary Public in and for the said County and State on this day personally appeared J. Andy Dobbs, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

Given under my hand and seal of office, this _____ day of _____, A.D. 2019.

Notary Public in and for the State of Texas



PLANNING & ZONING COMMISSION:

Date Approved: _____

Chairman: _____

Secretary: _____

GRAPEVINE CITY COUNCIL:

Date Approved: _____

Mayor: _____

City Secretary: _____

PRELIMINARY PLAT OF
LOT 1, BLOCK 1
JEFFERSON SHADY BROOK

BEING 14.65 ACRES OF UNPLATTED LAND
THOMAS MAHAN SURVEY, ABST. NO. 1050
CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS
EXISTING ZONING : R-MH & R-MF-2
PROPOSED ZONING : R-MF
THIS PLAT FILED IN INSTRUMENT NO.
D _____, DATE: _____

Kimley»Horn

13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. (972) 770-1300 Fax No. (972) 239-3820

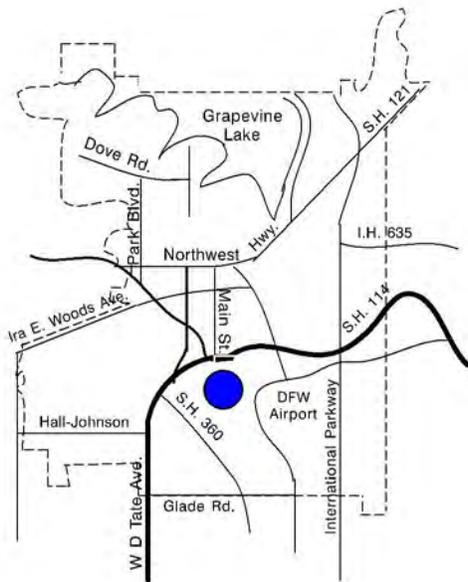
Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = ##'	DWP	JAD	AUG. 2019	064446476	2 OF 2

TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER ^{BR}
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: OCTOBER 15, 2019

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF
CONDITIONAL USE APPLICATION CU19-30 CRUSH IT SPORTS



APPLICANT: Crush It Sports, LLC

PROPERTY LOCATION AND SIZE:

The subject property is located at 401 West State Highway 114, platted as Lot 1, Block 6, Metroplace Second Installment. The site contains 1.836 acres. The property has 200 feet of frontage along the eastbound service road of State Highway 114 West.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to amend the previously approved site plan of CU94-22 (Ord. 1994-80) for a planned commercial center with the possession, storage, retail sale, and on-premise consumption of alcoholic beverages (beer, wine, and mixed beverages), specifically to revise the building elevations, floor plan, allow outdoor speakers, outside dining, golf simulators and a 40-foot pole sign in conjunction with a restaurant.

The applicant intends to convert the former El Fenix Mexican Restaurant into a Crush It Sports Restaurant. Floor plan changes include adding six golf simulators which will allow golf play within a climate controlled environment. Exterior elevation changes include the addition of a covered 928 square foot patio on the east side of the building. Approximately 464 square feet of existing ground cover on the east side of the building is proposed to be

used to accommodate the patio. The proposed restaurant will seat 171 patrons; 126 seats inside and 45 seats outside. Total required parking is 124 parking spaces and 141 parking spaces are provided. Two television monitors and two outdoor speakers are proposed on the patio. A portion of the bar is accessible from the outdoor patio by way of operable windows. New wooden accents and painting of existing stucco throughout each elevation sum up the proposed exterior changes.

Also proposed on the subject property and located adjacent to the eastbound State Highway 114 West service road, the applicant requests a 40-foot, 288 square foot pole sign. The previous tenant had a 40-foot pole sign. The cabinet has been removed but the poles remain.

PRESENT ZONING AND USE:

The subject property is zoned "CC" Community Commercial District with a Planned Commercial Center designation and is home to an unoccupied restaurant formerly El Fenix Mexican Restaurant.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject property and surrounding area to the south, east and west were rezoned in the 1984 City Rezoning from "I-1" Industrial to "PID" Planned Industrial Development. The property at the southwest corner of South Main Street and the frontage road of State Highway 114 West was rezoned in 1985 to "CC" Community Commercial to be developed as a high rise office building with a bank. The high rise office building was never constructed. The subject property and the property to the south, east and west was rezoned in 1993 (Z93-04) from "PID" Planned Industrial Development to "CC" Community Commercial. The subject site received approval for conditional use permit for a Planned Commercial Center for CU93-16 for El Fenix Mexican Restaurant. The four lots east and west of the subject property received conditional use permits for the Planned Commercial Center of Metroplace, Second Installment allowing alcoholic beverages sales in conjunction with and Tony Roma's (CU94-12), China Coast (CU94-23) and Olive Garden (CU94-24) and four (4) 40- foot pole signs. Conditional Use Request CU95-19 (Ordinance Number 95-60) was approved to allow alcoholic beverage sales, two (2) 40-foot pole signs, and one (1) 20-foot pole sign in conjunction with a restaurant (Joe's Crab Shack). The China Coast Restaurant was never constructed. At the November 18, 1997 meeting Council approved conditional use permit CU97-58 (Ord. 97-144) to allow the addition of an outdoor playground area for Joe's Crab Shack. CU98-70 was approved in December 1998, providing for a 3-story Holiday Inn Express on Lot 13. CU99-51 and SU99-13 were approved in September 1999 for laser tag arena and a bowling alley on Lot 6R-1. A CU99-59 (Ord. 99-174) allowing modification of the approved floor plan on the Olive Garden restaurant was approved on December 7, 1999. At the January 18, 2000 meeting, City Council approved conditional use permit CU99-99 (Ord 2000-05) for two monument

signs and a parking lot layout revision. At the December 21, 2004 meeting, Council approved conditional use permit CU04-40 (Ord. 2004-85) for a hotel (Hilton Garden Inn) with alcoholic beverage sales. The Site Plan Review Committee on December 21, 2006 approved conditional use permit CU06-60 to allow for elevation changes and reduced overall height of the Hilton Garden Inn. The Site Plan Review Committee at the August 26, 2009 meeting approved conditional use permit (CU09-26) for outdoor speakers at the Hilton Garden Inn. The Site Plan Review Committee on October 2, 2013 approved conditional use permit CU13-22 to allow for minor exterior and floor plan changes including adding monitors and outdoor speakers to the outdoor patio to Flips Restaurant. South of the subject site conditional use permit CU16-31 was approved by the Site Plan Review Committee at their November 2, 2016 meeting to allow for minor exterior elevation changes and floor plan changes to Main Event. The Site Plan Review Committee at their March 7, 2018 meeting approved conditional use permit CU18-01 to establish Boomerjacks Grill and Bar in the former Joe's Crab Shack by allowing for revisions to the floor plan, elevations, allow outdoor speakers and a 40-foot pole sign. Conditional use permit CU18-01A (Ord. 2018-40) was approved by the City Council at the April 17, 2018 meeting to allow for a metal shipping container to be used as an outdoor bar in conjunction with the existing patio. The Site Plan Review Committee at their August 7, 2019 meeting approved conditional use permit CU19-20 to allow for exterior elevation changes including a new entry tower to Olive Garden.

The property east of South Main Street was rezoned (Z90-04) from "PID" Planned Industrial Development to "CC" Community Commercial. North of State Highway 114 West has been zoned "PO" Professional Office and "HC" Highway Commercial since the 1984 City Rezoning including the Wells Fargo Bank, former Grapevine Suzuki dealership, and former Tia's Mexican Restaurant. At the November 21, 1995 meeting, Council approved zone change request Z95-16 (Ord. 95-89) and conditional use permit CU95-29 to rezone the current Wells Fargo Bank site from "PO" Professional Office District to "HC" Highway Commercial District and a vehicle display/parking area for the former Payton-Wright auto sales respectively. CU97-44 (Ord. No. 97-100) revised the sign height and sign elevation for Tia's Tex-Mex in September 1997. CU97-49, approved in October 1997, approved a 730 square foot expansion of Macaroni Grill. Conditional Use Request CU02-39 (Ord. 02-78) was approved by Council at their October 15, 2002 meeting, and allowed for changes in the floor plan and building elevation modifications to the former Grady's restaurant that was remodeled for and converted into a P.F. Changs restaurant. A conditional use permit (CU04-17) for a 30-foot pole sign was approved on this site at the May 18, 2004 meeting. A conditional use permit CU06-40 (Ord. 2006-75) for the expansion of the dealership to the vacant lot plus a pre-owned vehicle sales building was approved at the October 17, 2006 meeting. At the January 17, 2007 meeting, Council approved a conditional use permit CU06-64 (Ord. 2007-03) to allow for an expanded operation including a vehicle trade-in holding area and defer construction of a previously approved pre-owned vehicle sales office building. At the June 19, 2007 meeting, Council approved a conditional use permit CU07-12 (Ord. 2007-32) to allow a new restaurant (Red's Patio Grill) into the former Tia's

restaurant site. The intent was to subdivide the restaurant for two tenants with Red's occupying 5,646 square feet with a seating capacity of 223 seats. The remaining 2,823 square feet of the Tia's building would accommodate a future restaurant yet to be named. The proposal never moved beyond the initial planning stages. At the March 16, 2010 meeting, Council approved a conditional use permit CU10-03 (Ord. 2010-10) for a 10,565 square foot Pappadeaux Seafood Kitchen on the former Tia's Tex-Mex restaurant. Additional acreage (approximately one acre) was absorbed into the site from the adjacent former Grapevine Suzuki property to enlarge the site to accommodate the larger structure and to provide adequate parking. A new 40-foot pole sign was also approved as part of the request.

SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH: "HC" Highway Commercial District – former Grapevine Suzuki dealership (recently occupied by Northgate Contractors), State Highway 114, and Wells Fargo Bank
- SOUTH: "BP" Business Park District – Multi-tenant office warehouse, and DFW Airport
- EAST: "CC" Community Commercial District - Salt Grass Steak House, Schlotzsky's Deli, NTB Tire and Battery, Super 8 Motel
- WEST: "CC" Community Commercial District - Flips

AIRPORT IMPACT:

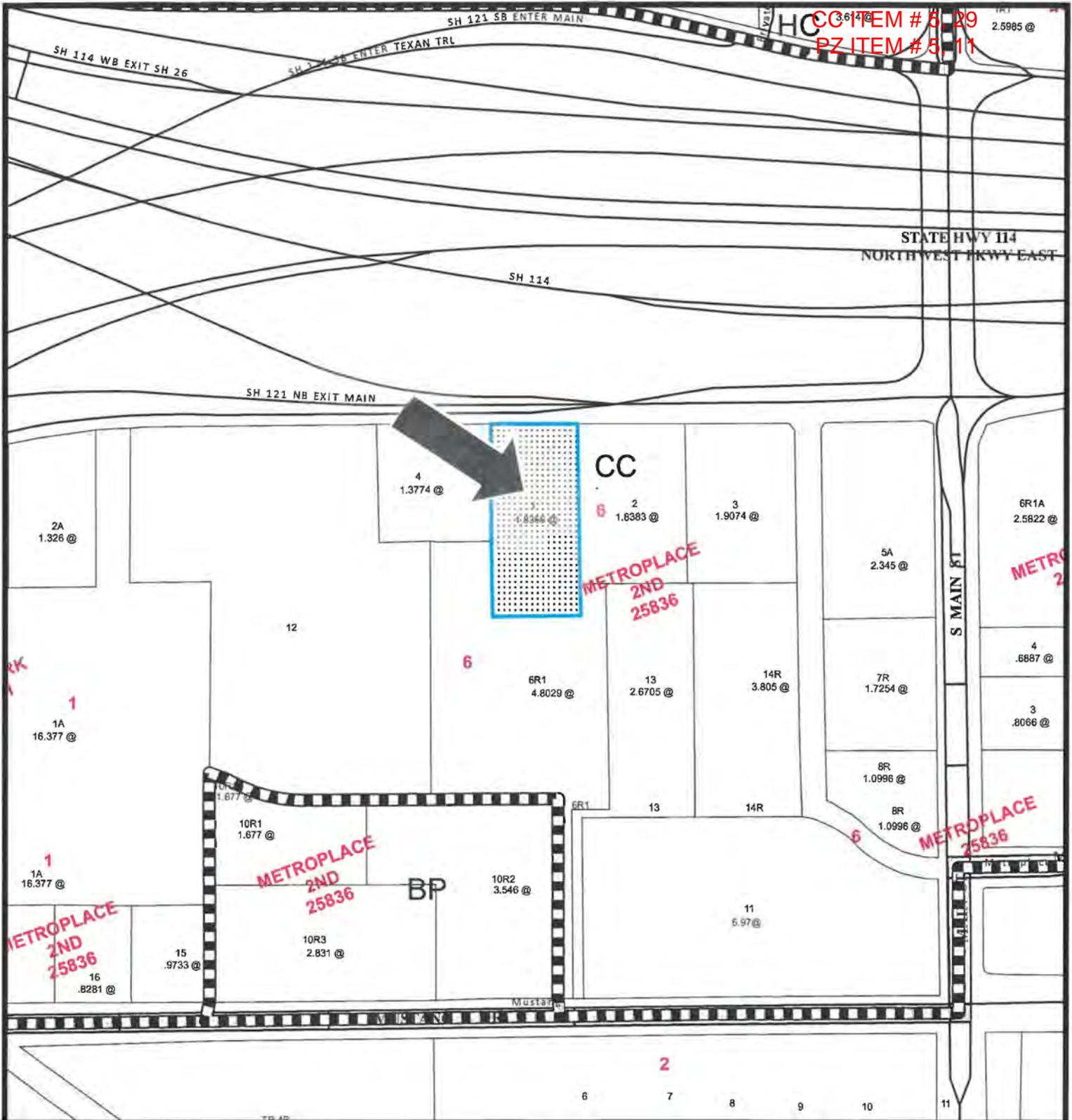
The subject tract is located within "Zone A" zone of minimal effect as defined on the "Aircraft Sound Exposure: Dallas Fort Worth Regional Airport Environs" map. Few activities will be affected by aircraft sounds in Zone A except for sound sensitive activities such as auditoriums, churches, schools, hospitals, and theaters. The applicant's proposal is an appropriate use in this noise zone.

MASTER PLAN APPLICATION:

The Master Plan designates the subject property as Commercial land use. The proposed use is in compliance with the Master Plan.

/at

CC ITEM # 5 29
PZ ITEM # 5 11



CU19-30 Crush It Sports

Date Prepared: 9/27/2019

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

CU19-30



CITY OF GRAPEVINE
CONDITIONAL USE APPLICATION
 Form "A"

PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact

CRUSH IT SPORTS LLC / MASTERPLAN

Street address of applicant / agent:

4212 SPYGLASS HILL LANE / 900 JACKSON ST. Ste 640

City / State / Zip Code of applicant / agent:

IRVING TX 75038 / DALLAS TX 75202

Telephone number of applicant / agent:

* 975-998-4333 / 214 761-9191

Fax number of applicant/agent

* N/A

Email address of applicant/agent

Mobile phone number of applicant/agent

975-998-4333 / 972-342-3704

PART 2. PROPERTY INFORMATION

Street address of subject property

401 W. STATE HIGHWAY 114

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot 1 Block 6 Addition METROPLACE ADDITION 2ND INSTALLMENT

Size of subject property

1.8365 Acres 79,997

Square footage

Present zoning classification:

CC

Proposed use of the property:

RESTAURANT

Circle yes or no, if applies to this application

Outdoor speakers Yes No

Minimum / maximum district size for conditional use request:

5 ACRES

Zoning ordinance provision requiring a conditional use:

RESTAURANT WITH OUTSIDE DINING

PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:

FIREBIRD GRAPEVINE INC

Street address of property owner:

1845 WOODALL RODGERS FWY STE 1100

City / State / Zip Code of property owner:

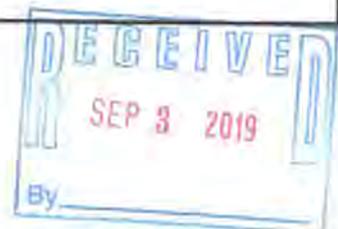
DALLAS TX 75201

Telephone number of property owner:

* 214-215-0696

Fax number of property owner:

* N/A



CU19-30

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.

- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY

CRUSH IT SPORTS, LLC
Print Applicant's Name:

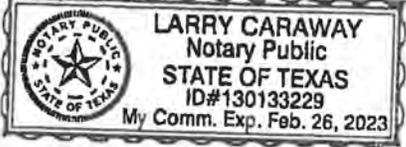
[Signature]
Applicant's Signature:

The State of Texas
County Of Dallas

Before Me Larry Caraway (notary) on this day personally appeared Michael Speets (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 20 day of August, A.D. 2019.



[Signature]
Notary In And For State Of Texas

FIREBIRD GRAPEVINE, INC
Print Property Owners Name:

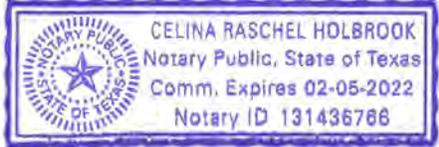
[Signature] PRESIDENT
Property Owner's Signature:

The State Of Texas
County Of Dallas

Before Me Celina Holbrook (notary) on this day personally appeared Martin Adler (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 19 day of August, A.D. 2019.



[Signature]
Notary In And For State Of Texas



CU19-30

ACKNOWLEDGEMENT

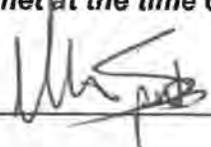
All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

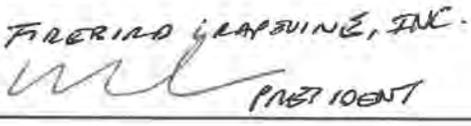
Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant ⁿ 

Date: 8/20/19

Signature of Owner ⁿ  FREDERICK GRAPSWINE, INC. PRESIDENT

Date: 8-19-19





3 September 2019

Land Use Statement
Crush It Sports

CU19-30

Area of Request

The site is 1.8365 acres of land within the Metroplace Addition 2nd Installment. The area of request is located on the south line of W State Hwy 114, west of S Main Street. The area of request is the existing El Fenix Restaurant. The area of request is currently zoned CC Community Commercial District.

Zoning Request

A Conditional Use Permit is required for this establishment because outdoor dining and the sale and consumption of alcohol is proposed. As part of this request we are also updating the Master Site Plan for the Planned Commercial Center. The proposed outdoor patio will not cause substantial harm to the value, use or enjoyment of other property in the vicinity as adjacent existing restaurants have outdoor dining.

Surrounding Uses

East – CC, Restaurant

West – CC, Restaurant

North – HC, Commercial

South – CC, Commercial Amusement

Prospective Tenant Information

Crush It Sports is a virtual sports entertainment facility that will allow customers of all ages to enjoy a virtual sports simulation experience in a climate-controlled environment while enjoying some premium food and drinks that will be offered on site. The simulators themselves (6 total and can have up to 6 players each) support 10+ sports, the most popular being golf, soccer, football, baseball, and hockey. Customers will physically swing a golf club into a simulator screen and the high tech infra-red sensors and camera will simulate with a high degree of accuracy what the ball would actually do on a golf course. For football, people can throw a football to a wide receiver that is displayed on the screen and if thrown accurately, the receiver will catch it. Same logic applies for other sports. Virtual sports are an up and coming trend today and Crush It! Virtual Sports Lounge in Grapevine will be the first facility in the DFW Metro area that offers this type of experience. Crush It is confident this concept will attract visitors from all neighboring cities to come check it out, will generate over 40+ full time and part time jobs, and will be actively involved in the City of Grapevine community.



ORDINANCE NO. 2019-071

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS ISSUING CONDITIONAL USE PERMIT CU19-30 FOR LOT 1, BLOCK 6, METROPLACE 2ND INSTALLMENT (401 WEST STATE HIGHWAY 114) TO AMEND THE PREVIOUSLY APPROVED SITE PLAN CU94-22 (ORDINANCE NO. 1994-80), AS AMENDED, FOR A PLANNED COMMERCIAL CENTER ALLOWING FOR THE POSSESSION, STORAGE, RETAIL SALE AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER, WINE, AND MIXED BEVERAGES) SPECIFICALLY TO REVISE THE BUILDING ELEVATIONS, FLOOR PLAN, TO ALLOW OUTDOOR SPEAKERS, OUTSIDE DINING, GOLF SIMULATORS AND A 40-FOOT POLE SIGN IN CONJUNCTION WITH A RESTAURANT IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the

vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally

classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU19-30 to amend the previously approved site plan CU94-22 (Ordinance No. 1994-80) for a planned commercial center allowing for the possession, storage, retail sale and on-premise consumption of alcoholic beverages (beer, wine, and mixed beverages), specifically to revise the building elevations, floor plan, allow outdoor speakers, outside dining, six golf simulators and 40-foot pole sign in conjunction with a restaurant (Crush It Sports) in a district zoned "CC" Community Commercial District within the following described property: Lot 1, Block 6, Metroplace 2nd Installment (401 West State Highway 114) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. That the City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. That this ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. That any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of October, 2019.

