

CITY OF GRAPEVINE, TEXAS
REGULAR JOINT MEETING OF
CITY COUNCIL AND PLANNING AND ZONING COMMISSION
TUESDAY, MAY 21, 2019

GRAPEVINE CITY HALL, SECOND FLOOR
200 SOUTH MAIN STREET
GRAPEVINE, TEXAS

7:00 p.m. Dinner – City Council Conference Room
7:30 p.m. Call to Order of City Council Meeting – City Council Chambers
7:30 p.m. Joint Regular Meeting – City Council Chambers

CALL TO ORDER: 7:30 p.m. – City Council Chambers

1. Invocation and Pledge of Allegiance: Commissioner Dennis Luers

NEW BUSINESS

2. City Secretary to administer the Oath of Office to City Council Member Place 3 Leon Leal.
3. City Secretary to administer the Oath of Office to City Council Member Place 4 Darlene Freed.
4. Consider the appointment of the Mayor Pro Tem and take any necessary action.
5. Consider Mayor's appointments of Council liaisons to the City Boards and Commissions and Council committees, and take any necessary action.

JOINT PUBLIC HEARINGS

6. Conditional Use Permit **CU19-08** (The PIT) and **Final Plat** of Lot 1, Block 1, Grapevine Soccer Complex – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Holtman Designworks requesting a conditional use permit to amend the previously approved site plan of CU15-47 (Ordinance No. 2016-004) to allow for the development of a soccer field complex with stadium lighting and a final plat of Lot 1, Block 1, Grapevine Soccer Complex. The subject property is located at 3451 Foxfire Lane and is currently zoned "RA" Recreational Amusement District.
7. Conditional Use Permit **CU19-09** (McMillan James Office Warehouse) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Big Red Dog requesting a conditional use permit to amend the previously approved site plan of CU15-36 (Ordinance No. 2015-049) for a planned business park, specifically to allow for the development of a 27,103

square foot office/warehouse. The subject property is located at 1044 and 1046 Texan Trail and is currently zoned "BP" Business Park District.

8. Conditional Use Permit **CU19-10** (Stellini Trattoria) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by NTY Pizza Concepts requesting a conditional use permit to amend the previously site plan of PD16-01 (Ordinance No. 2016-36) to allow a restaurant with on-premise alcohol sales and a market with off-premise alcohol sales in the Central Business District. The subject property is located at 400 East Dallas Road Suites 100 and 200 and is currently zoned "CBD" Central Business District.
9. Conditional Use Permit **CU19-13** and Special Use Permit **SU19-01** (Great Wolf Lodge) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Great Wolf Lodge requesting a conditional use permit to amend the previously approved site plan of CU14-18 (Ordinance No. 2014-28) for a planned commercial center with a hotel and water park, specifically to allow security guard buildings and gates at the entrance and a special use permit to allow for paid parking. The subject property is located at 100 Great Wolf Drive and is currently zoned "CC" Community Commercial District.

Planning and Zoning Commission to recess to the Planning and Zoning Commission Conference Room, Second Floor, to consider published agenda items.

City Council to remain in session in the Council Chambers to consider published business.

CITIZEN COMMENTS

10. Any person who is not scheduled on the agenda may address the City Council under Citizen Comments by completing a Citizen Appearance Request form with the City Secretary. In accordance with the Texas Open Meetings Act, the City Council is restricted in discussing or taking action during Citizen Comments.

PRESENTATIONS

11. Mayor Tate to present a proclamation recognizing National Trails Day.

CONSENT AGENDA

Consent items are deemed to need little Council deliberation and will be acted upon as one business item. Any member of the City Council or member of the audience may request that an item be withdrawn from the consent agenda and placed before the City Council for full discussion. Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations.

12. Consider **Resolution No. 2019-025** denying the application from Oncor Electric Delivery Company requesting approval of a Distribution Cost Recovery Factor. City Manager recommends approval.
13. Consider the award of an annual contract for RFP 482-2019 for Depository Banking Services with JP Morgan Chase Bank. Chief Financial Officer recommends approval.
14. Consider the renewal of annual contracts for safety supplies with WW Grainger Industrial, Inc. and Safety Supply, Inc. Chief Financial Officer recommends approval.
15. Consider the sole source purchase of chest compression systems, services and training from Physio-Control, Inc. Fire Chief recommends approval.
16. Consider the renewal of an annual contract for EMS billing services with Emergicon, LLC. Fire Chief recommends approval.
17. Consider the purchase of radio communication equipment from Motorola Solutions. Fire Chief and Police Chief recommend approval.
18. Consider the approval for the purchase of park amenities from Landscape Forms, Inc. Parks and Recreation Director recommends approval.
19. Consider the purchase of a Chevrolet Tahoe from Caldwell County Chevrolet and **Ordinance No. 2019-021** appropriating funds. Police Chief and Public Works Director recommend approval.
20. Consider **Ordinance No. 2019-022** abandoning right of way at 231 North Starnes Street and authorizing the City Manager to execute a Quit Claim Deed to the abutting property owner. Public Works Director recommends approval.
21. Consider an informal request for quote for an annual contract for generator maintenance with Loftin Equipment Company. Public Works Director recommends approval.
22. Consider an annual contract for a preventative roof maintenance program with Tremco/Weatherproofing Technologies, Inc. Public Works Director recommends approval.
23. Consider the water and wastewater system on-call staff contract with Provenance Engineering, LLC. Public Works Director recommends approval.
24. Consider a construction contract for installation of the ultraviolet light disinfection system improvements at the Wastewater Treatment Plant with Alltech Engineering

Corporation and **Ordinance No. 2019-023** appropriating funds. Public Works Director recommends approval.

25. Consider Amendment No. 3 to the Engineering Services Contract for engineering design services related to the installation of a liquid oxygen injection system for the Hilton Lift Station with Garver LLC and **Ordinance No. 2019-024** appropriating funds. Public Works Director recommends approval.
26. Consider the minutes of the May 7, 2019 Regular City Council meeting and the May 15, 2019 Special City Council Meeting. City Secretary recommends approval.

Pursuant to the Texas Open Meetings Act, Texas Government Code, Chapter 551.001 et seq, one or more of the above items may be considered in Executive Session closed to the public. Any decision held on such matter will be taken or conducted in open session following conclusion of the executive session.

PLANNING AND ZONING COMMISSION RECOMMENDATIONS

27. Conditional Use Permit **CU19-08** (The PIT) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2019-025**, if applicable, and take any necessary action.
28. **Final Plat** of Lot 1, Block 1 Grapevine Soccer Complex – Consider the recommendation of the Planning and Zoning Commission and take any necessary action.
29. Conditional Use Permit **CU19-09** (McMillan James Office Warehouse) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2019-026**, if applicable, and take any necessary action.
30. Conditional Use Permit **CU19-10** (Stellini Trattoria) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2019-027**, if applicable, and take any necessary action.
31. Conditional Use Permit **CU19-13** (Great Wolf Lodge) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2019-028**, if applicable, and take any necessary action.
32. Special Use Permit **SU19-01** (Great Wolf Lodge) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2019-029**, if applicable, and take any necessary action.