APPROVED:

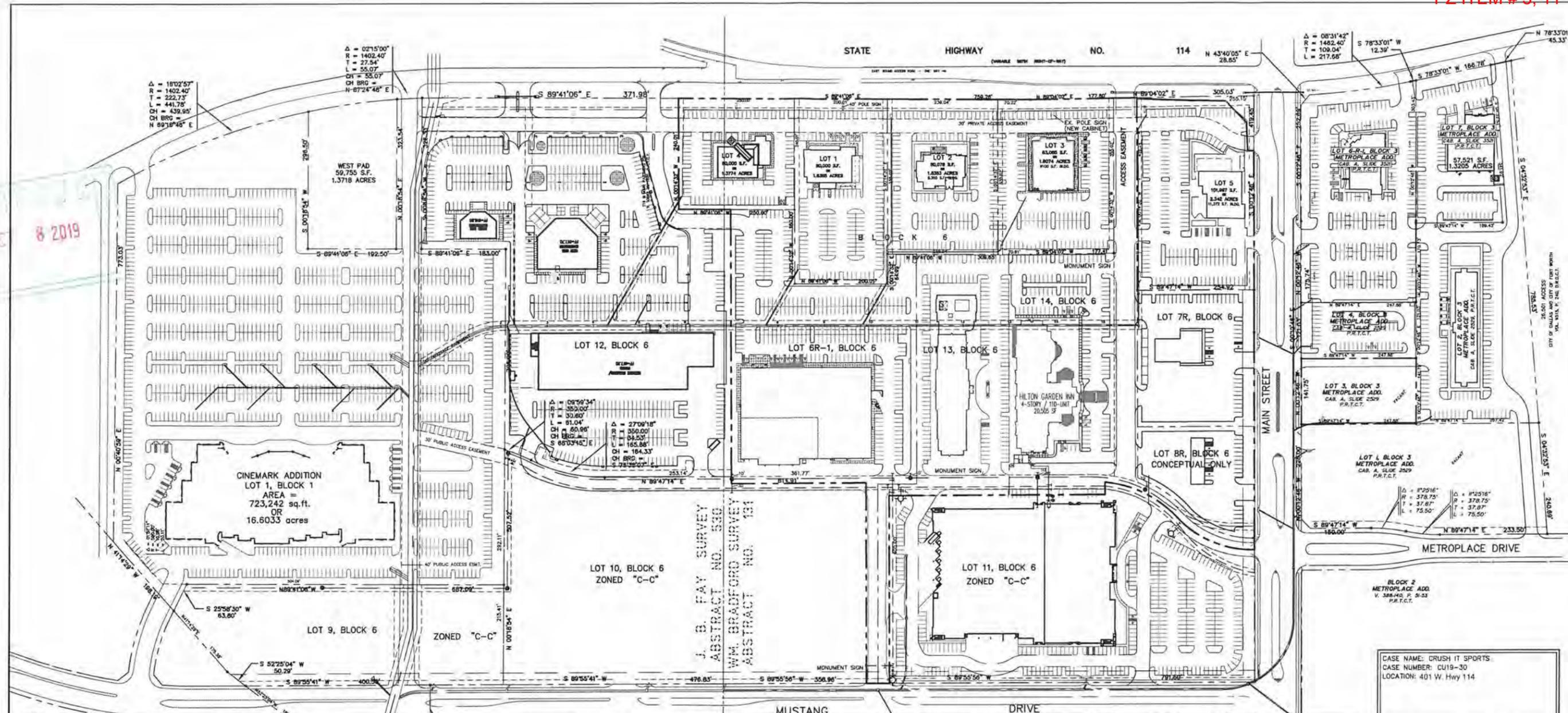
William D. Tate
Mayor

ATTEST:

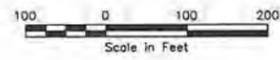
Shawna Barnes
Assistant City Secretary

APPROVED AS TO FORM:

City Attorney



- NOTES:
- ALL REQUIREMENTS OF THE CITY OF GRAPEVINE'S ZONING ORDINANCES SHALL BE MET. IN PARTICULAR THE FOLLOWING SECTIONS WILL BE COMPLIED WITH:
SECTION 25, "CC" COMMUNITY COMMERCIAL DISTRICT
SECTION 50, SCREENING
SECTION 53, LANDSCAPING REGULATIONS
SECTION 54, MASONRY REQUIREMENTS
SECTION 56, OFF-STREET PARKING REQUIREMENTS
SECTION 58, PARKING, LOADING, AND OUTSIDE STORAGE AREA DEVELOPMENT STANDARDS
SECTION 60, SIGN STANDARDS
 - ALL MECHANICAL, HEATING, VENTILATING, AIR CONDITIONING AND ELECTRICAL EQUIPMENT SHALL BE DESIGNED, INSTALLED AND OPERATED TO MINIMIZE NOISE IMPACT ON SURROUNDING PROPERTIES. ALL SUCH EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
 - EXISTING TREES IN LANDSCAPE AREAS SHALL BE SAVED.
 - SITE SHALL BE GRADED IN ACCORDANCE WITH THE CITY OF GRAPEVINE'S SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND OTHER APPLICABLE CITY REGULATIONS.
 - ALL DUMPSTERS SHALL BE SCREENED ON THREE SIDES BY A SOLID FENCE OR WALL ONE FOOT ABOVE THE DUMPSTER, NOT TO EXCEED EIGHT FEET IN HEIGHT.
 - THE REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.
 - PARKING FOR DISABLED PERSONS SHALL BE DESIGNATED ACCORDING TO CHAPTER 23, SEC. 23.64 TO 23.69 OF THE GRAPEVINE CODE OF ORDINANCES.
 - CONDITIONAL USE REQUEST CU19-30 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU19-22 (Orig 1994-80) FOR A PLANNED COMMERCIAL CENTER WITH THE POSSESSION, STORAGE, RETAIL SALES AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER, WINE AND MIXED BEVERAGES), SPECIFICALLY TO REVISE THE BUILDING ELEVATIONS, FLOOR PLAN, ALLOW OUTDOOR SPEAKERS, OUTSIDE DINING, AND A FORTY FOOT POLE SIGN IN CONJUNCTION WITH A RESTAURANT, and to allow golf simulators.
 - THE ENTIRE SITE IS THE PREMISES.
 - ALL ON-SITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.
 - THE PROPERTY IS CURRENTLY ZONED "CC" COMMUNITY COMMERCIAL DISTRICT.
 - THE CURRENT LAND USE DESIGNATION AS CONTAINED IN THE COMPREHENSIVE PLAN IS INDUSTRIAL/COMMERCIAL.
 - THE MINIMUM RADIUS FOR ALL DRIVEWAY ENTRANCES IS 20 FEET.
 - THE TYPICAL PARKING SPACE DIMENSIONS ARE 9 FEET BY 18 FEET.



ZONED: GU - GOVERNMENT USE
DALLAS FORT WORTH INTERNATIONAL AIRPORT

LEGAL DESCRIPTION
LOTS 1-5, 8R-1, 7R, BR, 13 AND 14R, BLOCK 6 METROPLACE, SECOND INSTALLMENT, A 20.6840 ACRE TRACT OUT OF THE WILLIAM BRADFORD SURVEY, ABSTRACT NO. 131 131, IN THE CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS.

401 STATE HIGHWAY 114 WEST

LEGAL DESCRIPTION

NOTES:

- ALL PROPERTY SHOWN HEREON IS ZONED "C-C".
- NO PORTIONS OF THE SUBJECT PROPERTY IS SHOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FIA FLOOD HAZARD BOUNDARY MAPS PREPARED FOR THE CITY OF GRAPEVINE, COMMUNITY No. 480598.

LOT NUMBER	LOT SIZE	BUILDING COVERAGE	DENSITY	BUILDING HEIGHT	IMPERVIOUS AREA	OPEN SPACE	PARKING
LOT 1	80,000 S.F.	8,428 S.F.	9.4%	28'-0"	59,500 S.F. (74.4%)	20,500 S.F. (25.6%)	141 SPACES (5 H.C.)
LOT 2	80,078 S.F.	6,578 S.F.	8.2%	27'-0"	81,854 S.F. (77.2%)	18,224 S.F. (22.8%)	145 SPACES (6 H.C.)
LOT 3	83,085 S.F.	9,100 S.F.	11.0%	23'-11"	67,885 S.F. (81.5%)	15,200 S.F. (18.5%)	148 SPACES (6 H.C.)
LOT 4	90,000 S.F.	5,165 S.F.	10.3%	23'-6"	44,953 S.F. (74.9%)	15,037 S.F. (25.1%)	35 SPACES (4 H.C.)
LOT 5	101,997 S.F.	11,372 S.F.	11.1%	24'-0"	83,058 S.F. (81.4%)	18,939 S.F. (18.6%)	160 SPACES (7 H.C.)
LOT 8R-1	209,215 S.F.	56,730 S.F.	27.1%	47'-4"	169,880 S.F. (81.2%)	39,335 S.F. (18.8%)	272 SPACES (8 H.C.)
LOT 7R	75,159 S.F.	5,857 S.F.	7.8%	19'-0"	60,055 S.F. (79.9%)	15,104 S.F. (20.1%)	47 SPACES (3 H.C.)
LOT 8R	47,886 S.F.	3,000 S.F.	6.3%	19'-0"	36,406 S.F. (76.0%)	11,480 S.F. (24.0%)	25 SPACES (3 H.C.)
LOT 13	116,325 S.F.	50,667 S.F.	43.6%	49'-11"	60,527 S.F. (89.2%)	33,798 S.F. (30.8%)	141 SPACES (5 H.C.)
LOT 14	165,733 S.F.	24,677 S.F.	14.9%	48'-7"	117,737 S.F. (71.0%)	47,996 S.F. (29.0%)	124 SPACES (5 H.C.)
TOTAL	1,019,478 S.F.	181,641 S.F.	17.8%	N/A	781,665 S.F. (76.7%)	237,813 S.F. (23.3%)	1,298 SPACES (52 H.C.)
REQUIRED	30,000 S.F. (MIN.)	611,687 S.F. (MAX.)	60% (MAX.)	50'-0" (MAX.)	815,582 S.F. (80.0% MAX.)	203,896 S.F. (20.0% MIN.)	7

Robert W. Schmeberg
GONZALEZ & SCHNEBERG
ENGINEERS & SURVEYORS, INC.
REGISTERED PROFESSIONAL ENGINEER
STATE OF TEXAS
ROBERT W. SCHNEBERG
65352
REGISTERED PROFESSIONAL ENGINEER

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ROBERT W. SCHNEBERG, P.E. 65352 ON 09/25/2019. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

CASE NAME: CRUSH IT SPORTS
CASE NUMBER: CU19-30
LOCATION: 401 W. Hwy 114

MAYOR _____ SECRETARY _____
DATE: _____ PLANNING AND ZONING COMMISSION

CHAIRMAN _____
DATE: _____

SHEET 1 OF 6

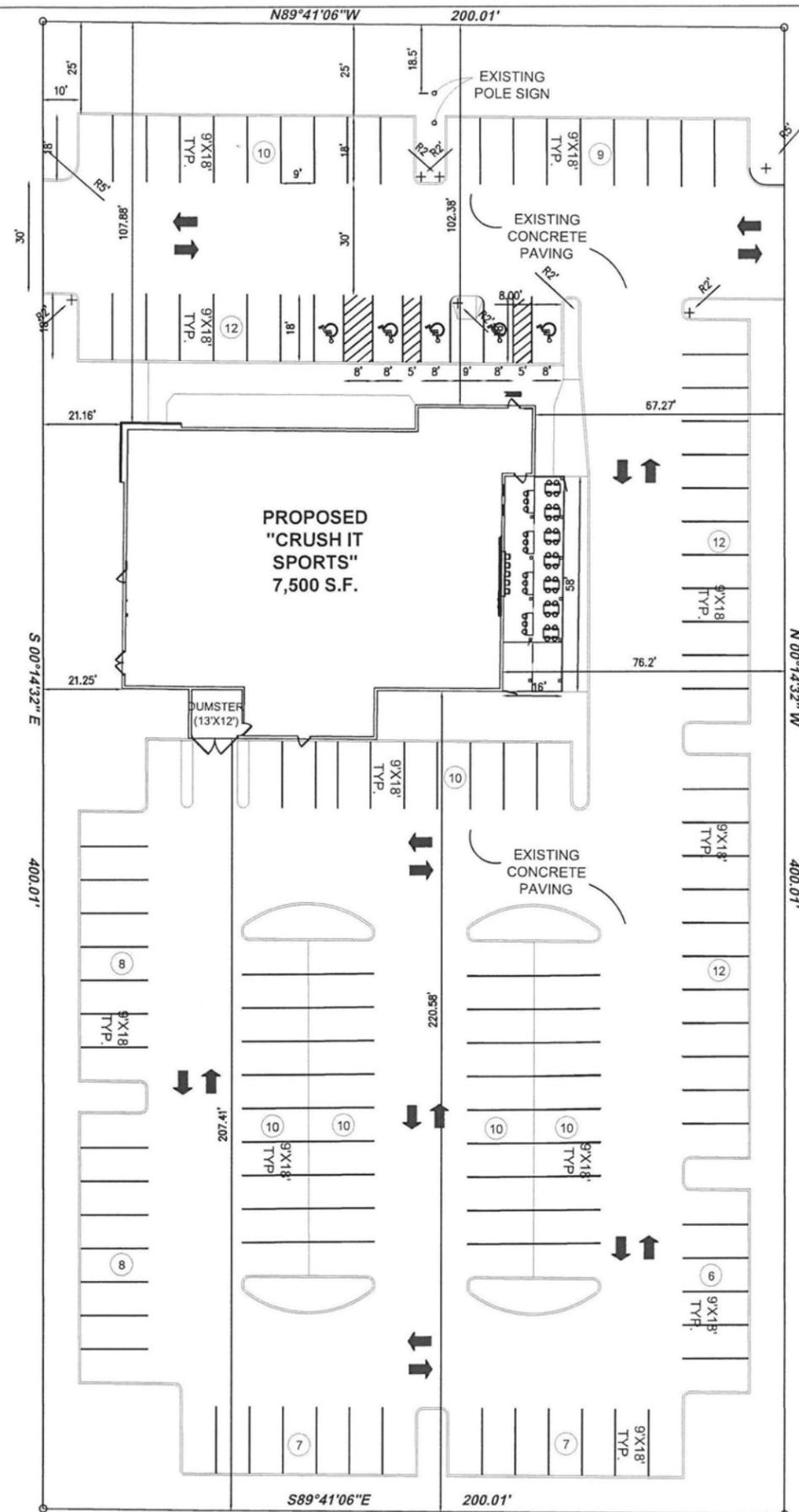
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.
DEPARTMENT OF DEVELOPMENT SERVICES

CU19-30
MASTER SITE PLAN
FOR
LOT 1, BLOCK 6
METROPLACE 2ND INSTALLMENT
401 STATE HIGHWAY 114 WEST
FOR
CRUSH IT SPORTS
IN THE
CITY OF GRAPEVINE, TEXAS SHEET 1 OF 6

Gonzalez & Schneberg
engineers & surveyors
TX Eng Firm F-3376 TX Surveying Firm 100752-00

Attn: Robert Schmeberg
2100 Lakeside Blvd, Suite 200
Richardson, Texas 75082
Phone: (972) 618-8855

NO.	DATE	REVISION	SCALE	DATE	PROJ. NO.	DWG. NO.
			1" = 100'	SEPTEMBER, 2019	3774-19-09-01	MSP-Sept 2019.dwg



1. THE CURRENT ZONING IS C-C COMMUNITY COMMERCIAL DISTRICT.
2. CONDITIONAL USE REQUEST FOR FOLLOWING;
 - A) SECTION 25. C.12. - PLANNED COMMERCIAL CENTER, A PLANNED COMMERCIAL CENTER AS DEMONSTRATED BY THE MASTER SITE PLAN.
 - B) SECTION 25. C.4.- SALE OF ALCOHOLIC BEVERAGES, POSSESSION, STORAGE, RETAIL SALE, AND ON PREMISES CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER, WINE & MIXED BEVERAGES) IN CONJUNCTION WITH THE OPERATION OF A RESTAURANT THE ENTIRE SITE IS THE PREMISE.
3. PARKING AND DRIVE AREAS EXISTING TO REMAIN AS PREVIOUSLY APPROVED.
4. REFER TO BUILDING ELEVATIONS AND SIGN DETAIL ON FOLLOWING SHEETS
5. PROVIDE SOIL EROSION CONTROL IN ACCORDANCE WITH THE CITY OF GRAPEVINE SOIL EROSION AND SEDIMENTATION ORDINANCE (SECTION 47.E.I.B.18)
6. PARKING LOT VEHICLE STOPPING DEVICE MAY BE SHARED BETWEEN PARKING SPACES.
7. DISABLED PARKING TO BE DESIGNATED IN ACCORDANCE WITH CHAPTER 23, SECTION 26-69 OF THE CODE OF ORDINANCES.
8. TYPICAL PARKING SPACES 9' X 18' HANDICAPPED 22 X 18' (DOUBLE HANDICAP SPACE WITH 4' WALK AISLE BETWEEN THE 9' HANDICAP SPACE).
9. LIMIT 30 FOOT WIDE LEASE TRACT TO DFW FOR EXPLORED PIPELINE COMPANY.
10. LIMIT 100 FOOT WIDE LEASE TRACT TO DFW FOR T.U.ELECTRIC COMPANY.
11. THE SCREENING WALL MATERIAL SHALL BE CONCRETE MASONRY UNITS WITH . STUCCO. ALL REFUSE STORAGE AREAS SHALL BE SCREENED IN ACCORDANCE WITH SECTION 50. B.3. (SECTION 47.E.I.B.2)

SITE DATA TABLE

ZONING: C-C COMMUNITY COMMERCIAL
PROPOSED USE RESTAURANT

BUILDING AREA 7,500 S.F. (INTERIOR)
PATIO AREA 928 S.F. (PATIO)
TOTAL 8,428 S.F.

LOT AREA 1.836 ACRES
(80,000 S.F.)

LOT COVERAGE 10%
FLOOR AREA RATIO: .10
BUILDING HEIGHT 1 STORY (28'-0")
PARKING REQUIRED 1 SPACE/3 OCUPANTS
- 109 SPACES @ 326 OCCUPANTS
- OUTDOOR SEATING: 15 SPACES (45/3=15)
- TOTAL PARKING SPACE REQUIRED: 124 SPACES

PARKING PROVIDED 141 (5 H.C.)
TOTAL IMPERVIOUS AREA: 59,500 S.F. (74.4%)
TOTAL OPEN SPACE: 20,500 S.F. (25.6%)
VEHICLE CIRCULATION COVERAGE: 37%
PEDESTRIAN CIRCULATION COVERAGE: 3%

PURPOSE OF THE CONDITIONAL USE REQUEST

a) CONDITIONAL USE REQUEST CU19-30 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU94-22 (ORD. 1994-80) FOR PLANNED COMMERCIAL CENTER WITH THE POSSESSION, STORAGE, RETAIL SALES AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER, WINE AND MIXED BEVERAGES) SPECIFICALLY TO REVISE THE BUILDING ELEVATIONS, FLOOR PLAN, ALLOW OUTDOOR SPEAKERS, OUTSIDE DINNING, GOLF SIMULATORS, A FORTY FOOT POLE SIGN IN CONJUNCTION WITH A RESTAURANT.

b) THE ENTIRE SITE IS THE PREMISES

CASE NAME: Crush It Sports
CASE NUMBER: CU19-30
LOCATION: 401 W Hwy 114

MAYOR

SECRETARY

DATE: _____

PLANNING AND ZONING COMMISSION

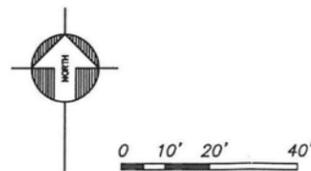
CHAIRMAN

DATE: _____

SHEET 2 OF 6

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES



DIMENSIONAL CONTROL SITE PLAN
SCALE: 1"=40'

400 chisholm place
suite 410
plano, texas 75075
972-424-1325 (w)
469-258-9322 (c)
fabim2582@outlook.com
web: fk-architect.com

09/27/2019

REGISTERED ARCHITECT STATE OF TEXAS

Original Date:
JULY 30, 2019
Issue Log

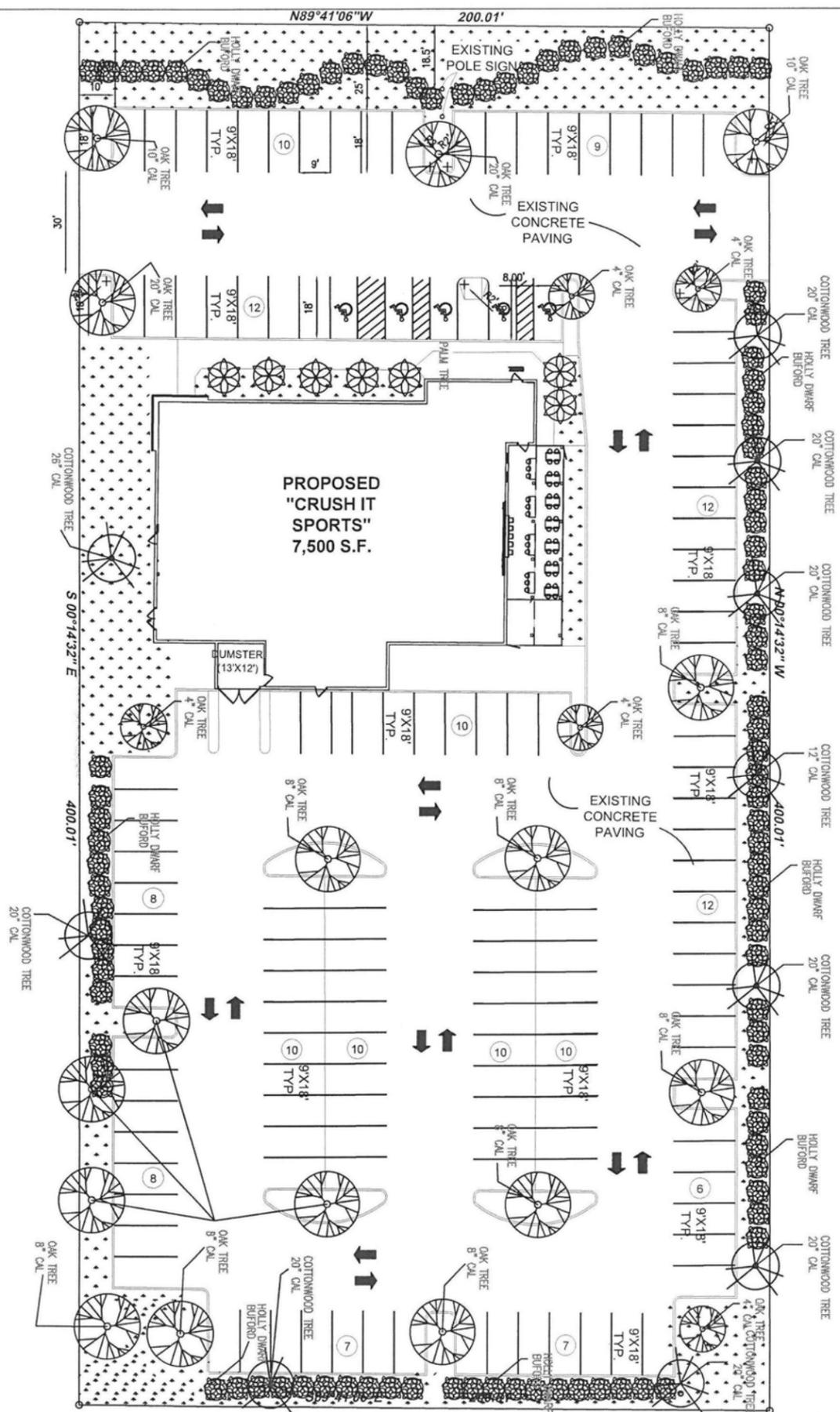
DRAWN BY: AK
CHECKED BY: MPK

COPYRIGHT

DEVELOPER / CONTRACTOR
ARCHI DESIGN + CONSTRUCTION INC
11408 N STEMMONS FWY.,
DALLAS, TEXAS 75229
TEL. (972)484-4414
CELL. (214)207-3254

CRUSH IT SPORTS, LLC
401 W STATE HWY
GRAPEVINE, TX 76051

Sheet Number:
2
OF 6



LANDSCAPE AREA REQUIRED: 5,070 S.F.
 - MIN. 10% OF THE GROSS PARKING AREA
 - GROSS PARKING AREA: 50,698 S.F.
 PROVIDED LANDSCAPE AREA: 20,500 S.F.

TREE REQUIRED: 13 TREES
 - 5,070 S.F./400 S.F. = 13 TREES

PROVIDED TREES: 36 TREES

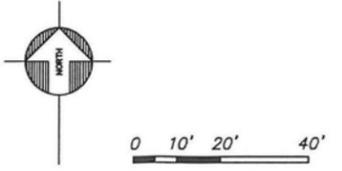
LIVE OAK	(16)
COTTONWOOD TREE	(8)
PALM TREE	(7)
ADDITIONAL 4" CAL LIVE OAK	(5)

PLANTING LEGEND

Buffer Trees		
	ADDITIONAL 4" CAL LIVE OAK	(5)
	EXISTING LIVE OAK	(16)
	COTTONWOOD TREE	(8)
	HOLLY DWARF BUFORD	(118)
	PALM TREE	(7)
	BERMUDA LAWN GRASS	14,000 S.F.

MAINTENANCE
 THE OWNER, TENANT AND FOR THEIR AGENT, IF ANY, SHALL BE JOINTLY AND GENERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING. ALL REQUIRED LANDSCAPING SHOULD BE MAINTAINED TO A SIZE AND ORDERLY MAINTAIN AT ALL TIMES. THIS SHALL INCLUDE, BUT NOT TO BE LIMITED VIEWING EDGING, GRADING, INSTALLING WATER LINES, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IN APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIALS, WHICH DIE SHALL BE REPLACED WITH MATERIAL SIMILAR VARIETY AND SIZE.

LANDSCAPING
 NOTE: THE CONTRACTOR WILL ABIDE WITH THE CITY ZONING ORDINANCE REQUIREMENTS FOR TREE PLANTING AS NECESSARY TO CONFORM BY PLANTING SPECIAL TREES TO ENHANCE THE FACILITY. REVISED LANDSCAPE PLANS WILL FOLLOW AFTER APPROVAL OF THE ENGINEERING DRAWINGS OF THIS PROJECT SITE.



LANDSCAPE PLAN
 SCALE: 1"=40'

- THE CURRENT ZONING IS C-C COMMUNITY COMMERCIAL DISTRICT.
- CONDITIONAL USE REQUEST FOR FOLLOWING:
 - SECTION 25. C.12. - PLANNED COMMERCIAL CENTER, A PLANNED COMMERCIAL CENTER AS DEMONSTRATED BY THE MASTER SITE PLAN.
 - SECTION 25. C.4.- SALE OF ALCOHOLIC BEVERAGES, POSSESSION, STORAGE, RETAIL SALE, AND ON PREMISES CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER, WINE & MIXED BEVERAGES) IN CONJUNCTION WITH THE OPERATION OF A RESTAURANT THE ENTIRE SITE IS THE PREMISE.
- PARKING AND DRIVE AREAS EXISTING TO REMAIN AS PREVIOUSLY APPROVED.
- REFER TO BUILDING ELEVATIONS AND SIGN DETAIL ON FOLLOWING SHEETS
- PROVIDE SOIL EROSION CONTROL IN ACCORDANCE WITH THE CITY OF GRAPEVINE SOIL EROSION AND SEDIMENTATION ORDINANCE (SECTION 47.E.I.B.18)
- PARKING LOT VEHICLE STOPPING DEVICE MAY BE SHARED BETWEEN PARKING SPACES.
- DISABLED PARKING TO BE DESIGNATED IN ACCORDANCE WITH CHAPTER 23, SECTION 26-69 OF THE CODE OF ORDINANCES.
- TYPICAL PARKING SPACES 9' X 18' HANDICAPPED 22 X 18' (DOUBLE HANDICAP SPACE WITH 4' WALK AISLE BETWEEN THE 9' HANDICAP SPACE).
- LIMIT 30 FOOT WIDE LEASE TRACT TO DFW FOR EXPLORED PIPELINE COMPANY.
- LIMIT 100 FOOT WIDE LEASE TRACT TO DFW FOR T.U.ELECTRIC COMPANY.
- THE SCREENING WALL MATERIAL SHALL BE CONCRETE MASONRY UNITS WITH . STUCCO. ALL REFUSE STORAGE AREAS SHALL BE SCREENED IN ACCORDANCE WITH SECTION 50. B.3. (SECTION 47.E.I.B.2)

PURPOSE OF THE CONDITIONAL USE REQUEST

a) CONDITIONAL USE REQUEST CU19-30 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU94-22 (ORD. 1994-80) FOR PLANNED COMMERCIAL CENTER WITH THE POSSESSION, STORAGE, RETAIL SALES AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER, WINE AND MIXED BEVERAGES) SPECIFICALLY TO REVISE THE BUILDING ELEVATIONS, FLOOR PLAN, ALLOW OUTDOOR SPEAKERS, OUTSIDE DINNING, GOLF SIMULATORS, A FORTY FOOT POLE SIGN IN CONJUNCTION WITH A RESTAURANT.

b) THE ENTIRE SITE IS THE PREMISES

CASE NAME: Crush It Sports
 CASE NUMBER: CU19-30
 LOCATION: 401 W Hwy 114

_____ MAYOR _____ SECRETARY

DATE: _____

PLANNING AND ZONING COMMISSION

_____ CHAIRMAN

DATE: _____

SHEET 3 OF 6

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

400 chisholm place
 suite 410
 plano, texas 75075
 972-424 1325 (w)
 469-258-9322 (c)
 fahim2589@hotmail.com
 web: fk-architect.com

09/27/2019

REGISTERED ARCHITECT STATE OF TEXAS
 License No. 2175

Original Date:
 JULY 30, 2019
 Issue Log

DRAWN BY: AK
 CHECKED BY: MPK

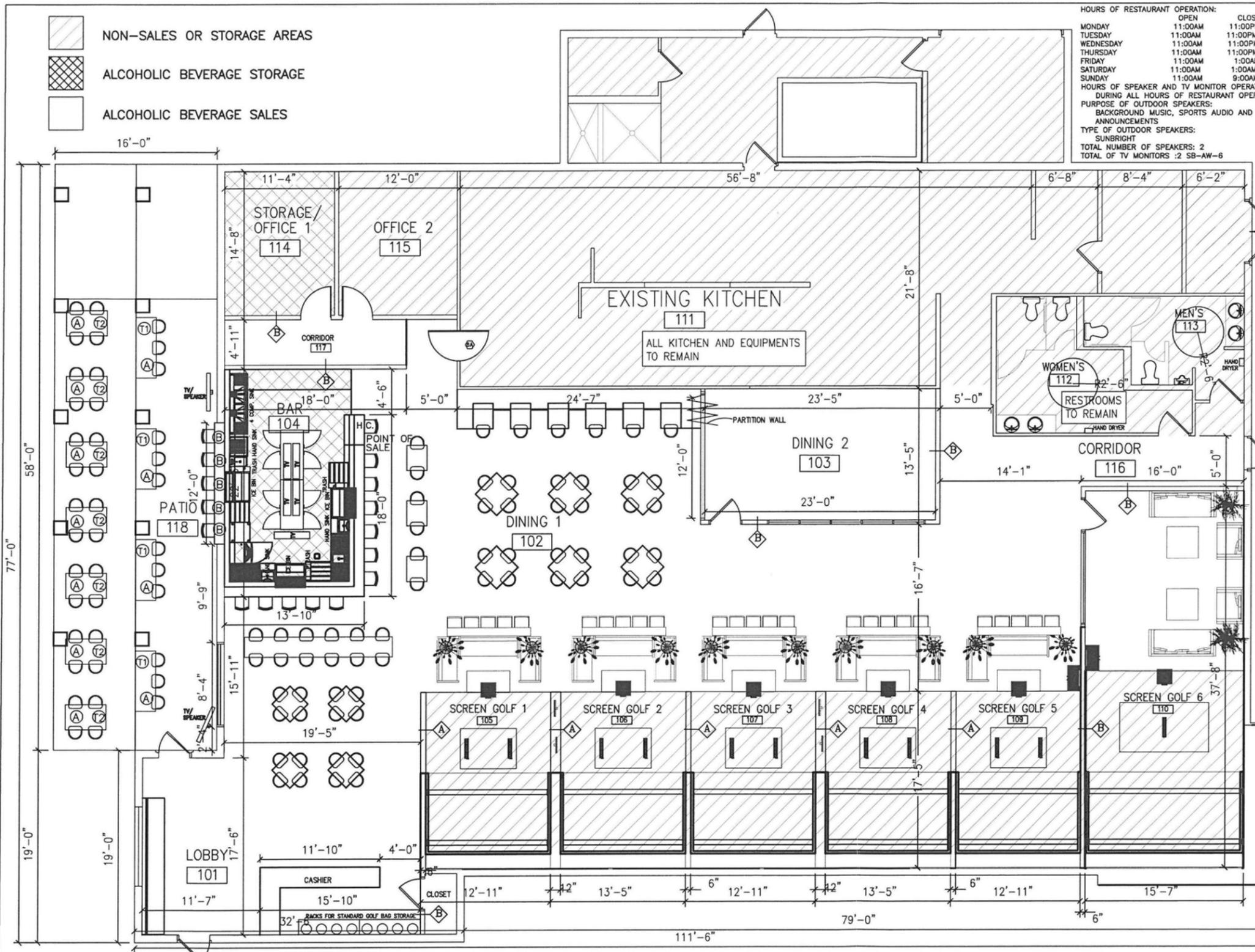
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DEVELOPER / CONTRACTOR
 ARCHI DESIGN + CONSTRUCTION INC

11408 N STEMMONS FWY.,
 DALLAS, TEXAS 75228
 TEL. (972)484-4414
 CELL. (214)207-3254

CRUSH IT SPORTS, LLC
 401 W STATE HWY
 GRAPEVINE, TX 76051

Sheet Number:
3
 OF 6



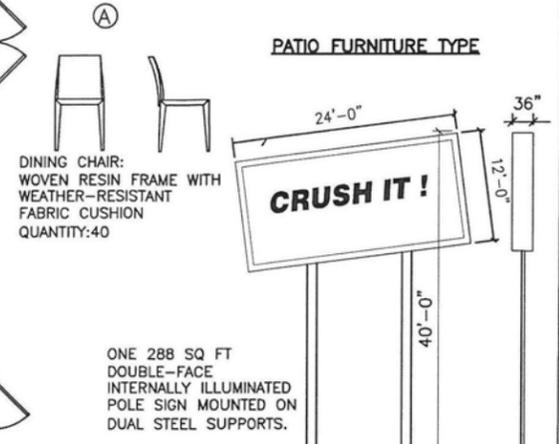
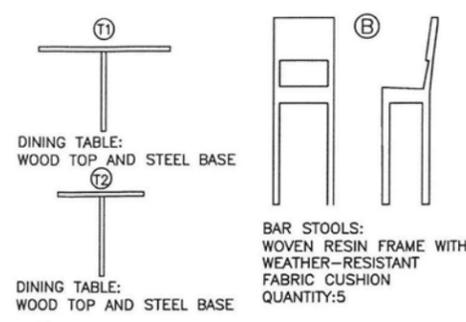
HOURS OF RESTAURANT OPERATION:
 MONDAY 11:00AM 11:00PM
 TUESDAY 11:00AM 11:00PM
 WEDNESDAY 11:00AM 11:00PM
 THURSDAY 11:00AM 11:00PM
 FRIDAY 11:00AM 1:00AM
 SATURDAY 11:00AM 1:00AM
 SUNDAY 11:00AM 9:00AM

HOURS OF SPEAKER AND TV MONITOR OPERATION:
 DURING ALL HOURS OF RESTAURANT OPERATION

PURPOSE OF OUTDOOR SPEAKERS:
 BACKGROUND MUSIC, SPORTS AUDIO AND ANNOUNCEMENTS

TYPE OF OUTDOOR SPEAKERS:
 SUNBRIGHT

TOTAL NUMBER OF SPEAKERS: 2
TOTAL OF TV MONITORS :2 SB-AW-6



PURPOSE OF THE CONDITIONAL USE REQUEST

a) CONDITIONAL USE REQUEST CU19-30 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU94-22 (ORD. 1994-80) FOR PLANNED COMMERCIAL CENTER WITH THE POSSESSION, STORAGE, RETAIL SALES AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER, WINE AND MIXED BEVERAGES) SPECIFICALLY TO REVISE THE BUILDING ELEVATIONS, FLOOR PLAN, ALLOW OUTDOOR SPEAKERS, OUTSIDE DINNING, GOLF SIMULATORS, A FORTY FOOT POLE SIGN IN CONJUNCTION WITH A RESTAURANT.

b) THE ENTIRE SITE IS THE PREMISES

CASE NAME: Crush It Sports
 CASE NUMBER: CU19-30
 LOCATION: 401 W Hwy 114

MAYOR

SECRETARY

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN

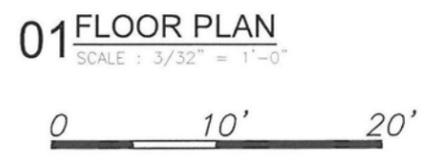
DATE: _____

SHEET 4 OF 6

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

SEATING CHART			SIMULATOR			OCCUPANT LOAD (BASED UPON 2006 IBC):			
INDOOR SEATING			TYPE	QUANTITY	NO. OF SEATS	TYPE	QUANTITY	NO. OF SEATS	WAITING
DINING AREAS			5-TOP	5	25	3-TOP	4	12	400 SF / 5 = 80
2-TOP	3	6	3-SOFA	5	14	4-TOP	7	28	3,520 SF / 15 = 235
4-TOP	10	40	BAR AREA	5	5	STOOL	5	5	490 SF / 300 = 2
1-TOP	6	6	TOTAL		171				1,690 SF / 200 = 9
12-TOP	1	12							326 OCCUPANCY
1-SOFA	6	6							
BAR AREA	17	17							



400 chisholm place
 suite 410
 plano, texas 75075
 972-424-1325 (W)
 469-258-9372 (C)
 foim258@outlook.com
 web: tk-architect.com

09/27/2019
 M. Shukhan



Original Date:
 JULY 30, 2019
 Issue Log

DRAWN BY: AK
 CHECKED BY: MFK
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DEVELOPER / CONTRACTOR
 ARCHI DESIGN + CONSTRUCTION INC
 11408 N STEMMONS FWY., DALLAS, TEXAS 75229
 TEL. (972)484-4414
 CELL. (214)207-3254