ADJOURNMENT

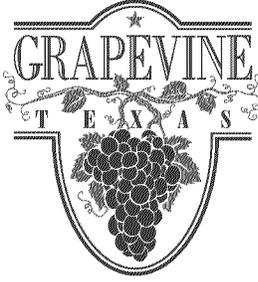
In accordance with the Open Meetings Law, Texas Government Code, Chapter 551, I hereby certify that the above agenda was posted on the official bulletin boards at Grapevine City Hall, 200 South Main Street and on the City's website on May 17, 2019 by 5:00 p.m.



Shawna Barnes
Assistant City Secretary



If you plan to attend this public meeting and you have a disability that requires special arrangements at the meeting, please contact the City Secretary's Office at 817.410.3182 at least 24 hours in advance of the meeting. Reasonable accommodations will be made to assist your needs.



CITY OF GRAPEVINE, TEXAS
REGULAR PLANNING AND ZONING COMMISSION MEETING
TUESDAY, MAY 21, 2019

GRAPEVINE CITY HALL, SECOND FLOOR
200 SOUTH MAIN STREET
GRAPEVINE, TEXAS 76051

-
- 7:00 p.m. Briefing Session - Planning and Zoning Commission Conference Room
7:30 p.m. Joint Meeting with City Council - City Council Chambers
7:30 p.m. Regular Session - Planning and Zoning Commission Conference Room
-

CALL TO ORDER: 7:00 p.m. - Planning and Zoning Commission Conference Room

BRIEFING SESSION

1. Planning and Zoning Commission to conduct a briefing session to discuss all items scheduled on tonight's agenda. No action will be taken. Each item will be considered during the Regular Session which immediately follows the Joint Public Hearings.

JOINT MEETING WITH CITY COUNCIL: 7:30 p.m. - City Council Chambers

2. Invocation and Pledge of Allegiance: Commissioner Dennis Luers
3. City Secretary to administer the Oath of Office to City Council Member Place 3 Leon Leal.
4. City Secretary to administer the Oath of Office to City Council Member Place 4 Darlene Freed.
5. Consider the appointment of the Mayor Pro Tem and take any necessary action.
6. Consider Mayor's appointments of Council liaisons to the City Boards and Commissions and Council committees, and take any necessary action.

JOINT PUBLIC HEARINGS

7. Conditional Use Permit **CU19-08** (The PIT) and **Final Plat** of Lot 1, Block 1, Grapevine Soccer Complex – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Holtman Designworks requesting a conditional use permit to amend the previously approved site plan of CU15-47 (Ordinance No. 2016-004) to allow for the development of a soccer field complex with stadium lighting and a final plat of Lot 1, Block 1, Grapevine Soccer Complex. The subject property is located at 3451 Foxfire Lane and is currently zoned "RA" Recreational Amusement District.

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Planning and Zoning Commission to recess to Planning and Zoning Commission Conference Room, Second Floor, to consider published agenda items.

REGULAR SESSION: 7:30 p.m. (Immediately following Joint Public Hearings) – Planning and Zoning Commission Conference Room

NEW BUSINESS

11. Conditional Use Permit **CU19-08** (The PIT) – Consider the application and make a recommendation to City Council.
12. **Final Plat** of Lot 1, Block 1 Grapevine Soccer Complex – Consider the application and make a recommendation to City Council.
13. Conditional Use Permit **CU19-09** (McMillan James Office Warehouse) – Consider the application and make a recommendation to City Council.
14. Conditional Use Permit **CU19-10** (Stellini Trattoria) – Consider the application and make a recommendation to City Council.
15. Conditional Use Permit **CU19-13** (Great Wolf Lodge) – Consider the application and make a recommendation to City Council.

16. Special Use Permit **SU19-01** (Great Wolf Lodge) – Consider the application and make a recommendation to City Council.
17. Consider the minutes of the April 16, 2019 Regular Planning and Zoning Commission meeting.

NOTE: Following the adjournment of the Planning and Zoning Commission meeting, a representative will present the recommendations of the Planning and Zoning Commission to the City Council for consideration in the City Council Chambers.

ADJOURNMENT

In accordance with the Open Meetings Law, Texas Government Code, Chapter 551, I hereby certify that the above agenda was posted on the official bulletin boards at Grapevine City Hall, 200 South Main Street and on the City's website on May 17, 2019 by 5:00 p.m.



Shawna Barnes
Assistant City Secretary



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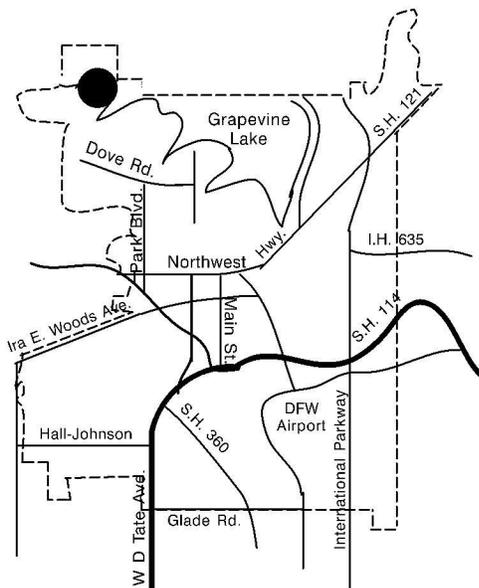
TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER ^{BR}
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: MAY 21, 2019

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF
CONDITIONAL USE APPLICATION CU19-08, THE PIT

APPLICANT: Matthew Holtman



PROPERTY LOCATION AND SIZE:

The subject property is addressed as 3451 Foxfire Lane and is proposed to be platted Lot 1, Block 1, Grapevine Soccer Complex. The site contains approximately 18.929 acres and has approximately 1,752 feet of frontage along Foxfire Lane.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to allow for the development of a soccer field complex with stadium lighting on approximately 18.929 acres.

The City Council at the January 19, 2016 meeting approved Conditional Use Request CU15-47 (Ord. 2016-004) to allow for stadium lighting and to exceed the maximum permitted height for a tent/canopy in conjunction with an outdoor cricket facility which included three cricket fields, a wicket practice area, a 1,600 square foot men's/women's dressing room and storage building and covered viewing area. The request was approved with the condition that the outdoor field lighting be limited to 9:00 p.m. Sunday through Thursday and 10:00 p.m. Friday and Saturday. The cricket fields never developed.

The City Council at the February 19, 2019 meeting denied without prejudice CU18-21 to allow for the development of a soccer field complex with stadium lighting. Discussion regarding the use centered around parking quantity and location, parking lot and soccer field lighting, security fencing, and safety.

With this request the applicant proposes the following changes:

Soccer field phasing:

Previous – multi-phase

Current – single phase

Quantity of soccer fields:

Previous – eight fields, five lighted and three unlighted

Current – six fields, four lighted and two unlighted practice fields on the west portion of the site

Parking:

Previous – 95-spaces required; 189-spaces provided in single location on the west side of the site, phase one 97-spaces, phase two 92-spaces

Current – 95-spaces required; 228-spaces provided in two parking areas more centrally located, an increase of 39-spaces

Soccer field lights:

Previous – 13 incandescent 1,500 watt lights: Three lights, 90-feet in height; three lights, 70-feet in height; and seven lights, 30-feet in height

Current – 11 LED 1,000 watt lights: One light, 90-feet in height; five lights, 80- feet in height; one light, 70-feet in height; two lights, 60-feet in height; and two lights, 50-feet in height

Parking lot lights:

Previous – two light fixtures plus five lights on the dressing room exterior walls

Current – 20 light fixtures plus five lights on the dressing room exterior walls

Security fence adjacent to Foxfire Lane:

Previous – none

Current – post and cable along the perimeter adjacent to Foxfire Lane

Ingress/egress:

Previous – single point located at the south portion of the site

Current – two points located at the south and north portions of the site

Dressing room:

Previous – located in the southwest portion of the site

Current – more centrally located

Low rise bleachers:

Previous – ten

Current – sixteen

Proposed lighting shut off times are 9:30 p.m. seven days a week to allow for adequate time to exit the facility. Accessory to the soccer fields is a proposed 1,600 square foot men's/women's dressing room and storage building. No-parking signs will be permanently installed along Foxfire Lane to discourage parking on the street. Lighting levels at the southwest, west and northwest property lines adjacent to the residential zoning meet the allowed lighting levels of 0.2 footcandles.