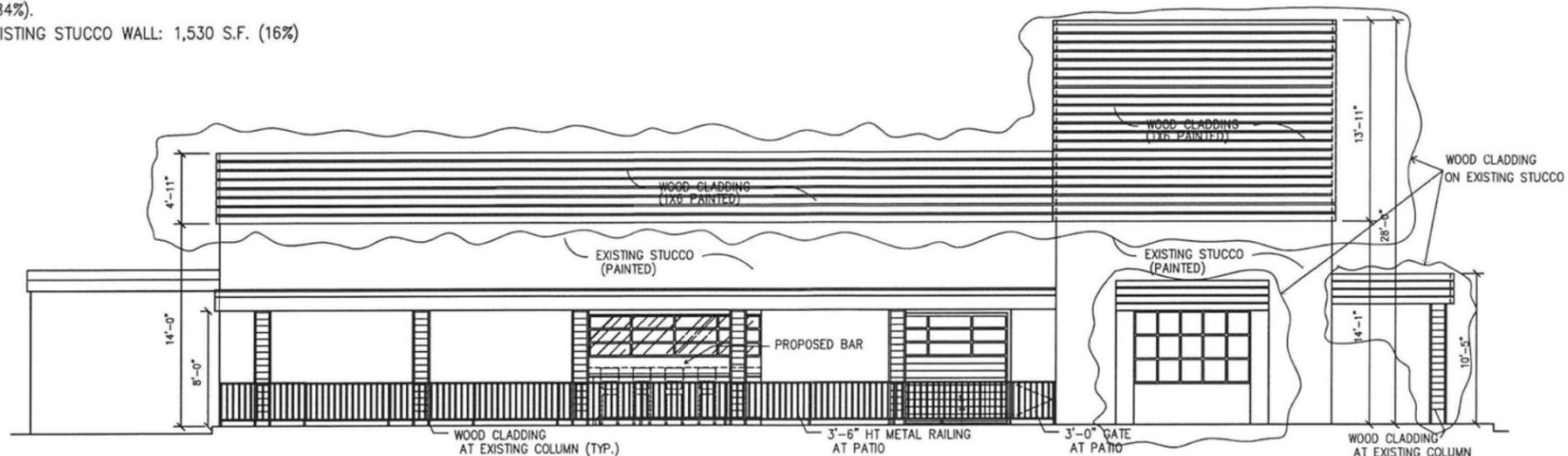
CRUSH IT SPORTS, LLC
 401 W STATE HWY
 GRAPEVINE, TX 76051



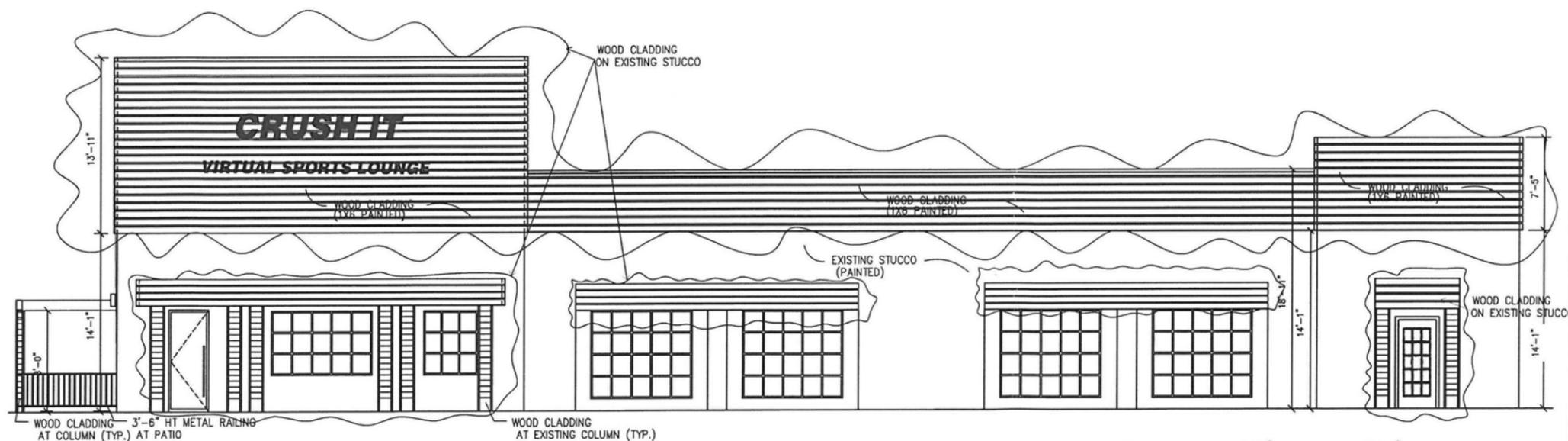
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EXTERIOR WALL

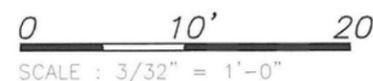
- STUCCO AREA: 8,060 S.F. (84%).
- WOOD CLADING AREA ON EXISTING STUCCO WALL: 1,530 S.F. (16%)



EAST ELEVATION



NORTH ELEVATION



PURPOSE OF THE CONDITIONAL USE REQUEST

a) CONDITIONAL USE REQUEST CU19-30 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU94-22 (ORD. 1994-80) FOR PLANNED COMMERCIAL CENTER WITH THE POSSESSION, STORAGE, RETAIL SALES AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER, WINE AND MIXED BEVERAGES) SPECIFICALLY TO REVISE THE BUILDING ELEVATIONS, FLOOR PLAN, ALLOW OUTDOOR SPEAKERS, OUTSIDE DINNING, GOLF SIMULATORS, A FORTY FOOT POLE SIGN IN CONJUNCTION WITH A RESTAURANT.

b) THE ENTIRE SITE IS THE PREMISES

CASE NAME: Crush It Sports
CASE NUMBER: CU19-30
LOCATION: 401 W Hwy 114

MAYOR _____ SECRETARY _____

DATE: _____
PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: _____

SHEET 5 OF 6

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

400 chisholm place
suite 410
plano, texas 75075
972-424-1325 (W)
469-258-9322 (C)
fahim2582@aol.com
web: fk-architect.com

09/27/2019
M. Fahim Khan



Original Date:

JULY 30, 2019

Issue Log

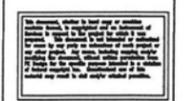
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11408 N STEMMONS FWY,
DALLAS, TEXAS 75229
TEL. (972)484-4414
CELL. (214)207-3254

CRUSH IT SPORTS, LLC
401 W STATE HWY
GRAPEVINE, TX 76051



Sheet Number:

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OF 6

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 15, 2019

SUBJECT: LOCAL PROJECT ADVANCED FUNDING AGREEMENT – STATE HIGHWAY 26 PHASE VI GREEN RIBBON PROJECT

RECOMMENDATION: City Council consider adopting a resolution approving the Local Project Advance Funding Agreement (LPAFA) with Texas Department of Transportation (TXDOT) to establish funding participation levels for State Highway 26 Green Ribbon Project - Phase VI, and take any necessary action.

FUNDING SOURCE: Approval of the agreement will have no effect on City funds at this time.

BACKGROUND: Several areas throughout the DFW Connector corridor were not included in TXDOT's landscape plan. The State Highway 26 Green Ribbon Project will enhance the Entertainment District stretching from the Gaylord Texan and Great Wolf Lodge to Grapevine Mills Mall. The supplemental landscaping will greatly strengthen Grapevine's streetscape identity in this important corridor within the City.

The project is funded by the Federal Highway Administration (FHWA) and TXDOT Green Ribbon program. The Green Ribbon program provides no allowances for cost overruns; therefore, the City will cover any cost overruns that may arise.

This project will be administered by the City. A Master Agreement, adopted by the City per resolution and the State in November 2000, establishes general terms and conditions for transportation projects of this nature. The LPAFA formally establishes the funding participation level and scope for this specific project. TXDOT has requested that the City approve this LPAFA in October to facilitate their bidding schedule of June 2020.

City of Grapevine was awarded \$300,000 Green Ribbon Funds to use towards this project. Once bids are received for this project, options will be presented to City Council for approval. This advanced funding agreement confirms any amount over the grant funds the City will pay of which the required funds are budgeted in the Quality of Life fund.

Staff will return at a later date for approval of a construction contract and appropriation. Staff recommends approval.

RESOLUTION NO. 2019-030

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS AUTHORIZING A LOCAL TRANSPORTATION PROJECT ADVANCE FUNDING AGREEMENT WITH THE TEXAS DEPARTMENT OF TRANSPORTATION ADDRESSING FUNDING PARTICIPATION LEVEL AND PROJECT SCOPE FOR THE LANDSCAPE IMPROVEMENTS FOR THE STATE HIGHWAY 26 GREEN RIBBON PROJECT - PHASE VI, AND PROVIDING AN EFFECTIVE DATE

WHEREAS, a Master Agreement between the City of Grapevine and the State was adopted by Resolution No. 2000-60 on November 21, 2000 and the agreement states the general terms and conditions for transportation projects developed through this Local Transportation Project Advance Funding Agreement; and

WHEREAS, the Texas Transportation Commission passed Minute Order 115550, that provides for the development of, and funding for, landscape improvements to State Highway 26 at Texan Trail to State Highway 121 frontage road; and

WHEREAS, the Grapevine City Council strongly supports the efforts of the Metropolitan Planning Organization and Texas Department of Transportation in developing a system of highways in cooperation with local governments; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this ordinance to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine approves entering into this Local Transportation Project Advance Funding Agreement for landscape improvements of State Highway 26 Green Ribbon Project – Phase VI in the City of Grapevine.

Section 3. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of October, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Shawna Barnes
Assistant City Secretary

APPROVED AS TO FORM:

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 15, 2019

SUBJECT: APPROVAL OF LANDSCAPE ARCHITECTURE SERVICES CONTRACT

RECOMMENDATION: City Council to consider the award of a Landscape Architecture contract for landscape plan and construction documents for the State Highway 26 Green Ribbon Project - Phase VI to Schrickel Rollins and Associates (dba Schrickel Rollins | Parkhill, Smith & Cooper), an ordinance appropriating and transferring funds, and take any necessary action.

FUNDING SOURCE: Upon approval of the ordinance and transfer of funds from the Quality of Life, funds will be available in the Grant Fund in an amount not to exceed \$94,700.

BACKGROUND: Several areas throughout the DFW Connector corridor were not included in TXDOT's landscape plan for the project. These are highly visible areas where supplemental landscaping will enhance the look of Grapevine.

Staff presented the idea to Council at the July 16, 2013 meeting to hire a Landscape Architect to design several areas of the Connector project. A fully comprehensive plan that is phased and vetted by the City Council will facilitate budgeting and grant applications as well as promote a more uniform theme throughout the corridor.

Since 2013, Schrickel Rollins and Associates (dba: Shrickel Rollins/Parkhill Smith & Cooper) has designed Phases I through IV. Recently, Phase III was completed along State Highway 114, with limits from Ira E. Woods Avenue to William D. Tate Avenue. Staff has received positive comments from citizens, visitors, and merchants regarding these landscape improvements along the State Highway 114 corridor.

Phase IV construction along FM 2499 was completed last month and Phase V construction will begin in November 2019. The Landscape Architecture Services contract is for Phase VI to State Highway 26 a t Texan Trail to the State Highway 121 frontage. This phase will encompass from the State Highway 121 bridge over State Highway 26 east to Texan Trail and the section of Bass Pro currently under construction south of Embassy Suites Hotel. This phase will keep the existing trees, enhance the plantings, add irrigation, and power to the medians for Christmas decor. Please see attached proposal.

Staff recommends approval.

September 30, 2018

EXHIBIT A

Scope of Services

Grapevine, Texas

Phase VI – SH 26 at Texas Trail to SH121 frontage road - Landscape Enhancements

TXDOT Green Ribbon Project

1. Scope of Project

The project consists of the Preliminary Design and Construction Documents for landscape improvements. The City of Grapevine is planning and developing a multi-phase project that consists of landscape improvements and gateway signage within the TxDOT R.O.W. The areas of the improvements include SH 26, SH 114, SH 360, FM 2499 and I-635. The primary purpose of these projects is to announce the arrival into the City of Grapevine, which is bordered by DFW Airport and six other cities and to set an identity for the Grapevine streetscapes. The sense of arrival will be reinforced by the use of landscape elements (shrubs, ornamental grasses, trees), irrigation (Green Ribbon funded items) and possible unfunded items such as planter pots at key points along the medians. Phase 6 will enhance the Entertainment District along SH 26 stretching from The Gaylord and Great Wolf Lodge down to Grapevine Mills Mall to strengthen Grapevine's streetscape identity in this important corridor within the City.

The scope of work (basic services) consists of the following per TxDOT format:

- Landscape planting design/layout
- Irrigation design/layout
- Electrical Service design for irrigation
- Environmental Compliance-
 1. Scope Development Tool
 2. Biological Evaluation Form
 3. PCR for Historical Studies

The project budget for construction exclusive of fees for professional services will be approximately \$1,600,000. If the project budget is modified during the course of the project, related professional services fees will be adjusted proportionately. No adjustments will be made to budget or fees without prior written approval by the Owner.

2. Base Sheet Preparation

The City of Grapevine has provided digital files which will be applied to this project to set up the base drawings. There will be no Topographic Survey or existing utility information provided by Schrickel, Rollins/PSC (Consultant). Approximate location of existing trees will be located by aerial photography. Deed or boundary research will not be provided, nor will boundary lines or right of way line ties. Right of way lines will be provided by the City. City of Grapevine plans will be shown and identified by objects located above ground.

3. Review Existing Plans

Collect and review applicable existing plans and studies relevant to the project area to define preliminary issues, to identify conflicting findings, and to identify supplemental data requirements. This effort will include a review of the existing corridor master plan, roadway improvement plans by TxDOT, and related ordinances.

X:\PENDING PROJECT NUMBER\01_SRA\Grapevine\TxDOT Green Ribbon - Ph VI\Fee Proposal\Architectural Letter Agreement - TxDOT Green Ribbon - Phase VI rev.docm

4. Data Gathering/Field Observation

The Landscape Architect will perform a detailed site inventory and photo documentation of existing conditions, including existing infrastructure and existing development adjacent to the site. City staff will help locate existing utilities and irrigation service within the proposed landscape area.

5. Preliminary Design

The Landscape Architect will prepare the Preliminary Design for this phase of the project based on the project budget.

The Landscape Architect will hold a maximum of three (3) meetings with the CITY's representative and other designated representatives throughout the Preliminary Design development to communicate progress and discuss pertinent issues. The Preliminary Design will be revised at the direction of the CITY's representative. A rough opinion of probable cost will be prepared at the completion of the Preliminary Design.

The Preliminary Design will consist of an opinion of probable cost and an overall plan view.

6. Construction Documents

Based on the approved Preliminary Design and any further adjustments in the scope and quality of the project or in the construction budget authorized by the CITY, construction documents consisting of drawings and specifications will set forth in detail the requirements for the construction of the project. The Landscape Architect will advise the CITY's representative of any adjustments to previous opinions of construction cost indicated by changes in requirements or general market conditions.

The Landscape Architect will submit documents and opinions of construction cost to the CITY's representative at intervals of 60 and 90% of completion for review. The CITY's representative will respond with written comments advising any changes to be made. Specifications will be written to reference TxDOT standard specifications.

The Landscape Architect will prepare a list of construction bid items and compute estimated quantities. The opinion of probable cost of construction will be computed based on current unit prices and estimated quantities.

The Landscape Architect will provide general notes, specifications and special provisions, which are applicable to the project.

7. Bidding

The Landscape Architect will provide/perform the following Bidding Services.

- A. The Landscape Architect will attend the Prebid conference if requested.
- B. Assist CITY staff in preparing the advertisement for bids.
- C. Answer questions from Bidders and prepare addenda as necessary.
- D. Assist CITY as required in opening bids.
- E. Provide bid tabulations and bid analysis as required by TxDOT.
- F. Evaluate the lowest bidder. Bid evaluation will include the contractor's:
 1. Past work history;
 2. Financial resources; and
 3. Physical resources to produce the project.
- G. A summary of the bid analysis will be provided to CITY for use in selection and award of the construction contract.
- H. Compensation for Bidding shall be approximately three (3%) percent of the lump sum fee shown in Item 13 - Fees.

8. Construction Administration

The Landscape Architect will provide/perform the following Construction Administration services. Said services to be provided after execution of a contract between CITY, TxDOT and the Contractor selected by TxDOT. The Landscape Architect will provide information relating to review of submittals, shop drawings, and requests for information.

- A. Landscape Architect will provide/perform the following Construction Administration services:
1. A total of three (3) meetings/site visits with owner/contractor including:
 - a. Preconstruction Conference.
 - b. Field observation/construction progress shall be provided for the purpose of ascertaining for the CITY that the work is in substantial or general conformance with the contract documents and design intent;
 - i. Should nonconforming or defective work be observed, the Landscape Architect will endeavor to immediately inform the CITY's representative that conforming or remedial action is required.
 - ii. A schedule of key construction observation visits will be developed for approval and reference by CITY.
 - iii. Conduct coordination meetings with contractors, TxDOT inspection personnel, and CITY representative to discuss strategy, problem areas, progress, and any required coordination. Prepare a summary of these meetings and distribute them to both CITY and the contractor.
 - c. Placement and layout of improvements;
 - d. Field observation/construction progress;
 2. Review submittal information for the purpose of ascertaining conformance with the design intent and construction documents.
 3. Provide written responses to requests for information or clarification.
 4. Prepare and process change orders, if required.
 5. Assist CITY in conducting the substantial completion and final completion observations.
 6. When complete, recommend final acceptance of work.
- B. Landscape Architect's status during construction:
Landscape Architect will not be responsible for Contractor's means, methods, techniques, sequences, procedures or schedules of construction or the safety precautions and programs incident hereto. Landscape Architect will not be responsible for Contractor's failure to perform or furnish the work in accordance with the construction documents. Landscape Architect will not be responsible for any delays in the execution of the work caused by the Contractor.

9. Optional Additional Services

The Landscape Architect will provide services not identified in this Basic Scope of Services upon receipt of authorization from the CITY's representative. Additional Services will be provided on an hourly rate basis with a mutually agreed "not to exceed" total. Such Additional Services may include the following or other services:

Design Phase

- A. Topographic Survey
- B. Location of underground utilities, SUE.
- C. Establishment of the boundary lines and Right of Way Lines.
- D. Design of facilities beyond the original scope and/or budget identified in the description of services.
- E. Design of Signalization Systems and/or traffic studies.
- F. Representation in arbitration, mediation, litigation, depositions or similar legal processes.

- G. Environmental assessment or environmental impact study.
- H. Permits
- I. Public / Stakeholder meetings
- J. SWPPP

Construction Phase

- A. Preparation of Change Orders as required which expand the original Scope of Services.
- B. Site observation visits.

10. Exclusions

The following services are not included in the contract:

- A. Geotechnical Testing and Recommendations.
- B. Drainage, Hydrology and Hydraulics Studies.
- C. Right-Of-Way Map
- D. Parcel Information
- E. Deeds and/or easements
- F. Title Insurance Policies
- G. Coordination with FEMA and USACE
- H. Value Engineering
- I. Letters of Authority
- J. Bonding & Insurance

11. Reimbursable Expenses

The following items, if provided, shall be considered reimbursable or additional to this contract.

- A. Permit or filing fees.
- B. Printing and other reproduction costs beyond those set forth in this contract.
- C. Special courier services.
- D. Review and inspection fees related to Texas Department of Licensing and Regulations.

12. Services Provided by the Owner

The City will provide the following services in the performance of the project.

- A. Provide any existing data the City has on file concerning the project, if available.
- B. Provide any available as-built plans for existing facilities, if available.
- C. Assist the Consultant, as necessary, in obtaining any required data and information from local utility companies.
- D. Provide Standard City Details and Specifications in digital format.
- E. Assist the Consultant by requiring appropriate utility companies to expose underground utilities within the right-of-way or easements, when required.
- F. Give prompt written notice to the Consultant whenever City observes or otherwise becomes aware of any development that affects the scope or timing of the Consultant's services.

- G. The City will secure the services of an independent laboratory for Construction Phase Testing.
- H. The City will assign with a staff person who will serve as the project manager, liaison with TXDOT, and Local Government Representative who will manage the project and coordinate the project with TXDOT.

13. Fees

A. Basic Professional Planning and Design Services including:

(Based on a construction budget of approximately \$1,000,000)

Construction Documents	
Base Preparation	\$3,500.00
60%	\$24,750.00
90%	\$26,750.00
Final	\$16,500.00
Bidding	\$ 2,500.00
Meetings (2) Required –	\$ 1,500.00
Construction Administration	\$ 4,250.00
Reimbursable Expenses	\$ 250.00
Environmental Documentation for TxDOT	\$ 9,200.00
Electrical Service for Primary Power	<u>\$ 5,500.00</u>
Subtotal Basic Services	<u>94,700.00</u>

B. Optional Additional Services – (1) (upon request)

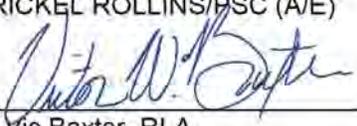
Bass Pro Drive Landscape and Irrigation	<u>\$ 5,500.00</u>
---	--------------------

The Basic Planning and Design Services fee of \$94,700.00 is for the described project with a maximum Construction Budget of approximately \$1,600,000.00. The Basic Services fee shall be increased or decreased proportionally based on the Construction Budget authorized by the City. The proposed fee will be adjusted if the budget is increased by more than 10% or decreased by less than 10% of the Construction Budget stated herein.

Sincerely,

SCHRICKEL ROLLINS/BSC (A/E)

CITY OF GRAPEVINE (OWNER)

By 
 Vic Baxter, RLA
 Director of Business Development

Accepted By: _____

Title: _____

Date: _____

IN DUPLICATE

Enclosures

"The Texas Board of Architectural Examiners, P.O. Box 12337, Austin, Texas 78711-2337 or 333 Guadalupe, Suite 2-350, Austin, Texas 78701-3942, (512) 305-9000, www.tbae.state.tx.us has jurisdiction over complaints regarding the professional practices of persons registered as landscape architects in Texas.

Hourly Rate Schedule

January 1, 2019 through December 31, 2019

Client: City of Grapevine

Project: Grapevine – Green Ribbon Phase VI

Agreement Date: _____

Location: _____

CLASSIFICATION	HOURLY RATE	CLASSIFICATION	HOURLY RATE	CLASSIFICATION	HOURLY RATE
SUPPORT STAFF I	\$60.00	PROFESSIONAL LEVEL II		PROFESSIONAL LEVEL V	
Engineering Student		Mechanical & Electrical	\$133.00	Mechanical & Electrical	\$229.00
Design Student		Civil & Structural	\$132.00	Civil & Structural	\$224.00
Landscape Architect Student		Architect	\$127.00	Architect	\$209.00
Interior Design Student		Architect Intern		Senior Architect	
		Landscape & Interior	\$118.00	Landscape & Interior	\$172.00
		Design Intern Landscape		Project Manager	
SUPPORT STAFF II	\$103.00	Architect Intern		Senior Landscape Architect	
Engineering Technician		Technologist		Senior Interior Designer	
Engineering Student		Resident Project Representative		Resident Project Representative	
Design Technician		Clerical Supervisor			
CADD				PROFESSIONAL LEVEL VI	
Survey Technician				Mechanical & Electrical	\$259.00
Administrative Assistant		PROFESSIONAL LEVEL III		Civil & Structural	\$248.00
Project Assistant		Mechanical & Electrical	\$158.00	Architect	\$235.00
Word Processor		Civil & Structural	\$155.00	Landscape & Interior	\$208.00
File Specialist		Architect	\$145.00	Studio Leader	
		Architect Intern		Senior Project Manager	
		Landscape & Interior	\$130.00	Senior Practice Leader	
SUPPORT STAFF III	\$113.00	Interior Design Intern		Surveyor	
Engineering Technician		Landscape Architect Intern		Resident Project Representative	
Design Technician		Technologist			
CADD		Resident Project Representative			
Administrative Assistant				PROFESSIONAL LEVEL VII	
Project Assistant				Mechanical & Electrical	\$278.00
		PROFESSIONAL LEVEL IV		Civil & Structural	\$271.00
PROFESSIONAL LEVEL I		Mechanical & Electrical	\$187.00	Architect	\$260.00
Mechanical & Electrical	\$117.00	Civil & Structural	\$184.00	Landscape & Interior	\$233.00
Civil & Structural	\$117.00	Architect	\$171.00	Operations Director	
Architect	\$117.00	Professional Architect		Sector Director	
Architect Intern		Project Architect			
Landscape & Interior	\$112.00	Landscape & Interior	\$142.00		
Interior Design Intern		Professional Landscape Architect			
Landscape Architect Intern		Professional Interior Designer			
Planner		Project Landscape Architect			
Survey Technician		Project Interior Designer			
Technologist		Technologist			
Resident Project Representative		Resident Project Representative			

Expenses: Reimbursement for expenses as listed, but not limited to, incurred in connection with services, will be at cost plus 15 percent for items such as:

1. Maps, photographs, postage, phone, reproductions, printing, equipment rental, and special supplies related to the services.
2. Consultants, soils engineers, surveyors, contractors, and other outside services.
3. Rented vehicles, local public transportation and taxis, road toll fees, travel, and subsistence.
4. Special or job-specific fees, insurance, permits, and licenses applicable to work services.
5. Mileage at IRS-approved rate.

Rate for professional staff for legal proceedings or as expert witnesses will be a rate one-and-a-half times these Hourly Rates. Excise and gross receipt taxes, if any, will be added as an expense.

Foregoing Schedule of Charges is incorporated into the Agreement for Services provided, effective January 1, 2019 through December 31, 2019. After December 31, 2019, invoices will reflect the Schedule of Charges currently in effect.

ORDINANCE NO. 2019-063

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, APPROPRIATING \$94,700 FROM THE QUALITY OF LIFE FUND AND TRANSFERRING FUNDS TO THE GRANT FUND FOR LANDSCAPE ARCHITECTURE SERVICES FOR THE STATE HIGHWAY 26 GREEN RIBBON PROJECT - PHASE VI; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, a Master Agreement between the City of Grapevine and the State of Texas was adopted by Resolution No. 2000-60 on November 21, 2000 and the agreement states the general terms and conditions for transportation projects developed through this Local Transportation Project Advance Funding Agreement; and

WHEREAS, the Texas Transportation Commission passed Minute Order 115550, that provides for the development of, and funding for, landscape improvements to State Highway 26 at Texan Trail to State Highway 121 frontage road; and

WHEREAS, the landscape architecture firm of Schrickel Rollins and Associates, Inc. (dba Schrickel Rollins/Parkhill Smith & Cooper) has designed Phases I thru V of this project; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this ordinance to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine approves the appropriation of \$94,700.00 in the Quality of Life Fund to be transferred to the Grant Fund for the Landscape and Signage Master Plan and construction documents for the State Highway 26 Green Ribbon Project - Phase VI.

Section 3. That the terms and provisions of this ordinance shall be deemed to be severable, and that if the validity of any section, subsection, word, sentence or phrase shall be held to be invalid, it shall not affect the remaining part of this ordinance.

Section 4. The fact that the present ordinances and regulations of the City of Grapevine, Texas are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the public creates an emergency which requires that this ordinance become effective from and after the date of its passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of October, 2019.

APPROVED:

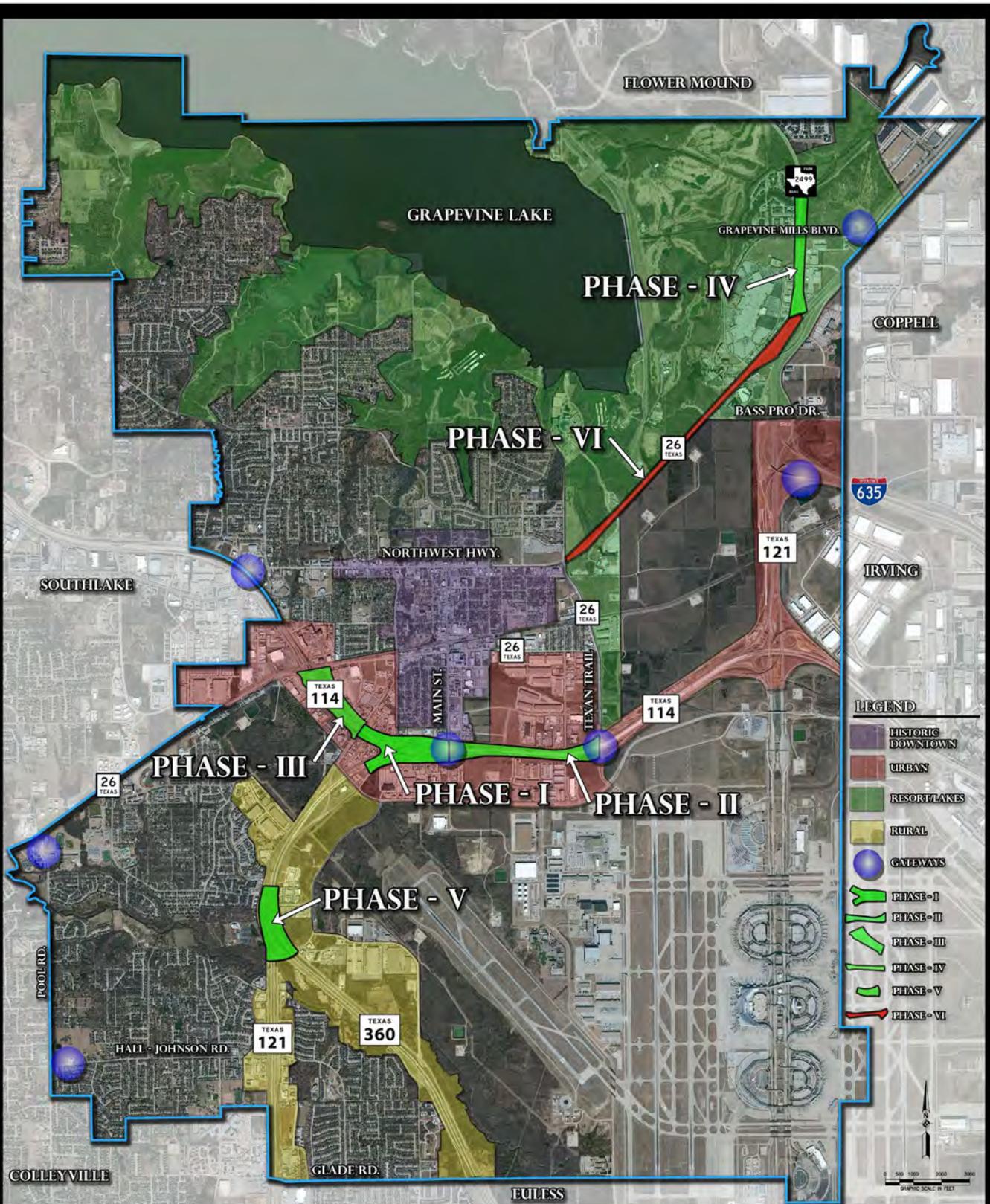
William D. Tate
Mayor

ATTEST:

Shawna Barnes
Assistant City Secretary

APPROVED AS TO FORM:

City Attorney



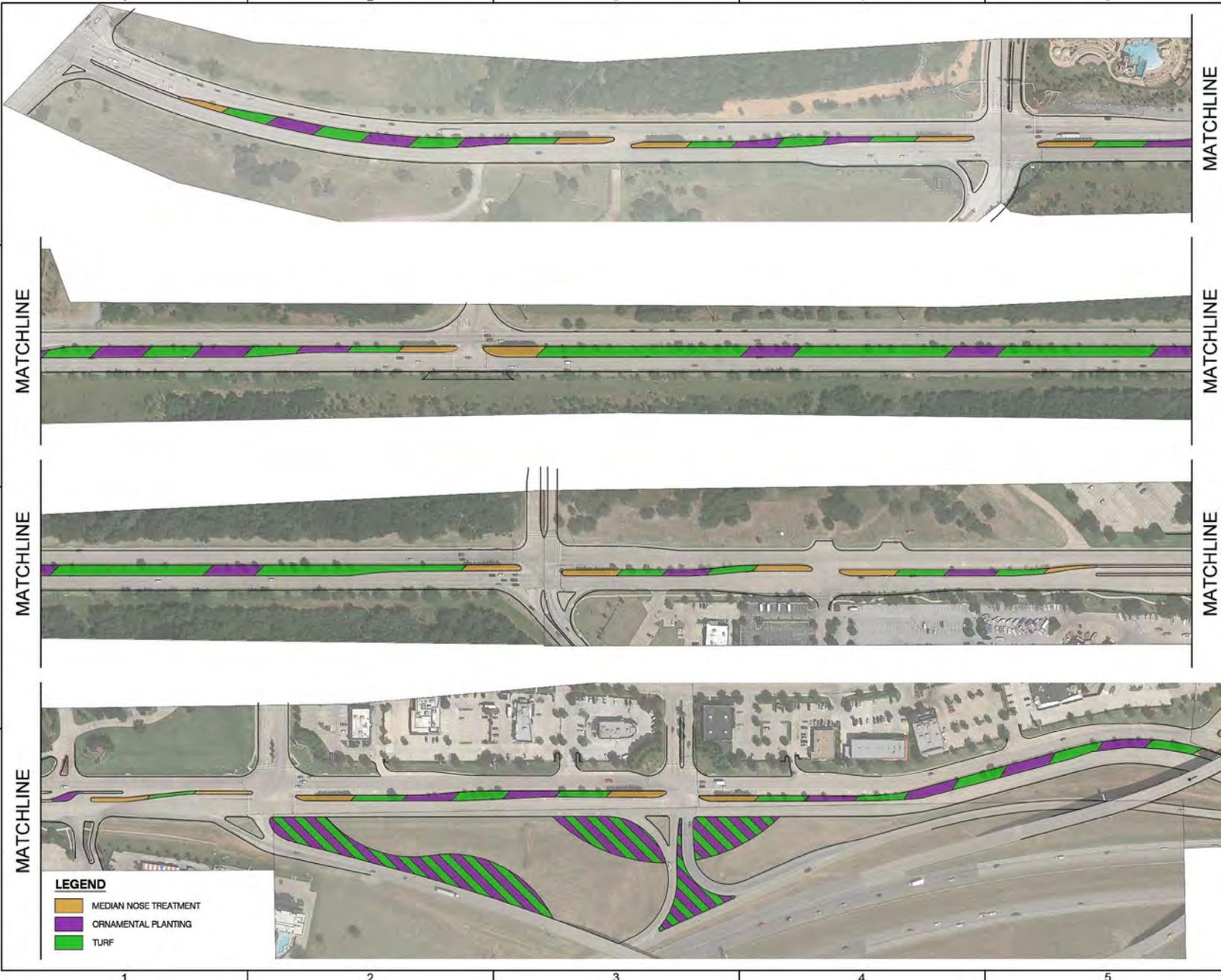
GRAPEVINE GATEWAYS & LANDSCAPE ENHANCEMENTS -

Zone Map & Project Locations



MAY 2019

FILE NAME: X:\PENDING PROJECT NUMBERS\01_SRA\Grapevine\TOD Green Ribbon - Ph VI\Draw Files - Bldg 2\SLP\000000000.dwg LAYOUT NAME: Layout1 PRINTED: Wednesday, May 15, 2019 - 1:50pm USER: estrasser



THIS DOCUMENT IS RELEASED ON MAR 29, 2019 FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF CLINT WOFFORD, R.L.A. TEXAS LICENSE #1979. IT IS NOT TO BE USED FOR REGULATORY APPROVAL, CONSTRUCTION, BIDDING OR PERMIT PURPOSES. PARKHILL, SMITH & COOPER, INC.

**PHASE VI
 SCHEMATIC PLAN**

**CITY OF GRAPEVINE
 GREEN RIBBON PROJECT**



**STATE HWY 26 FROM TEXAS TRAIL
 TO STATE HWY 121 FRONTAGE RD
 LANDSCAPE ENHANCEMENTS**

KEY PLAN



NO. DATE DESCRIPTION PROJECT NO. 8311 12
 ISSUING OFFICE: ARLINGTON

Texas Department of Transportation © 2006			
DRAWN:	SCALE:		
CHECKED:	PSC JOB NO.:		
FED. RD. DIST. NO.	FEDERAL AND PROJECT NO.		
6			
STATE:	DIST:	COUNTY:	HIGHWAY NO.:
TEXAS	FTW	TARRANT	HWY 26
CONTROL	SECTION	JOB	SHEET NO.
			01

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 15, 2019

SUBJECT: APPROVAL OF A CONTRACT WITH BYRNE CONSTRUCTION SERVICES FOR THE CONSTRUCTION OF FIRE STATIONS 2 AND 3

RECOMMENDATION: City Council to consider a contract for a Guaranteed Maximum Price with Byrne Construction Services for the construction of Fire Stations 2 and 3 and an ordinance appropriating funds.

FUNDING SOURCE: Upon approval, funds will be available in the Capital Projects General Facilities Fund 177 for an amount not to exceed \$13,132,130 for construction and \$16,000,000 total.

BACKGROUND: The new construction of Fire Stations 2 and 3 will provide up to date facilities for decades to come.

Fire Station 2 opened in 1981 and Fire Station 3 opened in 1982. Both stations had approximately 3,000 square feet of space which included bays at each station for three fire apparatus. As the fire apparatus has changed, the bay is barely sufficient for two modern-day apparatus. The current living quarters do not provide separate bathroom and shower areas for male and female firefighters.

Staff did a RFP for a Construction Manager at Risk (CMAR) and interviewed three firms over a year ago. Staff chose and has been working with Byrne Construction Services for some time along with architects Brown, Reynolds, Watford Architects (BRW). With completion of design and construction document phases, Byrne Construction Services has submitted a Guaranteed Maximum Price (GMP) to construct both new fire stations.

In November 2017, the citizens passed a General Obligation Bond Proposal, in the amount of \$16,000,000 for the purpose of constructing two new replacement fire stations. The construction budget for Station 2 is \$6,803,573 and the construction budget for Station 3 is \$6,328,556. If approved, the sum of the construction, architect, and all other related costs and fees is within the originally planned budget of \$16,000,000.

The staff from Brown, Reynolds, Watford Architects, Byrne Construction Services, and the City have worked diligently over the last several months to refine the costs and remain within the project budget.

Staff recommends approval.

DB

ORDINANCE NO. 2019-064

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS; APPROPRIATING \$16,000,000 IN THE CAPITAL PROJECT FUND 177 FOR THE PURPOSE OF DESIGNING, CONSTRUCTING, IMPROVING, RENOVATING, EXPANDING, EQUIPPING AND FURNISHING NEW FIRE STATION NO. 2 AND NEW FIRE STATION NO. 3 AND THE ACQUISITION OF LAND; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City Council of the City of Grapevine desires to design and construct new fire station No. 2 and new fire station No. 3 fulfilling the desires of the City of Grapevine voters; and

WHEREAS, the City of Grapevine voters approved the November 7, 2017 Bond Election in part for new fire station No. 2 and new fire station No. 3; and

WHEREAS, the City's Council approved a reimbursement resolution in part for new fire station No. 2 and new fire station No. 3 on May 1, 2018; and

WHEREAS, the City sold the GO Refunding and Improvement Bonds Series 2019 on June 04, 2019 in part for \$16,000,000 to design, construct, improve, renovate, expand, equip and furnish new fire station No. 2 and new fire Station No. 3 and the acquisition of land; and

WHEREAS, the City desires to appropriate \$16,000,000 in the Capital Project Fund 177 for the purpose of designing, constructing, improving, renovating, expanding, equipping and furnishing new fire station No. 2 and new fire station No. 3 and the acquisition of land; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this ordinance is in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated herein above are true and correct and are incorporated herein by reference, as if copied in their entirety.

Section 2. That the City Council hereby appropriates the funding.

Section 3. That the City Council hereby authorizes an amount of \$16,000,000 to be appropriated.

Section 4. That the terms and provisions of this ordinance shall be deemed to be severable, and that if the validity of any section, subsection, word, sentence or phrase shall be held to be invalid, it shall not affect the remaining part of this ordinance.

Section 5. The fact that the present ordinances and regulations of the City of Grapevine, Texas are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the public creates an emergency which requires that this ordinance become effective from and after the date of its passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of October, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Shawna Barnes
Assistant City Secretary

APPROVED AS TO FORM:

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER **BR**

MEETING DATE: OCTOBER 15, 2019

SUBJECT: APPROVAL FOR THE PURCHASE AND CONTRACT INSTALLATION OF LED CHRISTMAS LIGHTS ON SOUTH MAIN BETWEEN DALLAS ROAD AND STATE HIGHWAY 114

RECOMMENDATION: City Council to consider approval for the purchase and installation of LED tree lighting on South Main Street between Dallas Road and State Highway 114 from IlluminArt Inc.

FUNDING SOURCE: Funds are available in CVB account 115, for a total amount not to exceed \$28,000.

BACKGROUND: This purchase and installation of warm white LED lights would illuminate approximately 83 trees on the east and west side of South Main street with an estimated 58,500 lights, heavily wrapped 10 - 12' high in trees along the sidewalk.

The quote from IlluminArt Inc. allows for the purchase and installation of LED lights. Once the installation of the lights is complete and the final need for battery packs or outlets is assessed, staff will utilize the remainder of the budgeted amount in the account for the purchase of those items.

The quotes received are as follows:

IlluminArt Inc. \$22,480
First Choice Lights \$28,200
I'm Your Handyman Services \$29,835

The 2019 installation represents the first phase of a three-year program. During 2020, additional enhancements will be added to signify the opening of Grapevine Main. In 2021 the final phase of enhancements will be presented to Council for consideration.

Enhancing South Main Street has been the desire of Council for some time, but resources had not been available. Resources are now available in the new budget year.

Staff recommends approval.

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 15, 2019

SUBJECT: APPROVAL FOR THE PURCHASE OF FIBERGLASS CHRISTMAS DECORATIONS

RECOMMENDATION: City Council to consider approval for the purchase of fiberglass Christmas decorations from Arnett Marketing, LLC for the Grapevine Convention & Visitors Bureau.

FUNDING SOURCE: Upon approval, funds are available in the CVB fund, account 115-42200-350-001 (Operating Supplies) for a total amount not to exceed \$36,792.

BACKGROUND: This purchase is for large ornaments for the State Highway 26 corridor from Grapevine Mills Mall to Texan Trail.

This purchase will be made in accordance with an existing interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to Arnett Marketing, LLC . The Parks and Recreation, CVB and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would best meet the needs of the City.

Staff recommends approval.