A Traffic Impact Analysis (TIA) was required in conjunction with the proposed use. The Transportation Manager concluded the following improvements are necessary at the outset to account for vehicle delay and congestion: westbound turn lane at the intersection of Foxfire Lane and Lonesome Dove Road and add radius to the corner of Foxfire Lane to match the new right-of way adjacent to the southeast corner of the subject site. The applicant has agreed to coordinate a developer's agreement for the radius construction and road intersection modification and to coordinate with Public Works/Engineering staff to make the required improvements.

PRESENT ZONING AND USE:

The property is currently zoned "RA" Recreational Amusement District and is undeveloped.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject property was annexed into the City of Grapevine as part of an approximate 300-acre annexation from the City of Southlake and the Corps of Engineers which was approved by Council on November 2, 1993 (Ord. 1993-49). This property received the "R-20" Single Family Designation upon annexation. Some of the property is unplatted and vacant with some single-family homes and Lonesome Dove Ranch. Property to the northwest received Zone Change Case Z01-01 (Ord. 2001-13) approved on February 20, 2001, changing the site zoning to "R-5.0" Zero Lot Line District with deed restrictions requiring all on site development to comply with the regulations of "R-7.5" Single Family District. Zone Change Z99-22 (Ord. 2000-113) and Conditional Use Permit CU00-54 (Ord. 2000-121) were approved on November 7, 2000, changing the zoning on the subject property to from "R-20", Single Family District to "RA" Recreation/Amusement District and approving a conditional use permit for on-premise consumption of alcoholic beverages (beer, wine and mixed drinks) in conjunction with the operation of an existing recreation/amusement based business (Ranch of Lonesome Dove). The City Council at

the January 19, 2006 meeting approved Conditional Use Request CU15-47 (Ord. 2016-004) to allow for stadium lighting and to exceed the maximum permitted height for a tent/canopy for a cricket field complex which never developed. The request was approved with the condition that the outdoor field lighting be limited to 9:00 p.m. Sunday through Thursday and 10:00 p.m. Friday and Saturday. The City Council at the February 19, 2019 meeting denied with prejudice CU18-21 to allow for the development of a soccer field complex with stadium lighting on approximately 18.929 acres.

SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH: "RA", Recreational/Amusement District and "R-7.5" Single Family District, Lonesome Dove and Lakeview Estates
- SOUTH: "RA", Recreational/Amusement District and "R-12.5" Single Family District undeveloped and Cannon Homestead
- EAST: "RA", Recreation/Amusement District – Ranch of Lonesome Dove
- WEST: "R-20", Single Family District – unplatted single family homes

AIRPORT IMPACT:

The subject tract is not located within any of the noise zones as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map.

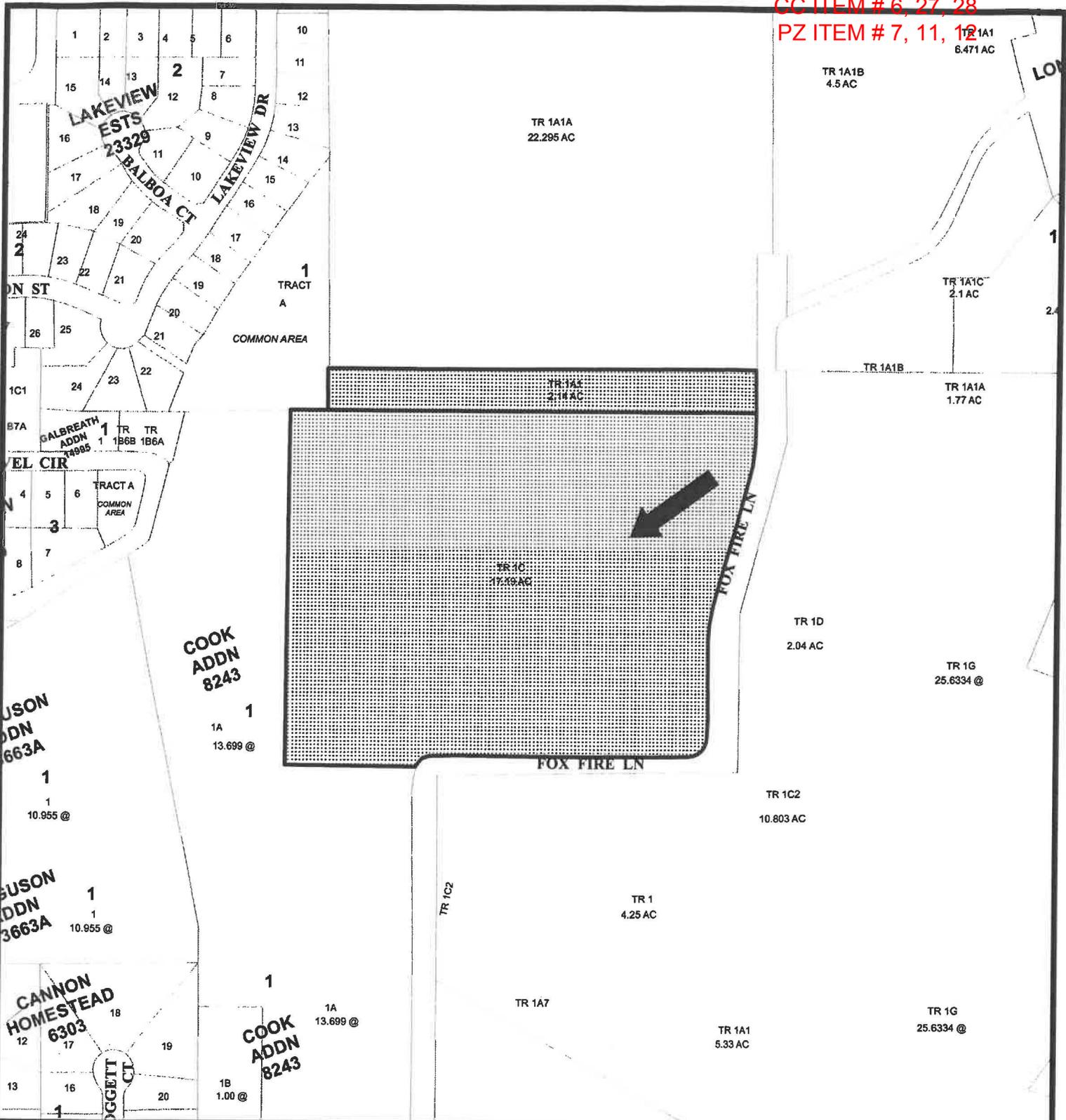
MASTER PLAN APPLICATION:

The Master Plan designates the subject site as Recreational Amusement. The proposed development does comply with the Recreational/Amusement designation.