TS/LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 15, 2019

SUBJECT: APPROVAL TO RENEW AN ANNUAL CONTRACT FOR ENTERPRISE SOURCING SERVICES

RECOMMENDATION: City Council to consider the renewal of an annual contract for enterprise sourcing services with Ion Wave Technologies, Inc. for the Fiscal Services Department.

FUNDING SOURCE: Funds are available in the General Fund, Fiscal Services budget (100-44500-105-000) for an amount not to exceed \$21,700.

BACKGROUND: The Ion Wave enterprise sourcing package automates the process of creating, issuing, awarding bids and managing contracts. By leveraging the system's libraries, templates, and importing capabilities, the procurement function benefits from increased speed, automated auditing, and the elimination of redundant data entry. It also increases vendor participation in the bid process.

This contract is with Ion Wave Technologies, Inc. for eProcurement and contract management services and if approved, this will be the third renewal with one renewal remaining.

Staff recommends approval.

LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 15, 2019

SUBJECT: APPROVAL TO RENEW ANNUAL CONTRACTS FOR POST-65 RETIREE HEALTH INSURANCE

RECOMMENDATION: City Council to consider approval to renew annual contracts with Aetna Inc. and Group Administrative Concepts for post-65 retiree health insurance.

FUNDING SOURCE: Funds are available in Retiree Health Premium accounts 100-45670-109-001, 115-45670-350-001, 117-45670-209-002, 200-45670-533-001 and 210-45670-340-001 in the annual estimated amount of \$670,000.

BACKGROUND: The City of Grapevine retirees age 65 and over (Medicare eligible) currently have the option of a Medicare Advantage PPO (Part C) and Medicare Rx Plan (part D) with Aetna or a Medicare supplement (Part F) and Medicare Rx Plan (Part D) with Group Administrative Concepts. Both policies provide services and programs beyond the coverage of original Medicare. Retiree premiums for these plans are partially subsidized by the City. This contract will renew both policies.

Request for proposals were taken in accordance with Texas Local Government Code Chapter 252.022. The RFP public notice was placed in the Fort Worth Star-Telegram on August 23 and 30, 2016. The contract was for one year with four optional, one year renewals. If approved, this will be the third renewal option.

Staff recommends approval.

MH/GJ

**City of Grapevine
Summary of Medicare Advantage Renewal
January 1, 2020**

ITEM # 13

Plan Provision:	Current				Renewal - Including HIF			
	Aetna				Aetna			
	ESA PPO 4		ESA PPO 3		ESA PPO 4		ESA PPO 3	
	In-Net	Non-Net	In-Net	Non-Net	In-Net	Non-Net	In-Net	Non-Net
Network Deductible	\$0	N/A	\$150	\$150	\$0	\$0	\$150	\$150
Member Coinsurance	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Out-of-Pocket Max (incl. ded.)	\$0	\$0	N/A	N/A	\$0	\$0	N/A	N/A
Combined OOP Max (incl. ded.)	\$0		\$1,000		\$0		\$1,000	
Preventive	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
PCP/Specialist OV	\$0	\$0	4%	4%	\$0	\$0	4%	4%
Urgent Care	\$0	\$0	\$25	\$25	\$0	\$0	\$25	\$25
Emergency Care	\$0	\$0	\$65	\$65	\$0	\$0	\$65	\$65
Ambulance	\$0	\$0	4%	4%	\$0	\$0	4%	4%
Hospital, Inpatient	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Hospital, Outpatient	\$0	\$0	4%	4%	\$0	\$0	4%	4%
Skilled Nursing Facility (max 100 days/pd)								
Days 1-10	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Days 11-20	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Days 21-100	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Home Health	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Outpatient Rehab	\$0	\$0	4%	4%	\$0	\$0	4%	4%
Chiropractic	\$0	\$0	4%	4%	\$0	\$0	4%	4%
DME/Prosthetic Devices	\$0	\$0	4%	4%	\$0	\$0	4%	4%
Complex Imaging	\$0	\$0	4%	4%	\$0	\$0	4%	4%
Podiatry	\$0	\$0	4%	4%	\$0	\$0	4%	4%
RX Deductible	\$0		\$0		\$0		\$0	
RX Cost Sharing	Retail	Mail (up to 90)	Retail	Mail (up to 90)	Retail	Mail (up to 90)	Retail	Mail (up to 90)
Tier 1 Preferred Generic	\$5	\$10	\$5	\$10	\$5	\$10	\$5	\$10
Tier 3 Preferred Brand	\$40	\$80	\$40	\$80	\$40	\$80	\$40	\$80
Tier 4 Non-Preferred Brand	\$75	\$150	\$75	\$150	\$75	\$150	\$75	\$150
Tier 5 Generic Specialty	33%	33%	33%	33%	33%	33%*	33%	33%*
Tier 5 Specialty	33%	33%	33%	33%	33%	33%*	33%	33%*
	2019 - Cost share after \$3,820				2020 - Cost share after \$4,020			
Tier 1 Preferred Generic	\$5	\$10	\$5	\$10	\$5	\$10	\$5	\$10
Tier 3 Preferred Brand	\$40	\$80	\$40	\$80	\$40	\$80	\$40	\$80
Tier 4 Non-Preferred Brand	\$75	\$150	\$75	\$150	\$75	\$150	\$75	\$150
Tier 5 Generic Specialty	33%	33%	33%	33%	33%	33%*	33%	33%*
Tier 5 Specialty	33%	33%	33%	33%	33%	33%*	33%	33%*
	2019 - RX Cost Sharing after \$5,100 OOP				2020 - RX Cost Sharing after \$6,350 OOP			
Generic	> of \$3.40 or 5%		> of \$3.40 or 5%		> of \$3.60 or 5%		> of \$3.60 or 5%	
All others	> of \$8.50 or 5%		> of \$8.50 or 5%		> of \$8.95 or 5%		> of \$8.95 or 5%	
Step Therapy	Yes		Yes		Yes		Yes	
Precertification	Yes		Yes		Yes		Yes	
	Current				Renewal			
Total Enrollment	55		5		55		5	
Retiree Only	\$333.95		\$273.37		\$376.08		\$312.66	
Total Monthly	\$18,367.25		\$1,366.85		\$20,684.40		\$1,563.30	
Total Annual	\$236,809.20				\$266,972.40			
\$ difference	—				\$30,163.20			
% difference (Combined Total)	—				13%			

*Limited to 30 day supply
Part D is illustrative
Mail Order is through CVS Caremark as of 5/1/2019
If Health Insurer fee (HIF) removed through legislation-would be 3% increase
Must provide renewal decision before 10/1/19 or policy will automatically renew



**City of Grapevine
Summary of Medicare Supplement Renewal
January 1, 2020**

Plan Provision:	Current				Renewal			
	United American		Hartford		United American		Hartford	
	Plan 1	Plan 2	Plan 1	Plan 2	Plan 1	Plan 2	Plan 1	Plan 2
	In-Net	Non-Net	In-Net	Non-Net	In-Net	Non-Net	In-Net	Non-Net
Network Deductible	\$0	N/A	\$200	200	\$0	N/A	\$200	200
Combined In- & Non-net Deductible	N/A	\$0	N/A	N/A	N/A	\$0	N/A	N/A
Member Coinsurance	0%	0%	N/A	N/A	0%	0%	N/A	N/A
Out-of-Pocket Max (incl. ded.)	\$0	\$0	N/A	N/A	\$0	\$0	N/A	N/A
Combined OOP Max (incl. ded.)	N/A	\$0		\$1,000	N/A	\$0		\$1,000
Preventive	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
PCP/Specialist OV	\$0	\$0	4%	4%	\$0	\$0	4%	4%
Urgent Care	\$0	\$0	4%	4%	\$0	\$0	4%	4%
Emergency Care	\$0	\$0	4%	4%	\$0	\$0	4%	4%
Ambulance	\$0	\$0	4%	4%	\$0	\$0	4%	4%
Hospital, Inpatient	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Hospital, Outpatient	\$0	\$0	\$183	\$183	\$0	\$0	\$183	\$183
Skilled Nursing Facility (max 100 days/pd)								
Days 1-10	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Days 11-20	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Days 21-100	>\$164.50	>\$164.50	\$0	\$0	>\$164.50	>\$164.50	\$0	\$0
Home Health	\$0	\$0	100%	100%	\$0	\$0	100%	100%
Outpatient Rehab	\$0	\$0	4%	4%	\$0	\$0	4%	4%
Chiropractic	\$0	\$0	4%	4%	\$0	\$0	4%	4%
DME/Prosthetic Devices	\$0	\$0	4%	4%	\$0	\$0	4%	4%
Complex Imaging	\$0	\$0	4%	4%	\$0	\$0	4%	4%
Podiatry	\$0	\$0	4%	4%	\$0	\$0	4%	4%
RX Deductible	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
RX Cost Sharing	Retail	Mail (up to 90)	Retail	Mail (up to 90)	Retail	Mail (up to 90)	Retail	Mail (up to 90)
Tier 1 Preferred Generic	\$5	\$10	\$5	\$10	\$5	\$10	\$5	\$10
Tier 2 Non-Preferred Generic	\$5	\$10	\$5	\$10	\$5	\$10	\$5	\$10
Tier 3 Preferred Brand	\$40	\$80	\$40	\$80	\$40	\$80	\$40	\$80
Tier 4 Non-Preferred Brand	\$75	\$180	\$75	\$180	\$75	\$180	\$75	\$180
Tier 5 Specialty	33%	33%	33%	33%	33%	33%	33%	33%
	2019 - Cost share after \$3,820				2020 - Cost share after \$4,020			
Tier 1 Preferred Generic	\$5	\$10	\$5	\$10	\$5	\$10	\$5	\$10
Tier 2 Non-Preferred Generic	\$5	\$10	\$5	\$10	\$5	\$10	\$5	\$10
Tier 3 Preferred Brand	\$40	\$80	\$40	\$80	\$40	\$80	\$40	\$80
Tier 4 Non-Preferred Brand	\$75	\$150	\$75	\$150	\$75	\$150	\$75	\$150
Tier 5 Generic Specialty	33%	33%	33%	33%	33%	33%	33%	33%
Tier 5 Specialty	33%	33%	33%	33%	33%	33%	33%	33%
	2019 - RX Cost Sharing after \$5,100 OOP				2020 - RX Cost Sharing after \$6,350 OOP			
Generic	> of \$3.35 or 5%		> of \$3.35 or 5%		> of \$3.35 or 5%		> of \$3.35 or 5%	
All others	> of \$8.35 or 5%		> of \$8.35 or 5%		> of \$8.35 or 5%		> of \$8.35 or 5%	
Step Therapy	Yes		Yes		Yes		Yes	
Recertification	Yes		Yes		Yes		Yes	
	Current				Renewal			
Total Enrollment	87		3		87		3	
Retiree Only	\$364.00		\$339.00		\$368.00		\$339.00	
Total Monthly	\$31,668.00		\$1,017.00		\$32,016.00		\$1,017.00	
Total Annual	\$392,220.00				\$396,396.00			
\$ difference	---				\$4,176.00			
% difference (Combined Total)	---				1%			

Disclaimer

The following summary of coverages is to be used only as an overview of each policy written and in no way should it be used, nor is intended to be used, as a substitute for the original policy provisions. It has been prepared as a guideline for your reference only.

The policy/policies contain conditions, limitations and exclusions which may affect or limit coverage to be provided and should be reviewed by the insured to verify that coverage has been written as requested.

All of the information contained in this proposal is subject to the terms, conditions and limitations contained in the policies. Values are based on information provided by the client.

THIS DOCUMENT IS PROPRIETARY, CONFIDENTIAL AND/OR PRIVILEGED AND IS INTENDED TO BE REVIEWED ONLY BY THE INDIVIDUAL AND/OR ENTITY TO WHICH IT IS ADDRESSED. IF YOU ARE NOT THE INTENDED RECIPIENT OR A REPRESENTATIVE OF THE INTENDED RECIPIENT, YOU ARE HEREBY NOTIFIED THAT ANY REVIEW, COPYING, DISCLOSURE AND/OR DISSEMINATION OF THIS DOCUMENT OR THE INFORMATION CONTAINED HEREIN IS PROHIBITED.

McGRIFF, SEIBELS & WILLIAMS, INC. COMPENSATION STATEMENT

Our principal remuneration for the placement and service of your insurance policy(ies) will be by commission (a proportion of the premium paid that is allowed to us by the insurance company(ies)) and/or a mutually agreed fee.

You should be aware that we may receive additional income from the following sources:

- Interest or Investment Income earned on insurance premiums.**
- Expense Allowances or Reimbursements from insurance companies and other vendors for (a) educational and professional development programs; (b) managing and administering certain binding authorities and other similar facilities, including claims which may arise; and (c) attendance at insurance company meetings and events; all of which we believe enable us to provide more efficient service and competitive terms to those clients for whom we consider the use of such facilities appropriate.**
- Tier II Commission (sometimes referred to as “extra compensation”) is exclusive to the placement of employee benefits insurance and is based on premium volume of new business and/or premium retention.**
- Contingent Commission (sometimes referred to as “profit sharing”) which can be based on profitability, premium volume, premium retention, and/or growth. If any part of your account is on a fee basis, we will not accept contingent commissions related to your account.**

If you have questions or desire additional information about remuneration and other income, please contact your Agent who will put you in touch with our Chief Risk Manager for assistance. If any part of your insurance program is placed through any BB&T-owned companies (including retail insurance brokers BB&T Insurance Services, Inc. and BB&T Insurance Services of California, Inc.; wholesale insurance brokers CRC Insurance Services, Inc. and Crump Life Insurance Services, Inc.; managing general underwriter AmRisc, LP; insurance premium finance company, Prime Rate Premium Finance Corporation, Inc. or affiliates; or BB&T Assurance Company, Ltd.) disclosure of that income will also be included.

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 15, 2019

SUBJECT: RETIREE HEALTH CARE PLAN TRUST TRANSFER OF FUNDS AND APPROPRIATION ORDINANCE

RECOMMENDATION: City Council to consider the appropriation and transfer of funds to Public Agencies Retirement Services (PARS) for the purpose of funding retiree healthcare through the City's Other Post Employment Benefits (OPEB) Trust.

FUNDING SOURCE: Upon approval of the attached appropriation ordinance, funding for this program will be available from the fund balance assigned in the General Fund for the purpose of funding the OPEB trust in the amount of \$500,000.

BACKGROUND: Government Accounting Standards Board Statement 75 (GASB 75), requires the City to account for its OPEB costs, which include the City's retiree healthcare and death related benefits. In order to establish a funding source for the future costs, an OPEB trust was established as part of the City's program of benefits. This not only provides a funding source for retiree health care benefits, it also strengthens the City's overall financial position by helping to offset the liability. The stronger financial position has had a positive impact on the bond program by enhancing the City's credit worthiness and bond rating.

The City has access to the trust funds at any point in time to pay for retiree healthcare costs. This action increases the formal reserve fund for retiree health care, and it provides a positive balance to offset the long-term reportable liability required by GASB.

On October 18, 2016, the City Council approved a resolution to adopt the PARS Post-Retirement Health Care Plan Trust, and funded the first \$500,000 contribution. Since then, additional contributions of \$500,000 were made in FY 2017 and FY 2018. If approved, this will be the fourth appropriation and transfer.

This action will have no impact on the General Fund's unassigned fund balance. During the FY18 audit, funds previously designated for this purpose were recorded and restricted in the General Fund reserve specifically for this purpose, and therefore there is no impact on the unrestricted fund balance. The accounting change was done in collaboration with the external auditor and is best practice.

Staff recommends approval.

MH/GJ

ORDINANCE NO. 2019-065

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, APPROPRIATING \$500,000.00 FROM THE FUND BALANCE ASSIGNED IN THE GENERAL FUND FOR THE PURPOSE OF FUNDING THE OPEB TRUST; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City Council of the City of Grapevine desires to participate in the PARS Public Agencies Post-Retirement Health Care Plan Trust (the "Program") to fund post-employment benefits for its employees; and

WHEREAS, the City is eligible to participate in the Program, a tax-exempt trust and plan performing an essential governmental function within the meaning of Section 115 of the Internal Revenue Code; and

WHEREAS, the City's adoption and operation of the Program has no effect on any current or former employee's entitlement to post-employment benefits; and

WHEREAS, the City's funding of the Program does not, and is not intended to, create any new vested right to any benefit nor strengthen any existing vested right; and

WHEREAS, the City desires to appropriate and transfer \$500,000.00 to PARS for the purpose of funding the Trust; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this ordinance to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated herein above are true and correct and are incorporated herein by reference, as if copied in their entirety.

Section 2. That the City Council hereby appropriates the funding.

Section 3. That the City Council hereby authorizes an amount of \$500,000.00 to be appropriated.

Section 4. The fact that the present ordinances and regulations of the City of Grapevine, Texas are inadequate to properly safeguard the health, safety, morals, peace

and general welfare of the public creates an emergency which requires that this ordinance become effective from and after the date of its passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of October, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Shawna Barnes
Assistant City Secretary

APPROVED AS TO FORM:

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 15, 2019

SUBJECT: APPROVAL TO RENEW AN ANNUAL CONTRACT FOR RAILROAD LIABILITY AND PHYSICAL DAMAGE INSURANCE

RECOMMENDATION: City Council to consider the renewal of annual contracts for railroad liability and physical damage insurance coverage with Westchester Insurance Company and RLI Insurance Company.

FUNDING SOURCE: Funds are available in the CVB budget (various accounts) in the estimated annual amount of \$156,000.

BACKGROUND: The City of Grapevine is fully-insured for railroad liability and physical damage insurance.

The City's consultant Hub International Insurance Services (HUB) secured competitive pricing for the renewal of these policies.

Westchester Insurance will provide a coverage limit for liability of \$25,000,000 which is the City's required coverage per DART contract. RLI will provide \$2,000,000 in physical damage insurance coverage for the train cars.

City staff reviewed the proposals provided by HUB International and determined that Westchester and RLI would provide the best policies, pricing and service for meeting the needs of the City.

These are one-year contracts.

Staff recommends approval.

MH/GJ

Railroad Protective Liability

Carrier: Westchester Fire Insurance Company
 A.M. Best Rating: A++ XV
 Policy Term: 10/1/2019 to 10/1/2020

Coverage Description- Excursion Railroad Liability –Occurrence	Limits
Each Occurrence	\$25,000,000
General Aggregate	\$50,000,000
Products/Completed Operations Aggregate	\$50,000,000
Personal Injury/Advertising Injury	\$25,000,000
Medical Payments	\$5,000
Damage to Premises Rented by You	\$100,000
Liquor Liability-Each Occurrence	\$3,000,000
Liquor Liability –Aggregate	\$6,000,000
Deductibles	\$15,000 Per Occurrence \$25,000 Per Occurrence Liquor Liability

Estimated Exposure: Based on \$2,100,000 of projected ticket revenues

Rate: Flat Per \$100 of ticket revenue

ADDITIONAL TERMS AND CONDITIONS

Forms(s):

GLE0194 (09/13)	Ace Tracks Excursion Railroad Liability Insurance Policy
GLE0241 (05/15)	Additional Insured Railroad Operations Endorsement - Scheduled Additional Insureds
GLE0034 (01/99)	Named Insured - Amended - Grapevine Vintage Railroad City of Grapevine
GLE0235 (10/14)	City of Grapevine Convention & Visitors Bureau Liquor Liability Coverage Form - \$10,000 Per Occurrence \$25,000 Per Occurrence - Liquor Liability
GLE0246 (09/15)	Sunrise Endorsement - Covers occurrences that first took place after 11/30/2001 and before 11/30/2013 (the sunrise period)
ALL-21101 (11/06)	Trade Or Economic Sanctions Endorsement
IL P 001 (01/04)	U.S. Treasury Department's Office Of Foreign Assets Control ("OFAC") Advisory Notice To Policyholders

Railroad Physical Damage

Carrier: RLI Insurance Company
 A.M. Best Rating: A+ XI
 Policy Term: 10/1/2019 to 10/1/2020

RAILROAD ROLLING STOCK AND MOBILE EQUIPMENT

Coverage Description	Limits
All Covered Property	\$1,935,900
All Covered Property in any one Occurrence	\$1,935,900
Business Income / Extra Expense	\$150,000
Deductibles:	
Per Locomotive	\$25,000
Per Car	\$10,000 subject to \$25,000 any One Occurrence

Business Income Based on \$2,100,000 In Annual Revenue
 VALUATION: Actual Cash Value

Premium Summary

Description Of Coverage	Prior Year Premium	Current Premium
Railroad Liability	\$124,950	\$140,034
Railroad Physical Damage	\$12,992	\$15,860
Total Estimated Annual Premium*	\$137,942	\$155,894

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 15, 2019

SUBJECT: RENEWAL OF INTERLOCAL AGREEMENT FOR TEEN COURT

RECOMMENDATION: City Council to consider renewal of an Interlocal Agreement with the Cities of Colleyville, Southlake and Keller for the Metroport Teen Court program.