THOROUGHFARE PLAN APPLICATION:

Foxfire Lane is not listed on the Thoroughfare Plan.

/at



CU19-08 The Pit

Date Prepared: 5/7/2019

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

CU19-08



CITY OF GRAPEVINE

CONDITIONAL USE APPLICATION

Form "A"

PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact MATTHEW HOLTMAN	
Street address of applicant / agent: 403 U.S. Hwy 377	
City / State / Zip Code of applicant / agent: ARRELYE, TX. 76226	
Telephone number of applicant / agent: 940) 240 0491	Fax number of applicant/agent
Email address of applicant/agent [REDACTED]	Mobile phone number of applicant/agent 214) 455 5623

PART 2. PROPERTY INFORMATION

Street address of subject property 3457 FOXFIRE LANE		
Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet) SOCCER COMPLEX		
Lot 1	Block 1	Addition GRAPEVINE CRICKET FIELDS
Size of subject property		Acres 18.929 ACRES 824,535 Square footage
Present zoning classification: RA	Proposed use of the property: RA - SOCCER FIELDS	
Circle yes or no, if applies to this application		
Outdoor speakers Yes <input type="radio"/> No <input checked="" type="radio"/>		
Minimum / maximum district size for conditional use request: 80'w x 100'D - MIN. REQUIREMENTS MET.		
Zoning ordinance provision requiring a conditional use: SPORTS FIELD LIGHTING		

PART 3. PROPERTY OWNER INFORMATION

Name of current property owner: SIMON BOZAS	
Street address of property owner: 7255 MEADOW HILL DRIVE	
City / State / Zip Code of property owner: FRISSCO, TX. 75033	
Telephone number of property owner: 469) 231.4762	Fax number of property owner:



CUI9-08

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY

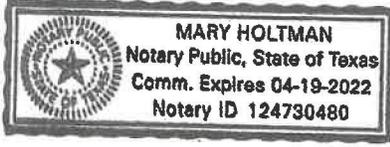
Matthew Holtman
Print Applicant's Name: _____
Applicant's Signature: _____ X

The State of Texas
County Of Denton

Before Me Mary Holtman (notary) on this day personally appeared Matthew Holtman (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 1 day of August, A.D. 2018.



Mary Holtman
Notary In And For State Of Texas

Simon Bozas
Print Property Owners Name: _____
Property Owner's Signature: _____

The State Of _____
County Of _____

Before Me _____ (notary) on this day personally appeared _____ (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this _____ day of _____, A.D. _____.

Notary In And For State Of Texas



ACKNOWLEDGEMENT

All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant Matthew R. Helman

Date: 2/28/19

Signature of Owner [Signature]

Date: 2/28/19



~~CU18-21~~

CU19-08



Proposed Conditional Use of the property at 3451 Foxfire Lane: The development of a soccer complex with accompanying stadium lighting.

With this request of conditional use, the property owner, Mezas Capitol Group, proposes to illuminate the six main fields with eleven light poles, two of which are 50 ft. in height, two are 60 ft. in height, one is 70 ft. in height, five are 80 ft. in height, and one is 90 ft. in height. Lighting levels at the southwest, west, and northwest property lines adjacent to the residential zoning meet the allowed lighting levels of 0.2 footcandles. The total parking provided is 228 spaces—95 spaces are required. "No Parking" signs will be permanently installed along Foxfire Lane to discourage parking along the street.

The addition of the soccer complex with accompanying stadium lighting will not cause substantial harm to the value, use, or enjoyment of the surrounding property. For the topic of illumination imposition, refer to the photometric report of the site, which demonstrates the absence of lumen interference with the surrounding properties.

Owner Signature: *Armin H. J. [Signature]* *

Date: *Per Simon Boyes*



H O L T M A N
DESIGNWORKS
403 HIGHWAY US 377 S
ARGYLE, TEXAS 76226



May 1, 2019

Ref: Grapevine Soccer Complex, Grapevine, Texas

Dear Sir or Madame:

We are please to offer our Universal LED Sports Lighting to illuminate your soccer fields

Our (108) 1000W Q-LED fixtures will use a total or only 108 KW of power and will light your field to the layout provided. Qualite Aports Lighting hereby guarantees the light levels specified (30 fc), given proper input voltage, installation and maintenance for a prior of 30 years.

In addition, in addition to the photometric provided Qualite Sports Lighting will also inspect and test the light levels after installation, insuring that all lighting as installs not only meets the owners requirements but also those outlined in the City of Grapevines ordinances.

www.qualite.com

800.933.9741

Sincerely,

QUALITE SPORTS LIGHTING, LLC.

Troy Tyler

Troy Tyler
Project Management Director

ORDINANCE NO. 2019-025

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ISSUING CONDITIONAL USE PERMIT CU19-08 AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU15-47 (ORDINANCE NO. 2016-004) TO ALLOW FOR THE DEVELOPMENT OF A SOCCER FIELD COMPLEX WITH STADIUM LIGHTING IN A DISTRICT ZONED "RA" RECREATION/AMUSEMENT DISTRICT FOR LOT 1, BLOCK 1, GRAPEVINE SOCCER COMPLEX (3451 FOXFIRE LANE) ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces,

and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU19-08 to amend the previously approved site plan of CU15-47 (Ordinance No. 2016-004) to allow for development of a soccer field complex with stadium lighting on approximately 18.929 acres (The PIT) in a district zoned "RA" Recreation/Amusement District within the following described property: proposed to be platted as Lot 1, Block 1, Grapevine Soccer Complex (3451 Foxfire Lane) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. That the City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. That this ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. That any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 21st day of May, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

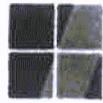
Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

APR 16 2019

By _____

**Associa****Principal Management Group of North Texas**

4/9/2019

To Whom It May Concern:

As the Association Manager of the Lakeview Estates HOA, I am sending you a most important message from the Lakeview Estates Homeowners Association Board of Directors and Membership. Your attention and consideration would be appreciated.

The Lakeview Estates HOA neighborhood is bordered by Burney Lane and Lonesome Dove which places us directly adjacent to the proposed *Grapevine Soccer Complex* at 3451 Foxfire Lane. Our Members have several major concerns about the impact to the quality of life we've come to expect from living in Grapevine.

Our first concern is traffic. Plans calling for the widening of Lonesome Dove and Dove to provide turn lanes for the Complex traffic, will affect each of the neighborhoods around us including those in Southlake on the other side of Lonesome Dove. This increase in traffic to accommodate a *for-profit business* will add to the already existing traffic from Meadowmere Park. While we understand and acknowledge the benefit from the Park, we would prefer to avoid such an additional increase in traffic that it would require the widening of our country roads and losing the charm of the 'small town' roads which was part of the reason we choose this neighborhood as our home.

Our second concern is the noise. This complex will feature an outdoor sound system which will amplify music, game commentary and other announcements. Ours is a quiet, peaceful collection of homes in multiple neighborhoods and we request protection from having this be disrupted by an outside influence.

Our third concern is the light intrusion and pollution. The installation of bright lights at the Complex would have an intrusive and detrimental impact on the quality of life in and around our homes. Though the plans for the Complex show the lights to face away from most of the area's houses in apparent compliance with the candlelight ordinance, this will not prevent the light from shining in the direction of our homes. This would be a huge disruption to the homes affected as we lose our dark skies and possibly incur additional costs to buy additional curtains or blinds.

We are also concerned about the impact to the wildlife. When it rains deer, possum, coyotes, and other small animals abandon the area around the lake and take refuge in the fields. With fences and lights and loud noises coming from the proposed complex this would remove yet another remaining place for the animals to find safe harbor.

9001 Airport Freeway, Ste. 450 North Richland Hills, TX. 76180

RECEIVED

APR 15 2019

City Secretary's
Office

• • •

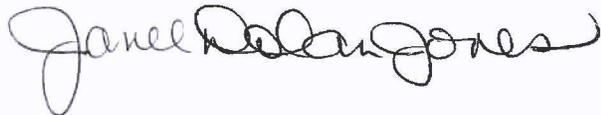
We want to express our most sincere thanks to the Board and Mayor Tate for denying this request when it originally was presented in February.

It is our request and our hope that, in the upcoming meeting, the same wisdom and resolve may once again be applied to protect our neighborhood so that it may remain the quiet, peaceful place we have come to love.

We the Board and Membership of the Lakeview Estates HOA in Grapevine, Texas urge the council to **vote NO on allowing the Grapevine Soccer Complex to be approved.**

Thank you, in advance, for your assistance and cooperation with this matter.

Regards,

A handwritten signature in black ink that reads "Janel Dolan Jones". The signature is written in a cursive, flowing style.

Janel Dolan Jones
Association Manager
Lakeview Estates HOA

Susan Batte

From: Chris Milliorn [REDACTED]
Sent: Tuesday, March 26, 2019 4:15 PM
To: Susan Batte
Subject: Grapevine Soccer Complex

Susan Batte

My name is Chris Milliorn and my wife Keleigh and I live at 3860 Lakeway Dr, in Lakeview Estates. This is regarding the proposed soccer complex at 3451 Foxfire Lane which would be adjacent to our neighborhood. I have several huge concerns about building this complex but first I do want to express my deep thanks for denying this in February before we were even aware this was happening.

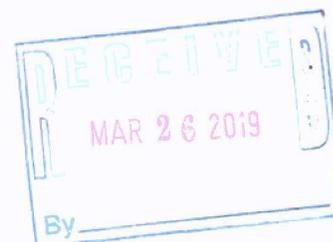
1. The traffic impact. I know the City Engineer has advised the widening of lanes at the various intersections and it is noted to be required but this will bring more traffic and affect more than just the residents who live off Foxfire. Anyone who takes Lonesome Dove Road, which includes the neighborhoods on both sides, Southlake and Grapevine, plus the Lonesome Dove Church will have to deal with the additional traffic. And while there are the soccer fields at Meadowmere right now behind our neighborhood, it is not necessary to go through neighborhoods to access them. One thing we have learned about the Meadowmere fields is that there are certain times we should not try and use the lake access road due to the difficulty passing through. Luckily we do have an alternate way to exit but when the park was closed from both the flooding a couple of years ago and the recent road work done within the park it forced all of those vehicles to take Burney Lane which created times of gridlock and made it hard to exit our neighborhood. I believe this gives us an idea of what to expect from this for-profit venture especially when both sites have games at the same time and will need to use Lonesome Dove to enter and exit.
2. The noise impact. We currently live right up against Meadowmere Park soccer fields and can hear the kids playing on the weekends with the occasional game during the week. This is fine, it is kids and adults enjoying a City park and service. What is being asked for now is a for-profit business to bring in more people which will bring additional noise. There is mention of an outdoor speaker system in the plans which means we will hear all of the announcements, possibilities of games being called, and even the potential for music to be played. We do not wish to hear these things in our quiet neighborhood.
3. Quality of Life impact. We are a quiet little neighborhood much like the residents along Foxfire. The whole joy of living in Grapevine is its embrace and dedication to family and neighborhoods being at the core of what the City does. We love Grapevine and love how the City strives to improve the QoL of the residents such as the TEXRail project and the Grapevine Economic Development strategy but our neighborhoods need to be left alone without fear of additional drivers who do not live in the area adding to the amount of traffic especially going through residential areas.
4. Wildlife. We currently see deer, coyotes and various other animals running around the fields behind us. When it rains hard or when flooding occurs, the deer, coyotes, rabbits, raccoons, armadillos, possums and more seek higher and drier ground, which often is the fields in question. This complex will have a direct affect on where the native wildlife can go and will change the dynamics of their lives as well.

I would ask that the City deny the proposed for-profit Grapevine Soccer Complex.

Sincerely Keleigh and Chris Milliorn
3860 Lakeway Dr

*** External email communication – Please use caution before clicking links and/or opening attachments ***

PROPERTY OWNER NOT
WITHIN 200 FT OF SUBJECT PROPERTY



Susan Batte

From: Michael Smith [REDACTED]
Sent: Tuesday, April 02, 2019 1:21 PM
To: Susan Batte; William D. Tate; Paul Slechta; Sharron Rogers; Mike Lease; Darlene Freed; Chris Coy; Duff O'Dell; Dana Smith
Subject: April 2, 2019 City Council Meeting - Proposed PRAIVTE Grapevine Soccer Fields

Dear Mayor Tate and Honorable Members of the Grapevine City Council,

Greetings, I write today expressing my opposition to the proposed privately-run Grapevine Soccer Fields proposed by Mezas Capital Group and Applicant Matthew Holtman.

My family lives in the Lakeview Estates subdivision that will abut the proposed soccer fields, and has lived there since 2006. I have three (3) children who have all played for the GSSA and GSSC organizations; therefore, I am keenly aware of the utilization of the current Grapevine and Southlake soccer facilities.

The increased traffic brought on by the proposed development will create significant difficulties to the residents located off Lonesome Dove drive seeking ingress or egress from Dove Road. This will be different than traffic for Meadowmere Park as there are multiple entrances/exits to Meadowmere Park, which is adjacent to the proposed soccer fields.

The proposed illumination light poles will create visual impediments from the surrounding properties as well undoubtedly creating nuisance complaints when illuminated during weeknights and/or during school nights.

As mentioned, the proposed Grapevine Soccer Fields will be less than 1/4 of one mile to the adjacent Meadowmere soccer complex; therefore creating over **two hundred (200)** paved parking spaces (when the two are combined) within one/half square mile thereby exasperating flood and/or water damages to the adjacent properties.

I urge you to vote "no" to this proposed development.

Thank you,
Michael Smith
817.845.0852

3804 Lakeway

PROPERTY OWNER NOT
WITHIN 200 FT OF SUBJECT PROPERTY

*** External email communication – Please use caution before clicking links and/or opening attachments ***

From: Lori Mack [REDACTED]
Sent: Monday, May 6, 2019 10:34 AM
To: Tara Brooks <tbrooks@grapevinetexas.gov>
Subject: Fwd: Soccer fields on Foxfire Lane

3197 Fannin Lane

Please add these to the case on May 21st

Hello

I live in Cannon Homestead on Foxfire and I want to express my objection to these fields going in behind our neighborhood for the following reasons.