FUNDING SOURCE: Funds are available in Municipal Court Professional Services account 100-44540-107-001 in the amount of \$36,000.

BACKGROUND: City Council authorization for participation in the Teen Court program occurred on August 16, 1994 and the program began operations on September 1, 1994 as the CGS (Colleyville, Grapevine, Southlake) Teen Court. The program now includes Keller and is referred to as Metroport Teen Court. Teen Court is a volunteer program which provides juvenile misdemeanor offenders an alternative to the Criminal Justice System. Kristin McGrail is the Teen Court Coordinator. Historical activity for the Metroport Teen Court is attached.

Staff recommends approval.

MEMORANDUM

August 21, 2019

TO: Cindy Eteaki, Court Manager, City of Grapevine

FROM: Kristin McGrail, Southlake Court Manager/ Teen Court Coordinator

SUBJECT: Approval of the Metroport Teen Court 2019-2020 Interlocal

Attached is the 2019-2020 Teen Court Interlocal for your review. The City of Southlake is grateful for Grapevine's contribution of \$36,000 and its continued support of the Metroport Teen Court program. The operating budget includes supplies and training materials plus staff.

Metroport Teen Court currently reports an 87% rate of successful completion, as compared to the North Texas average of 75%. Questions on these data may be directed to Kristin McGrail at kmcgrail@ci.southlake.tx.us.

Historical Activity for the Metroport Teen Court as listed below:

<u>Year</u>	<u>Total Referrals</u>	<u>Grapevine Referrals</u>
1996-1997	694	157
1997-1998	775	264
1998-1999	534	207
1999-2000	571	189
2000-2001	583	155
2001-2002	633	234
2002-2003	817	283
2003-2004	1061	317
2004-2005	958	242
2005-2006	1212	339
2006-2007	1239	368
2007-2008	1139	449
2008-2009	1151	428
2009-2010	1064	370
2010-2011	1024	223
2011-2012	1062	250
2012-2013	914	223
2013-2014	773	162
2014-2015	760	148
2015-2016	761	134
2016-2017	717	151
2017-2018	638	109
2018-2019	495	111

*Numbers are calculated as of 8/21/19 and not the entire fiscal year.

Metroport Teen Court Proposed Budget 2020

ITEM # 16

<u>Line Item</u>	<u>FY20 Projections</u>	<u>Colleyville</u>	<u>Grapevine</u>	<u>Keller</u>	<u>Southlake</u>
Regular Earnings/Benefits *	\$120,000	\$30,000	\$30,000	\$30,000	\$30,000
Contract Labor - Security **	\$12,000	\$3,000	\$3,000	\$3,000	\$3,000
Overtime/Part-time staffing	\$5,000	\$1,250	\$1,250	\$1,250	\$1,250
Software/Hardware	\$1,000	\$250	\$250	\$250	\$250
Supplies/Equipment - Office	\$1,000	\$250	\$250	\$250	\$250
Postage	\$500	\$125	\$125	\$125	\$125
Printing	\$1,000	\$250	\$250	\$250	\$250
Licenses/Professional Memberships	\$100	\$25	\$25	\$25	\$25
Travel Conf Meals	\$550	\$55	\$55	\$55	\$385
Mileage	\$1,200	\$300	\$300	\$300	\$300
Registration (Training/Certifications)	\$2,250	\$325	\$325	\$325	\$1,275
Travel/Lodging	\$750	\$150	\$150	\$150	\$300
Pre-employment Phys	\$80	\$20	\$20	\$20	\$20
Total	\$145,430	\$36,000	\$36,000	\$36,000	\$37,430

* This amount includes (2) full time employees plus benefits as well as partial salaries for 2 additional employees.

** Includes 2 uniformed officers for security detail each Tuesday evening for Teen Court sessions.

INTERLOCAL AGREEMENT

AMONG

**CITY OF COLLEYVILLE, CITY OF GRAPEVINE, CITY OF KELLER,
AND CITY OF SOUTHLAKE**

This Interlocal Agreement (“Agreement”), entered into effective on the 1st day of October, 2019, by and among the City of Colleyville, the City of Grapevine, City of Keller, and the City of Southlake, all municipal corporations of the State of Texas (herein called “Cities” or “each participating City”), the parties acting herein under the authority and pursuant to the terms of Chapter 791, INTERLOCAL COOPERATION CONTRACTS, Texas Government Code, **WITNESSETH THAT:**

WHEREAS, the City Councils of the Cities of Colleyville, Grapevine, Keller, and Southlake jointly find that it will be in the publics’ best interest to enter into this Agreement for the purposes set forth herein below.

NOW, THEREFORE, it is mutually agreed between each participating City that:

1. Teen Court is a volunteer program which allows juvenile misdemeanor offenders an alternative to the criminal justice system while allowing them also to assume responsibility for their own actions through their involvement in the judicial process and community services in order that their offenses will not be recorded as a conviction on their driving record. Bringing juvenile offenders to a jury of their peers and to the community for constructive punishment will provide the juveniles with an understanding of the judicial system and a realization of their roles and responsibilities in the community.

2. The community will benefit from this interaction in that, through Teen Court, the community is afforded a unique opportunity to become involved in the education of juvenile offenders and will benefit from the community services provided to the community by the juvenile offenders.

3. A Teen Court Advisory Board shall be appointed by the respective governing bodies comprised of two (2) members at large from each participating City and one (1) city council member from each participating City as each so chooses all of whom are voting members. The role and duties of the Teen Court Advisory Board shall be established by the

Municipal Court Judges in the participating Cities.

4. The name of the program established by this Agreement shall be the “METROPORT Teen Court Program.” The City of Southlake shall employ teen court staff to administer and coordinate the activities of the METROPORT Teen Court Program, under the direction of the Southlake Municipal Court Manager.

5. This Agreement shall be executed in separate counterparts for each participating city, which counterparts shall be valid and binding as if the original. Each participating city, as its contribution for participating in the METROPORT Teen Court Program, shall pay to the City of Southlake \$36,000.00 (“Service Fee”) upon such participating City’s execution of this Agreement. It is expressly agreed that such payment fairly compensates the City of Southlake for the performance of services contemplated under this Agreement. Each participating City shall make this payment from current revenues available to that City.

6. The scope of responsibilities of the Teen Court Staff shall be established by the City of Southlake.

7. The term of this Agreement shall be for a period of (12) twelve months beginning October 1, 2019, and ending September 30, 2020. If the parties have failed to adopt a new Agreement by the expiration date of this Agreement, this Agreement shall be deemed to continue on the same terms and conditions until such time as the new Agreement is adopted for the ensuing year, unless any party terminates its participation in this Agreement as provided below. In such event, this Agreement shall continue in effect until either the City of Southlake or all other participating Cities have terminated this Agreement. Upon renewal or continuation of this Agreement, each participating City shall pay the Service Fee to the City of Southlake for the ensuing year.

8. Any party hereto may terminate its participation in this Agreement without recourse or liability upon thirty (30) days written notice to the other party.

9. By execution of this Agreement, each party represents to the other that:

- a. In performing its duties and obligations hereunder, it will be carrying out one or more governmental functions or services which it is

authorized to perform; and

- b. The undersigned officer or agent of the party has been properly authorized by that party's governing body to execute this Agreement and that any necessary resolutions extending such authority have been duly passed and are now in effect.
11. This Agreement is made pursuant to Chapter 791 and Subchapter E, Chapter 418, Texas Government Code. It is agreed that in the execution of this Agreement, no party waives any immunity or defense that would otherwise be available to it, against claims arising from the exercise of governmental powers and functions.

ATTEST:

_____ City Secretary, City of Colleyville	_____ Date	_____ Mayor, City of Colleyville	_____ Date
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_____ City Secretary, City of Grapevine	_____ Date	_____ Mayor, City of Grapevine	_____ Date
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_____ City Secretary, City of Keller	_____ Date	_____ Mayor, City of Keller	_____ Date
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_____ City Secretary, City of Southlake	_____ Date	_____ Mayor, City of Southlake	_____ Date
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Approved as to form and legality:

City Attorney, City of Colleyville

City Attorney, City of Grapevine

City Attorney, City of Keller

City Attorney, City of Southlake

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 15, 2019

SUBJECT: APPROVAL TO RENEW AN ENTERPRISE LICENSE AGREEMENT FOR GEOGRAPHIC INFORMATION SOFTWARE

RECOMMENDATION: City Council to consider approval to renew an annual Enterprise License Agreement for Geographic Information Systems Software with Esri, Inc.

FUNDING SOURCE: Funding for this purchase is available in the Utility Fund (200-44500-533-001) in an amount not to exceed \$50,000.00.

BACKGROUND: This request is to renew an Enterprise License Agreement to support the software modules that operate as part of the City's Enterprise Geographic Information System. Populations of 50,001 to 100,000 fall under the Small Government Enterprise License Agreement (SGELA) Tier III costing a total of \$50,000 per year. This contract will provide software licensing, upgrades, and technical support to the GIS system. Esri is the sole source provider of maintenance for this software.

This procurement will be a sole source contract in accordance with Local Government Code Chapter 252, Subchapter B, Section 252.022 (a) (7) (A) as approved by City Council in October of 2006.

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 15, 2019

SUBJECT: APPROVAL FOR THE PURCHASE AND INSTALLATION OF PLAYGROUND EQUIPMENT FOR PARKWOOD PARK

RECOMMENDATION: City Council to consider approval for the purchase and installation of playground equipment for Parkwood Park from Playground Solutions of Texas, Inc. for the Parks and Recreations Department.

FUNDING SOURCE: Funds are available in the Capital Replacement Fund 174 in amount not to exceed \$49,667.

BACKGROUND: This purchase is for new playground equipment for Parkwood Park. Staff hosted a joint neighborhood meeting and Park Board meeting on September 19, 2019. The residents selected the proposed playground equipment for Parkwood Park.

This purchase will be made in accordance with an existing interlocal agreement with Sourcewell as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the cooperative and a contract was awarded to Playground Solutions of Texas, Inc. The Parks and Recreation Department and Purchasing staff reviewed the contract for specification compliance and pricing and determined that the contract would provide the best service and pricing for meeting the needs of the City.

Account 174-74015-312-067 (Playground Accessibility) will be used for the transaction.

Staff recommends approval.

BG/LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 15, 2019

SUBJECT: APPROVAL OF PARKING RESTRICTIONS FOR FAITH CHRISTIAN SCHOOL

RECOMMENDATION: City Council to consider approval of an ordinance amending the Grapevine Code of Ordinances Chapter 23 Traffic, Article V Parking, prohibiting parking loading and unloading on the south side of East Worth Street from Austin Street to Ruth Street.

FUNDING SOURCE: None

BACKGROUND: Staff has received a request from Grapevine Faith Christian School to prohibit parking, loading, and unloading on the south side of East Worth Street adjacent to the school campus. The request is driven by how the campus manages their drop off and pick up as shown in the attached. This posting will be effective 7:45 am to 4:15 pm on school days.

Staff recommends approval.

ORDINANCE NO. 2019-046

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AMENDING THE GRAPEVINE CODE OF ORDINANCES BY AMENDING CHAPTER 23 TRAFFIC, ARTICLE V PARKING, SECTION 23-63 NO PARKING ZONES; AUTHORIZING THE ERECTION OF TRAFFIC REGULATION SIGNS; REPEALING CONFLICTING ORDINANCES; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO HUNDRED DOLLARS (\$200.00); PROVIDING A SEVERABILITY CLAUSE; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this ordinance is in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated herein above are true and correct and are incorporated herein by reference, as if copied in their entirety.

Section 2. That Chapter 23 Traffic, Section 23-63, No Parking Zones; Restricted Parking Zones; No Standing Zones; No Stopping Zones of the Grapevine Code of Ordinances is hereby amended by adding the following:

“East Worth Street, south side, no stopping, standing, parking from Austin Street to Ruth Street 7:45 am to 4:15 pm on school days.”

Section 3. That the City Manager, or his designee, is hereby authorized to have the proper traffic signs erected, constructed, and placed at such points along said highways, streets or alleys, or portions hereof under construction, maintenance or repair so that travelers will be reasonably notified of said traffic regulations.

Section 4. That all ordinances or any parts thereof in conflict with the terms of this ordinance shall be and hereby are deemed repealed and of no force or effect; provided, however, that the ordinance or ordinances under which the cases currently filed and pending in the Municipal Court of the City of Grapevine, Texas, shall be deemed repealed only when all such cases filed and pending under such ordinance or ordinances

have been disposed of by a final conviction or a finding not guilty or nolo contendere, or dismissal.

Section 5. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Hundred Dollars (\$200.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 6. If any section, article, paragraph, sentence, clause, phrase or word in this ordinance, or application thereto any person or circumstances is held invalid or unconstitutional by a Court of competent jurisdiction, such holding shall not affect the validity of the remaining portions of this ordinance; and the City Council hereby declares it would have passed such remaining portions of the ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

Section 7. The fact that the present ordinances and regulations of the City of Grapevine, Texas are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the public creates an emergency which requires that this ordinance become effective from and after the date of its passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of October, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Shawna Barnes
Assistant City Secretary

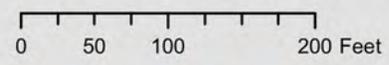
APPROVED AS TO FORM:

City Attorney



Proposed Parking Restrictions Faith Christian School

- ■ ■ No Stopping Standing Parking
- ▶ School Pickup Traffic Pattern



MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 15, 2019

SUBJECT: APPROVAL OF CONTRACT AMENDMENT NO. 1 FOR ENGINEERING SERVICES TO THE WASTEWATER TREATMENT PLANT UV DISINFECTION IMPROVEMENT PROJECT AND APPROPRIATION ORDINANCE

RECOMMENDATION: City Council to consider Amendment No. 1 to the contract for engineering services for the Wastewater Treatment Plant Ultraviolet Light Disinfection Improvement project with Parkhill, Smith & Cooper, Inc. and approval of an appropriation ordinance.

FUNDING SOURCE: Upon approval, funds in an estimated amount of \$20,500 will be available in the Utility Enterprise Capital Fund 201.

BACKGROUND: The purpose of this contract is to establish engineering services related to the design, selection, and replacement of the wastewater treatment plant (WWTP) ultraviolet light (UV) disinfection system, as well as needed structural repairs to the existing plant associated with the UV system.

The UV disinfection system is the last treatment stage of the WWTP and is vital for treating effluent water from the plant. The existing disinfection system was installed in 1997, and is at the end of its useful life.

On December 19, 2017, Council approved a contract with Parkhill, Smith & Cooper, Inc. in the amount of \$120,000 and ratified a staff approved contract with Parkhill, Smith and Cooper, Inc. for \$14,950 for the design of the UV disinfection system. Additional services in the amount of \$20,500 are needed for the design associated with a new automatic transfer switch and emergency generator that has been added to the original scope of work. .

Staff recommends approval.

ORDINANCE NO. 2019-066

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE APPROPRIATION OF AN ESTIMATED AMOUNT OF \$22,550 IN THE UTILITY ENTERPRISE CAPITAL FUND; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City Council of the City of Grapevine desires to install an ultraviolet light disinfection system at the Wastewater Treatment Plant; and

WHEREAS, funding for the ultraviolet light disinfection system design phase services was appropriated on December 19, 2017 in the amount of \$134,950 from the Utility Enterprise Capital Fund; and

WHEREAS, additional design phase services in the amount of \$22,500 are needed to complete the design for the ultraviolet light disinfection system; and

WHEREAS, funding for the design phase services for the ultraviolet light disinfection system is available in the Utility Enterprise Capital Fund; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act and Chapter 211 of the Local Government Code; and

WHEREAS, the City Council deems the adoption of this ordinance to be in the best interests of the health, safety, and welfare of the public.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council hereby authorizes an estimated amount of \$22,550 be appropriated from the Utility Enterprise Capital Fund for the design services associated with installation of an ultraviolet light disinfection system at the Wastewater Treatment Plant.

Section 3. That a copy of the revised FY 2018-2019 Capital Improvements Plan budget document shall be kept on file in the office of the City Secretary and on the City of Grapevine website.

Section 4. That the terms and provisions of this ordinance shall be deemed to be severable, and that if the validity of any section, subsection, word, sentence or phrase shall be held to be invalid, it shall not affect the remaining part of this ordinance.

Section 5. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of October, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Shawna Barnes
Assistant City Secretary

APPROVED AS TO FORM:

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 15, 2019

SUBJECT: APPROVAL OF LOCAL PROJECT ADVANCED FUNDING AGREEMENT
– HIGHWAY SAFETY IMPROVEMENT PROGRAM

RECOMMENDATION: City Council to consider adopting a resolution approving the Local Project Advance Funding Agreement (LPAFA) with Texas Department of Transportation (TXDOT) to establish funding participation levels for the Highway Safety Improvement Program – HSIP.

FUNDING SOURCE: Funds are available in the Capital Project Street Fund 178 in an estimated amount of \$76,222.

BACKGROUND: The Highway Safety Improvement Program (HSIP) is for highway safety projects that eliminate or reduce the number of fatalities and serious injuries on public roads. The improvements include adding vehicle detection at 25 intersections along SH26, Northwest Highway, and Glade at Euless Grapevine. The SH121/William D. Tate Avenue at Mustang intersections were recommended by TxDOT as full signal replacements. The cost for the project is \$2,232,188.

The project is funded by The Federal Highway Administration (FHWA) and TXDOT's Highway Safety Improvement Program. The City local construction match is \$76,222. The HSIP program provides no allowances for cost overruns; therefore, the City will cover any cost overruns that may arise during construction.

This project will be administered by TxDOT. A Master Agreement, adopted by the City per resolution and the State in November 2000, establishes general terms and conditions for transportation projects of this nature. The LPAFA formally establishes the funding participation level and scope for this specific project. TXDOT has requested that the City approve this LPAFA to facilitate their bidding schedule of December 2019.

Staff recommends approval.

RESOLUTION NO. 2019-031

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS AUTHORIZING A LOCAL TRANSPORTATION PROJECT ADVANCE FUNDING AGREEMENT WITH THE TEXAS DEPARTMENT OF TRANSPORTATION ADDRESSING FUNDING PARTICIPATION LEVEL AND PROJECT SCOPE FOR TRAFFIC SIGNAL UPGRADES AND VEHICLE DETECTION OF STATE HIGHWAY 26, NORTHWEST HIGHWAY, GLADE AVENUE AT EULESS GRAPEVINE AND STATE HIGHWAY 121 / MUSTANG DRIVE AT WILLIAM D. TATE AVENUE IN THE CITY OF GRAPEVINE AND PROVIDING AN EFFECTIVE DATE

WHEREAS, a Master Agreement between the City of Grapevine and the State was adopted by Resolution No. 2000-60 on November 21, 2000 and the agreement states the general terms and conditions for transportation projects developed through this Local Transportation Project Advance Funding Agreement; and

WHEREAS, the Texas Department of Transportation approved funding for the development of traffic signal improvements on State Highway 26, Northwest Highway, Glade at Euless Grapevine and State Highway 121 at Mustang / William D. Tate in the City of Grapevine; and

WHEREAS, the Grapevine City Council strongly supports the efforts of the Metropolitan Planning Organization and Texas Department of Transportation in developing a system of highways in cooperation with local governments; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine approves entering into this Local Transportation Project Advance Funding Agreement for traffic signal improvements as part of the Highway Safety Improvement Program – HSIP in the City of Grapevine.