There are many issues that will or could potentially, detrimentally affect our neighborhood:

1. Increased Traffic

a. Potential for 225 parking spaces at the fields

b. Significant traffic on Foxfire

c. Significant neighborhood traffic as individuals unfamiliar with the area make their way mistakenly through our neighborhood to the soccer fields

2. Overflow Parking

a. Parking on Foxfire backing up around the perimeter of our neighborhood

3. Additional Noise

a. Autos

b. Crowds

4. Light Pollution

a. Proposed 90 foot unshielded lighting fixtures

5. Deteriorated traffic conditions at Foxfire and Lonesome Dove

a. Should the applicant not complete indicated traffic improvements

6. Potential Detrimental Impact on our Property Valuations

We are also concerned that emergency responders will be delayed getting to us due to increase of traffic.

Sent from my iPhone

PROPERTY OWNER NOT
WITHIN 200 FT OF SUBJECT PROPERTY

MAY 05 2019
By _____

3205 Wilbarger Trl

To: Tara Brooks <tbrooks@grapevinetexas.gov>; William D. Tate <wtate@grapevinetexas.gov>;
dfreed@grapevinetexas.gov; Chris Coy <ccooy@grapevinetexas.gov>; Mike Lease
<mlease@grapevinetexas.gov>; dodell@grapevinetexas.gov; sharronr@grapevinetexas.gov; Paul
Slechta <pslechta@grapevinetexas.gov>
Cc: Joey Windham [REDACTED]
Subject: proposed soccer complex behind Cannon Homestead off FoxFire

Dear Mayor and Council Members,

We are residents in Cannon Homestead and wanted to share our concerns about the proposed soccer fields behind our neighborhood for your consideration in the May 21st City Council Meeting.

We moved to this neighborhood for one reason; because it's a little slice of peaceful heaven! Cannon Homestead is a quiet place with a country feel. We have respectful neighbors, lots of wildlife, livestock, and tons of kid! If a sporting complex was to be built behind this neighborhood, it would negatively impact all of us in many ways.

- Increased traffic
 - The roads on Foxfire are oil top, narrow, and damaged roads and would deteriorate with the kind of traffic these fields would bring.
 - There is only one way in and one way out of this area. This would lead to traffic nightmares and safety issues for our neighborhood and people coming to the complex.
 - The back up in traffic and the individuals unfamiliar with this area, will likely wind their way **through** our neighborhood to get to the soccer fields. With many kids, bicyclers, joggers, and people always out in our neighborhood, this could be a dangerous situation, especially with no sidewalks or bike trails/lanes on Foxfire going to the proposed fields.
 - This increase in traffic could also delay emergency vehicles from being able to get into our neighborhood.
- Parking
 - Proposed 225 parking spaces means a lot of traffic expected.
 - With only one way in and one way out of this proposed complex, this is a traffic nightmare for our neighborhood and creates unsafe conditions.
 - Overflow parking on Foxfire backing up around the perimeter of our neighborhood.
- Noise
 - Autos and crowds will increase the noise and ruin our outside time with family and friends
- Light Pollution
 - 90 ft unshielded lighting fixtures on until 10:00-11:00 pm all during the week and weekends will definitely impact our neighborhood in a negative way
- Deteriorated traffic conditions at Fox Fire/ Lonesome Dove/Dove

- It can already be a challenge with traffic to get out of Lonesome Dove and onto Dove Road. With this kind of increased traffic, it could cause frustration and lead people to road rage.
- The turn from Lonesome Dove onto Foxfire is a very narrow road with deep ditches and several cars have ended up in the ditch as a result already.
- The sightlines pulling onto Lonesome Dove from Foxfire are minimal and blocked by trees and brush. Trying to get out quickly in front of this kind of increased traffic, could be dangerous for all.
- Property Valuations
 - With all of this increase in traffic and safety concerns, our neighborhood will not have the appeal that it does now for families looking for a quiet, peaceful and safe neighborhood.
 - Many neighbors have said they would sale their homes if this happens. With an influx of inventory for this neighborhood, and traffic and safety concerns, our property valuations would decline.

We respectfully ask you to consider our concerns. We invite you to drive out to our neighborhood to understand all of the safety issues and concerns we have mentioned above, and then put yourself in our shoes; If you lived here, would you want a soccer complex in your neighborhood?

Thank you for your consideration,

Best,

Melani Windham
Sr. Director, Sales
Bandai Namco Entertainment America
O: 817-251-4015
C: 972-741-3203

PROPERTY OWNER NOT
WITHIN 200 FT OF SUBJECT PROPERTY





Holtman Designworks Inc.
Firm No. BR-437
403 US 377 S
Arling, Texas 75228
Project Architect: Matthew R. Holtman
T: 940-240-0491

The PIT - Grapevine LLC.
7255 Meadow Hill Drive
Frisco, TX 75033
Project Contact: James Meese
T: 214-250-8616

MP Studio
Firm No. 201
201 Groveson St
San Antonio, TX 78210
Project Contact: Mark Proffitt, RLA
T: 210-314-6662

LEMIC, LLC.
Firm No. F-11722
612 W Nolana Ave
McAllen, TX 78504
Project Contact: Hilario Ortiz, JR.
T: 956-687-LEMIC

LANDSCAPE ARCHITECT

PROJECT OWNER

MEP ENGINEER

STRUCTURAL ENGINEER

CIVIL ENGINEER

PROJECT

SEAL

APRIL 29, 2019

REVISION STATUS

DATE: 4/29/19

REVISION

CUP-CITY COMMENTS

PROJECT INFORMATION

DRAWN BY:

CHECKED BY:

PROJECT MANAGER:

DATE:

SHEET AND DESCRIPTION

DIMENSIONAL CONTROL

SITE PLAN

C-2.1

NOTES

- SITE PLAN HAS BEEN PREPARED AS EXHIBIT FOR PROPERTY ZONED RECREATIONAL/AMUSEMENT LOCATED LESS THAN 100' FROM RESIDENTIAL DISTRICT.
- ALL PROPERTY LINES ABUTTING A RESIDENTIAL DISTRICT SHALL HAVE A 6' SCREEN FENCE PER SECTION 30 OF ZONING ORDINANCE.
- NO NET FILL OF SOIL IS ALLOWED ON SITE PER U.S. ARMY CORPS OF ENGINEERS REQUIREMENTS.
- YARD REQUIREMENTS: FRONT - 25 FEET, SIDE - 10 FEET, REAR - 10 FEET.
- LANDSCAPING REQUIREMENTS ARE PROVIDED PER SECTION 53 OF ZONING ORDINANCE.
- OFF-STREET PARKING HAS BEEN PROVIDED PER SECTION 56 OF THE ZONING ORDINANCE.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.
- ALL PAVEMENT SECTIONS AND EARTHWORK TO CONFORM TO RECOMMENDATIONS OF THE GEOTECH REPORT PERFORMED BY PROFESSIONAL SERVICES INDUSTRIES, INC. DATED 2/9/2016 (PSI PROJ. NO. 0342998)
- ELECTRICAL CUT-OFF TO BE LOCATED ABOVE THE 572 CORNER.

LEGEND

- PAVEMENT (CONCRETE) 7" 3500 P.S.I. 12" SCARIFY AND RECOMPACT SUBGRADE
- PAVEMENT (ASPHALT) LIGHT DUTY 2" TYPE D ON 6" T&DOT TYPE A OR D, GRADE 1 OR 2 GRANULAR BASE 12" SCARIFY AND RECOMPACT SUBGRADE
- PAVEMENT (ASPHALT) MEDIUM DUTY 2" TYPE D ON 8" T&DOT TYPE A OR D, GRADE 1 OR 2 GRANULAR BASE 8" LIME STABILIZED SUBGRADE
- PAVEMENT (ASPHALT) HEAVY DUTY 3" TYPE D ON 8" T&DOT TYPE A OR D, GRADE 1 OR 2 GRANULAR BASE 8" LIME STABILIZED SUBGRADE (ALL PUBLIC PAVEMENT)
- SIDEWALK/FLATWORK 4" 3500 P.S.I. THICK OTHERWISE
- BFR CONSTRUCT BARRIER FREE RAMP
- TRAFFIC DIRECTIONAL ARROW

SITE DATA

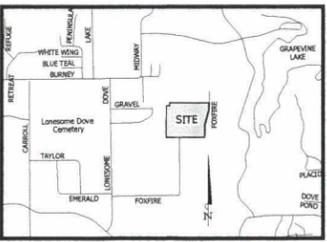
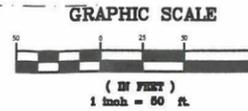
LAND USE:	
RECREATIONAL/AMUSEMENT	
TOTAL LOT AREA:	18.929 ACRES (GROSS) 18.512 ACRES (NET)
PARKING REQUIRED FOR USE:	20 SPACES PLUS 1 FOR EACH 6 SEATS (OUTDOOR COMMERCIAL)
AMUSEMENTS REF. ORD. 56.C.8)	450 SPECTATORS
6-75 - 75 - 20 - 95 REQUIRED	
TOTAL SPACES PROVIDED:	228 SPACES - 8 HANDICAP SPACES (4 REQ'D HANDICAP)
RESTROOM/SHOWER FACILITY	1,600 SQ. FT.
OPEN SPACE REQUIRED (20% SITE AREA)	164,908 SF (3.79 AC)
OPEN SPACE PROVIDED	691,740.72 SF (15.88 AC)
BUILDING COVERAGE ALLOWED (60% MAX)	494,728 SF (11.36 AC)
BUILDING COVERAGE PROVIDED	1,600 SF (0.04 AC)
IMPERVIOUS SURFACE ALLOWED (80% MAX)	659,638 SF (15.14 AC)
IMPERVIOUS SURFACE PROVIDED	114,642 SF (2.64 AC)

Conditional Use Request CU19-08 is a request to allow for the development of a soccer field complex along with stadium lighting.

Plant material selected to screen the vehicle use areas from the right-of-way and from adjacent properties shall be a minimum of thirty (30) inches in height at the time of planting and be the type of species that will attain a minimum height of three (3) feet one (1) year after planting.

BENCHMARKS

BM#1:
TOP OF EXISTING SANITARY SEWER MANHOLE RIM LOCATED NEAR THE SOUTHWEST PROPERTY CORNER.
N: 7040527.68
E: 2390864.22
ELEV = 568.15
SOURCE BENCHMARK:
GRAPEVINE MONUMENT NUMBER 1, ALUMINUM ROD WITH CAP FOUND 0.4 FEET BELOW ACCESS COVER, ACCESS COVER STAMPED "CITY OF GRAPEVINE, NOV. 17". MONUMENT IS LOCATED APPROXIMATELY 300 FEET SOUTH OF KIMBALL ROAD AND SILVERCREST LANE INTERSECTION IN THE CENTER OF A GRASS MEDIAN.
ELEV = 663.45



CASE NAME: GRAPEVINE SOCCER COMPLEX
CASE NUMBER: CU19-08
LOCATION: 3451 FOXFIRE LANE

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: _____

SHEET _____ OF _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

DEPARTMENT OF DEVELOPMENT SERVICES

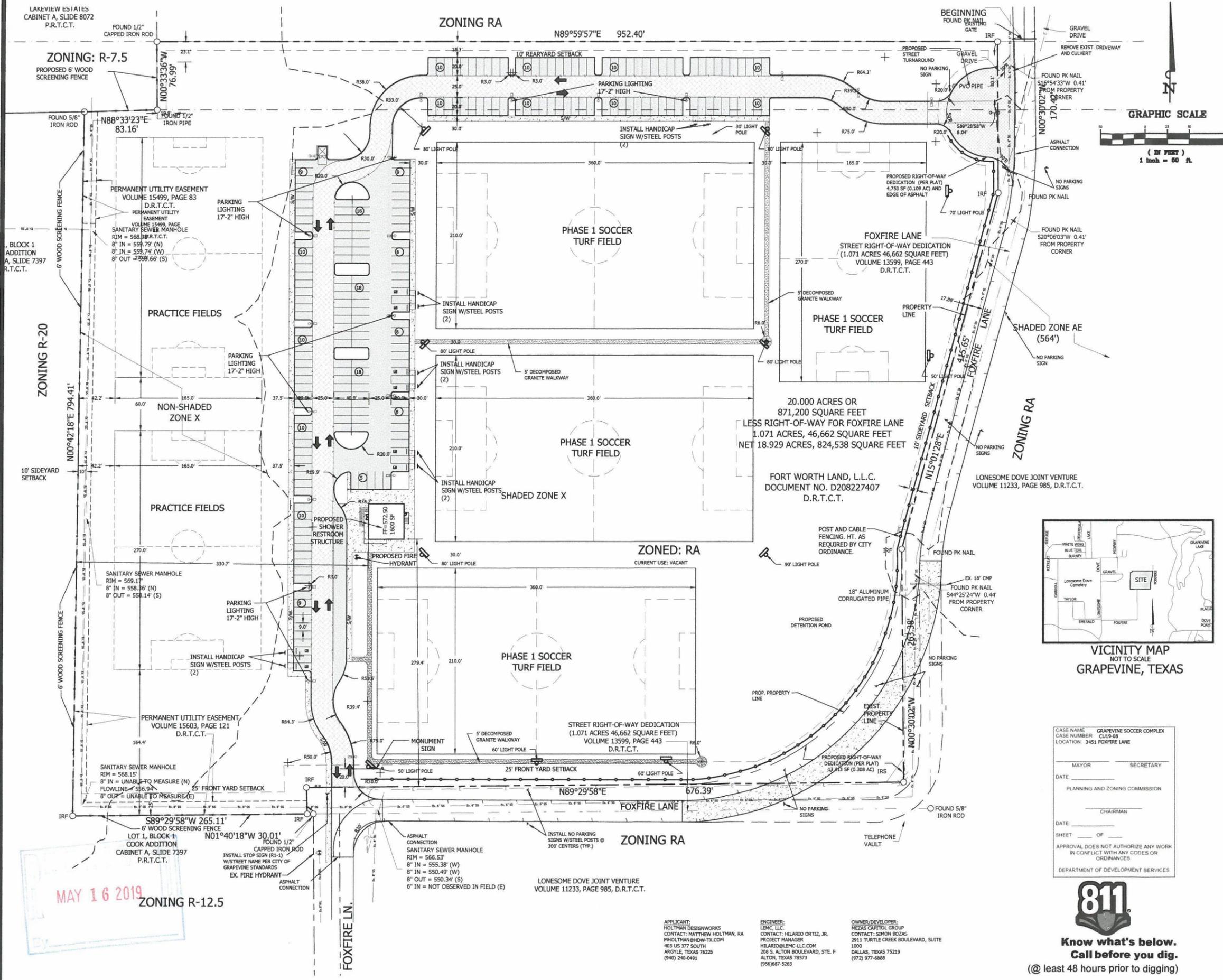


**Know what's below.
Call before you dig.
(@ least 48 hours prior to digging)**

APPLICANT:
HOLTMAN DESIGNWORKS
CONTACT: MATTHEW HOLTMAN, RA
MHOLTMAN@HWDW-TX.COM
403 US 377 SOUTH
ARLING, TEXAS 75226
(940) 240-0491