Section 3. That this resolution shall take effect from and after the date of its

passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of October, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

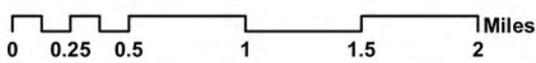
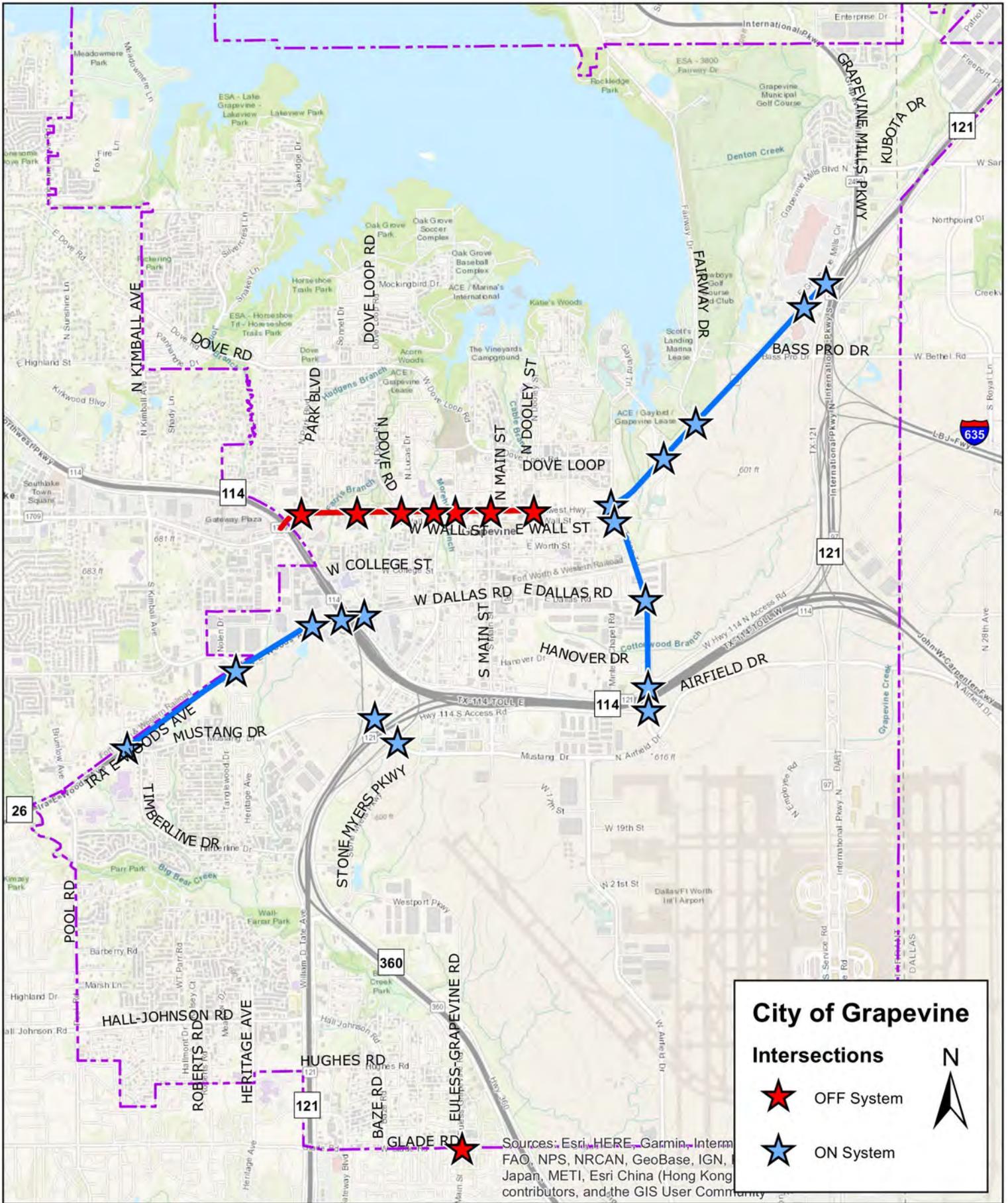
Shawna Barnes
Assistant City Secretary

APPROVED AS TO FORM:

City Attorney

HIGHWAY SAFETY IMPROVEMENT PROGRAM LOCATIONS

CTAM #21



MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 15, 2019

SUBJECT: APPROVAL FOR THE AWARD OF A QUOTE FOR A PUMP REPLACEMENT VALVE

RECOMMENDATION: City Council to consider approval for the award of a quote for a pump replacement valve from Legacy Contracting for the Public Works Department.

FUNDING SOURCE: Funds for this purchase are available in account 200-43360-534-000 (Water Supply Infrastructure Maintenance) for an amount not to exceed \$28,281.

BACKGROUND: This purchase is to replace a malfunctioning 16" CLA-VALVE paired with one of our high service pumps. This is a slow closing check valve that keeps water from flowing back into the plant in the event the high service pump fails.

Quotes were taken in accordance with City Purchasing Policy. Formal bids and advertisements are not required for purchases under \$50,000. Three vendors submitted quotations. Legacy Contracting submitted the lowest responsive and responsible quote meeting specifications.

Legacy Contracting \$28,281
Peterson Pump \$29,990
DXP \$32,850

Staff recommends approval.

KM/LW

STATE OF TEXAS
COUNTY OF TARRANT
CITY OF GRAPEVINE

The City Council of the City of Grapevine, Texas met in Regular Session on this the 1st day of September, 2019 in the City Council Chambers, Second Floor, 200 South Main Street, with the following members present:

William D. Tate	Mayor
Darlene Freed	Mayor Pro Tem
Sharron Rogers	Council Member
Chris Coy	Council Member
Duff O'Dell	Council Member
Paul Slechta	Council Member
Leon Leal	Council Member

constituting a quorum, and with the following members of the City Staff:

Bruno Rumbelow	City Manager
Jennifer Hibbs	Assistant City Manager
John F. Boyle, Jr.	City Attorney
Matthew C.G. Boyle	Assistant City Attorney
Tara Brooks	City Secretary

Call to Order

Mayor Tate called the meeting to order at 5:17 p.m.

Item 1. Executive Session

Mayor Tate announced the City Council would recess to the City Council Conference Room to conduct a closed session regarding:

- A. Real property relative to deliberation to the purchase, exchange, lease, sale or value of real property (City property, Public Works, the 185 acres and Lonesome Dove Exchange) pursuant to Section 551.072, Texas Government Code.
- B. Conference with City Manager and Staff to discuss and deliberate commercial and financial information received from business prospects the City seeks to have locate, stay, or expand in the City; deliberate the offer of a financial or other incentive; with which businesses the City is conducting economic development negotiations pursuant to Section 551.087, Texas Government Code.

The City Council recessed to the City Council Conference Room and began the closed session at 5:20 p.m. The closed session ended at 5:35 p.m.

Upon reconvening in open session in the Council Chambers, Mayor Tate asked if there was any action necessary relative to Sections 551.072 or 551.087. City Manager Bruno Rumbelow stated there was no action necessary.

NOTE: City Council continued with the Regular portion of the Agenda in open session in the City Council Chambers.

Mayor Tate called the regular meeting to order at 5:39 p.m.

REGULAR MEETING

Item 1. Invocation

Council Member Sharron Rogers delivered the invocation.

Item 2. Posting of the Colors and Pledges of Allegiance

Boy Scout Troop 928 posted the colors and led the Pledges of Allegiance.

Item 3. Citizen Comments

No one spoke during citizen comments.

PRESENTATIONS

Item 4. Mayor Tate to present a proclamation declaring October 3 "Bill Burton Day".

Mayor Tate recognized Bill Burton for more than 40 years of service teaching Agricultural Science and serving as a student advisor in the Grapevine Colleyville Independent School district and presented the proclamation to Mr. Burton's daughter, Brandi Burton Ables.

Consent Agenda

Consent items are deemed to need little Council deliberation and were acted upon as one business item. Any member of the City Council or member of the audience may request that an item be withdrawn from the consent agenda and placed before the City Council for full discussion. There were no requests to remove any items from the consent agenda.

Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations.

Item 5. Consider **Ordinance No. 2019-058** approving the Atmos Rate Review Mechanism Tariff Settlement.

City Manager Rumbelow recommended approval of the Atmos Rate Review. The Atmos Steering Committee and Atmos Energy Corporation negotiated a settlement of an increase of \$35.4 million of revenues for member cities. The impact of the settlement on

average residential rates (dependent on usage) is an increase of \$2.05 on a monthly basis, or 3.7%. The increase for average commercial usage will be \$6.18 or 2.31%.

Motion was made to approve the consent agenda as presented.

Motion: Slechta
Second: Coy
Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal
Nays: None
Approved: 7-0

ORDINANCE NO. 2019-058

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, APPROVING A NEGOTIATED SETTLEMENT BETWEEN THE ATMOS CITIES STEERING COMMITTEE ("ACSC") AND ATMOS ENERGY CORP., MID-TEX DIVISION REGARDING THE COMPANY'S 2019 RATE REVIEW MECHANISM FILING; DECLARING EXISTING RATES TO BE UNREASONABLE; ADOPTING TARIFFS THAT REFLECT RATE ADJUSTMENTS CONSISTENT WITH THE NEGOTIATED SETTLEMENT; FINDING THE RATES TO BE SET BY THE ATTACHED SETTLEMENT TARIFFS TO BE JUST AND REASONABLE AND IN THE PUBLIC INTEREST; APPROVING AN ATTACHED EXHIBIT ESTABLISHING A BENCHMARK FOR PENSIONS AND RETIREE MEDICAL BENEFITS; APPROVING AN ATTACHED EXHIBIT REGARDING AMORTIZATION OF REGULATORY LIABILITY; REQUIRING THE COMPANY TO REIMBURSE ACSC'S REASONABLE RATEMAKING EXPENSES; DETERMINING THAT THIS ORDINANCE WAS PASSED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TEXAS OPEN MEETINGS ACT; ADOPTING A SAVINGS CLAUSE; DECLARING AN EFFECTIVE DATE; AND REQUIRING DELIVERY OF THIS ORDINANCE TO THE COMPANY AND THE ACSC'S LEGAL COUNSEL

Item 6. Consider the purchase and installation of HVAC units for the Palace Arts Center - Lancaster Theatre from Texas Air Systems and **Ordinance No. 2019-059** appropriating funds.

Convention and Visitors Bureau Director Paul McCallum recommended approval of the purchase and installation of two roof top HVAC units for a total amount not to exceed \$48,428.

Motion was made to approve the consent agenda as presented.

Motion: Slechta
Second: Coy
Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal

Nays: None
Approved: 7-0

ORDINANCE NO. 2019-059

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, APPROPRIATING \$48,428 IN THE HERITAGE FOUNDATION FUND; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 7. Consider the renewal for an annual sole source contract for defibrillator technical support services with Stryker Sales Corporation, Inc.

Fire Chief Darrell Brown recommended approval of the renewal of the annual sole source contract for defibrillator technical support services for an amount not to exceed \$17,420.

Motion was made to approve the consent agenda as presented.

Motion: Slechta
Second: Coy
Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal
Nays: None
Approved: 7-0

Item 8. Consider the renewal of an annual contract for cyber liability insurance coverage with XL Insurance Company.

Chief Financial Officer Greg Jordan recommended approval of the annual contract for cyber liability insurance coverage in an estimated annual amount of \$35,000.

Motion was made to approve the consent agenda as presented.

Motion: Slechta
Second: Coy
Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal
Nays: None
Approved: 7-0

Item 9. Consider the renewal of an annual contract for property and casualty insurance coverage with Travelers Insurance.

Chief Financial Officer Jordan recommended approval of the renewal of the annual contract for property and casualty insurance coverage in an amount not to exceed \$920,000.

Motion was made to approve the consent agenda as presented.

Motion: Slechta
Second: Coy
Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal

Nays: None
Approved: 7-0

Item 10. Consider the renewal of the annual contracts for the purchase of trees and large shrubs with Fannin Tree Farm, Southwest Wholesale Nursery, and Unique Landscaping Design & Construction.

Parks and Recreation Director Kevin Mitchell recommended approval of the renewal of the annual contracts for the purchase of trees and large shrubs for an amount not to exceed \$355,000.

Motion was made to approve the consent agenda as presented.

Motion: Slechta
Second: Coy
Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal
Nays: None
Approved: 7-0

Item 11. Consider the purchase of basketball court lighting for the basketball court at Cluck Park from Musco Lighting.

Parks and Recreation Director Mitchell recommended approval of the purchase of basketball court lighting for an amount not to exceed \$51,841.

Motion was made to approve the consent agenda as presented.

Motion: Slechta
Second: Coy
Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal
Nays: None
Approved: 7-0

Item 12. Consider the award of a best value annual contract for RFB 490-2019 for police uniform cleaning services to Grapevine Cleaners.

Police Chief Mike Hamlin recommended approval of the award of the best value annual contract for police uniform cleaning services for an estimated amount of \$26,079.

Motion was made to approve the consent agenda as presented.

Motion: Slechta
Second: Coy
Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal
Nays: None
Approved: 7-0

Item 13. Consider **Ordinance No. 2019-060** abandoning a sewage lift station and utility easement at 2900 Genesis Way on Lot 1, Block 1, Trade Group Addition.

Council Member Rogers abstained from voting on this item and filed an Affidavit of Conflict of Interest with the City Secretary.

Public Works Director Bryan Beck recommended approval of the abandonment of a sewage lift station and utility easement located at 2900 Genesis Way on Lot 1, Block 1, Trade Group Addition.

Motion was made to approve the consent agenda as presented.

Motion: Slechta
Second: Coy
Ayes: Tate, Freed, Coy, O'Dell, Slechta and Leal
Abstains: Rogers
Nays: None
Approved: 6-0-1

ORDINANCE NO. 2019-060

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ABANDONING AND VACATING A 15-FOOT SEWAGE LIFT STATION AND UTILITY EASEMENT LOCATED ON LOT 1, BLOCK 1, TRADE GROUP ADDITION TO THE CITY OF GRAPEVINE, TEXAS AS HEREINAFTER DESCRIBED

Item 14. Consider **Ordinance No. 2019-061** abandoning a sanitary sewer easement at 2900 Genesis Way on Lot 1, Block 1, Trade Group Addition.

Council Member Rogers abstained from this item and filed an Affidavit of Conflict of Interest with the City Secretary.

Public Works Director Beck recommended approval of the abandonment of a sanitary sewer easement located at 2900 Genesis Way on Lot 1, Block 1, Trade Group Addition.

Motion was made to approve the consent agenda as presented.

Motion: Slechta
Second: Coy
Ayes: Tate, Freed, Coy, O'Dell, Slechta and Leal
Abstains: Rogers
Nays: None
Approved: 6-0-1

ORDINANCE NO. 2019-061

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ABANDONING AND VACATING A 15 FOOT SANITARY SEWER EASEMENT LOCATED ON LOT

1, BLOCK 1, TRADE GROUP ADDITION TO THE CITY OF
GRAPEVINE, TEXAS AS HEREINAFTER DESCRIBED

Item 15. Consider Ordinance No. 2019-062 abandoning a utility and landscape easement at 2900 Genesis Way on Lot 1, Block 1, Trade Group Addition.

Council Member Rogers abstained from this item and filed an Affidavit of Conflict of Interest with the City Secretary.

Public Works Director Beck recommended approval the abandonment of a utility and landscape easement located at 2900 Genesis Way on Lot 1, Block 1, Trade Group Addition.

Motion was made to approve the consent agenda as presented.

Motion: Slechta
Second: Coy
Ayes: Tate, Freed, Coy, O'Dell, Slechta and Leal
Abstains: Rogers
Nays: None
Approved: 6-0-1

ORDINANCE NO. 2019-062

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF
GRAPEVINE, TEXAS, ABANDONING AND VACATING A 10-
FOOT UTILITY AND LANDSCAPE EASEMENT ON LOT 1,
BLOCK 1, TRADE GROUP ADDITION TO THE CITY OF
GRAPEVINE, TEXAS AS HEREINAFTER DESCRIBED

Item 16. Consider the minutes of the September 17, 2019 Regular City Council meeting.

City Secretary Tara Brooks recommended approval of the minutes as provided.

Motion was made to approve the consent agenda as presented.

Motion: Slechta
Second: Coy
Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal
Nays: None
Approved: 7-0

ADJOURNMENT

Motion was made to adjourn the meeting at 5:46 p.m.

Motion: O'Dell
Second: Rogers
Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal

Nays: None
Approved: 7-0

Passed and approved by the City Council of the City of Grapevine, Texas on this the 15th day of October, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

STATE OF TEXAS
COUNTY OF TARRANT
CITY OF GRAPEVINE

The Planning and Zoning Commission of the City of Grapevine, Texas met in Regular Session on this the 17th day of September 2019 in the Planning and Zoning Conference Room, 200 South Main Street, 2nd Floor, Grapevine, Texas with the following members present-to-wit:

Larry Oliver	Chairman
B J Wilson	Vice-Chairman
Monica Hotelling	Member
Gary Martin	Member
Beth Tiggelaar	Member
Dennis Luers	Member
David Hallberg	Alternate

constituting a quorum with Jimmy Fechter and Traci Hutton absent and the following City Staff:

Ron Stombaugh	Development Services Assistant Director
John Robertson	Engineering Manager
Albert L. Triplett, Jr.	Planner II
Susan Batte	Planning Technician

CALL TO ORDER

Vice-Chairman Wilson called the meeting to order at 7:00 p.m.

BRIEFING SESSION

Vice-Chairman Wilson announced the Planning and Zoning Commission would conduct a work session relative to the following cases:

ITEM 1.

Chairman Oliver announced the Planning and Zoning Commission would conduct a work session relative to the following cases:

PRELIMINARY AND FINAL PLAT - WILDWOOD CROSSING

PRELIMINARY AND FINAL PLAT – HUGHES HIDDEN MANOR

Chairman Oliver closed the Briefing Session at 7:06 p.m.

JOINT PUBLIC HEARINGS

Mayor Tate called the meeting to order at 7:30 p.m. in the City Council Chambers. No Joint Public Hearings were held in the City Council Chambers. The Planning and Zoning Commission recessed to the Planning and Zoning Conference Room, Second Floor to consider published agenda items.

PLANNING AND ZONING COMMISSION REGULAR SESSION

CALL TO ORDER

Vice-Chairman Wilson called the Planning and Zoning Commission deliberation session to order at 7:33 p.m.

ITEM 3. PRELIMINARY PLAT, LOTS 1, 2, 3 AND 4, BLOCK 1, WILDWOOD CROSSING

First for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Preliminary Plat Application of Lots 1, 2, 3, and 4, Block 1, Wildwood Crossing. The applicant was preliminary platting 1.231 acres for the development of four residential lots.

In the Commission's deliberation session, Monica Hotelling moved to approve the Statement of Findings and Preliminary Plat Application of Lots 1, 2, 3, and 4, Block 1, Wildwood Crossing. Traci Hutton seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Martin, Tiggelaar, Luers and Hallberg
Nays: None

ITEM 4. FINAL PLAT, LOTS 1, 2, 3 AND 4, BLOCK 1, WILDWOOD CROSSING

Next for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Final Plat Application of Lots 1, 2, 3 and 4, Block 1, Wildwood Crossing. The applicant was final platting 1.231 acre for the development of four residential lots.

In the Commission's deliberation session, B J Wilson moved to approve the Statement of Findings and Final Plat Application of Lots 1, 2, 3, and 4, Block 1, Wildwood Crossing. Monica Hotelling seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Martin, Tiggelaar, Luers and Hallberg
Nays: None

ITEM 5. PRELIMINARY PLAT, LOTS 1 AND 2, BLOCK 1, HUGHES HIDDEN MANOR

First for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Preliminary Plat Application of Lots 1 and 2, Block 1, Hughes Hidden Manor. The applicant was preliminary platting 1.011 acres for the development of two residential lots.

In the Commission's deliberation session, Dennis Luers moved to approve the Statement of Findings and Preliminary Plat Application of Lots 1 and 2, Block 1, Hughes Hidden Manor. B J Wilson seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Martin, Tiggelaar, Luers and Hallberg
Nays: None

ITEM 6. FINAL PLAT, LOTS 1 AND 2, BLOCK 1, HUGHES HIDDEN MANOR

Next for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Final Plat Application of Lots 1 and 2, Block 1, Hughes Hidden Manor. The applicant was final platting 1.011 acre for the development of two residential lots.

In the Commission's deliberation session, Dennis Luers moved to approve the Statement of Findings and Final Plat Application of Lots 1 and 2, Block 1, Hughes Hidden Manor. Gary Martin seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Martin, Tiggelaar, Luers and Hallberg
Nays: None

ITEM 7. CONSIDERATION OF MINUTES

Next for the Commission to consider were the minutes of the August 20, 2019, Planning and Zoning Public Hearing.

Monica Hotelling moved to approve the August 20, 2019 Planning and Zoning Public Hearing minutes with the correction that Larry Oliver was absent from the meeting. Gary Martin seconded the motion, which prevailed by the following vote:

Ayes: Wilson, Hotelling, Martin, Tiggelaar, Luers and Hallberg
Nays: None
Abstain: Oliver

ADJOURNMENT

With no further business to discuss, Chairman Oliver adjourned the meeting at 7:36 p.m.

PASSED AND APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF GRAPEVINE, TEXAS ON THIS THE 15TH DAY OF OCTOBER 2019.

APPROVED:

CHAIRMAN

ATTEST:

PLANNING TECHNICIAN