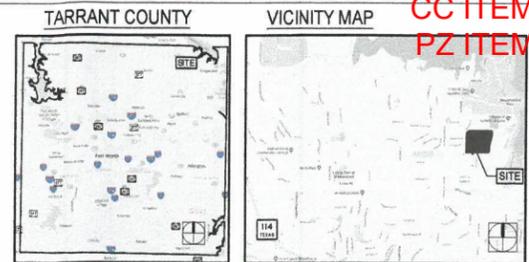
ENGINEER:
LEMIC, LLC.
CONTACT: HILARIO ORTIZ, JR.
PROJECT MANAGER
HILARIO@LEMIC-LLC.COM
403 US 377 SOUTH
ARLING, TEXAS 75226
(956) 687-5263

OWNER/DEVELOPER:
MEZAS CAPITAL GROUP
CONTACT: SIMON BOZAS
2911 TURTLE CREEK BOULEVARD, SUITE 1000
1000
DALLAS, TEXAS 75219
(972) 977-6888



MAY 16 2019

ZONING R-12.5



CC ITEM # 8, 27, 28
PZ ITEM # 7, 11, 12



Holtman Designworks Inc.
Firm No: BR-437
403 LB 377 B
Arling, Texas 76226
Project Architect: Matthew R. Holtman
T: 940-240-0491

The PIT - Grapevine LLC.
7255 Meadow Hill Drive
Ft. Worth, TX 76103
Project Contact: James Meese
T: 214-250-8616

GENERAL LANDSCAPE STANDARDS - SEC. 53

THE FOLLOWING CRITERIA AND STANDARDS SHALL APPLY TO LANDSCAPE MATERIALS AND INSTALLATION.

- 1. QUALITY**
PLANT MATERIALS USED IN CONFORMANCE WITH THE PROVISIONS OF THIS ORDINANCE SHALL CONFORM TO THE STANDARDS OF THE AMERICAN STANDARD FOR NURSERY STOCK, OR EQUAL THERETO. GRASS SEED, SOD AND OTHER MATERIAL SHALL BE CLEAN AND REASONABLY FREE OF WEEDS AND NOXIOUS PESTS AND INSECTS.
- 2. TREES**
TREES REFERRED TO IN THIS SECTION SHALL BE OF A SPECIES COMMON TO THIS AREA OF TEXAS AND SHALL HAVE AN AVERAGE SPREAD OF CROWN GREATER THAN 15 FEET AT MATURITY. TREES HAVING A LESSER AVERAGE MATURE CROWN OF 15 FEET MAY BE SUBSTITUTED BY GROUPING THE SAME SO AS TO CREATE THE EQUIVALENT OF A 15 FEET CROWN SPREAD. TREES SHALL BE OF A MINIMUM OF THREE CALIPER INCHES WHEN MEASURED SIX INCHES ABOVE GROUND, AND SHALL BE SELECTED FROM THE LIST OF APPROVED TREES, MAINTAINED BY THE DIRECTOR OF DEVELOPMENT SERVICES AS APPROVED BY THE PLANNING AND ZONING COMMISSION.
- 3. SHRUBS AND HEDGES**
SHRUBS SHALL BE A MINIMUM OF TWO FEET IN HEIGHT WHEN MEASURED IMMEDIATELY AFTER PLANTING. HEDGES, WHERE INSTALLED, SHALL BE PLANTED AND MAINTAINED SO AS TO FORM A CONTINUOUS UNBROKEN, SOLID, VISUAL SCREEN WHICH WILL BE THREE FEET HIGH WITHIN ONE YEAR AFTER TIME OF PLANTING.
- 4. VINES**
VINES SHALL BE A MINIMUM OF TWO FEET IN HEIGHT IMMEDIATELY AFTER PLANTING AND MAY BE USED IN CONJUNCTION WITH FENCES, SCREENS, OR WALLS TO MEET SCREENING REQUIREMENTS SPECIFIED.
- 5. GROUND COVER**
GROUND COVERS USED IN LIEU OF GRASS IN WHOLE AND IN PART SHALL BE PLANTED IN SUCH A MANNER AS TO PRESENT A FINISHED APPEARANCE AND REASONABLE COMPLETE COVERAGE WITHIN ONE YEAR OF PLANTING.
- 6. LAWN GRASS**
GRASS AREAS MAY BE SODDED, PLUGGED, SPRIGGED OR SEEDING EXCEPT THAT SOLID SOD SHALL BE USED IN SWALES, BERMS, OR OTHER AREAS SUBJECT TO EROSION.
- 7. CREDIT FOR EXISTING TREES**
ANY TREES PRESERVED ON A SITE MEETING THE HEREIN SPECIFICATIONS SHALL BE CREDITED TOWARD MEETING THE REQUIREMENT OF ANY LANDSCAPE OF ANY LANDSCAPING PROVISION OF THIS SECTION. TREES OF EXCEPTIONAL QUALITY DUE TO SIZE, LARGE CANOPY COVER, TRUNK DIAMETER, RARENESS, AGE OR SPECIES MAY, AT THE DISCRETION OF THE DIRECTOR, BE CREDITED AS TWO TREES FOR THE HEREIN MINIMUM REQUIREMENTS.

TREE PRESERVATION LEGEND



TREE PRESERVATION - SEC. 52

LOT INFORMATION

SITE AREA =	18,928 ACRES (GROSS)
EXISTING TREES TO REMAIN =	1 TREE
EXISTING TREES TO BE REMOVED =	63 TREES
REPLACEMENT TREES REQUIRED:	1 TREE @ 3 CAL. IN
	110 TREES

LANDSCAPE REGULATIONS - SEC. 53

H. OFF-STREET PARKING & VEHICULAR USE

PHASE 1

GROSS PARKING LOT AREA =	43,246 SF
PARKING LANDSCAPE AREA REQUIRED: 10% GROSS PARKING =	4,324.6 SF
LANDSCAPE AREA PROVIDED =	12,889 SF
MINIMUM TREES REQUIRED: 1 TREE / 400 SF =	11 TREES
TREES PROVIDED =	35 TREES

2. PERIMETER LANDSCAPE TREES REQUIRED: 1 TREE / 50 LF = 15 TREES
PERIMETER LANDSCAPE TREES PROVIDED = 39 TREES

I. NON-VEHICULAR OPEN SPACE

OPEN SPACE REQUIRED: 20% SITE AREA =	164,906 SF
OPEN SPACE PROVIDED =	691,740.72 SF

3. OPEN SPACE TREES REQUIRED: 1 TREE / 2500 SF = 66
OPEN SPACE TREES PROVIDED = 78

TOTAL TREES PROVIDED

EXISTING TREE	1 TREE
ORNAMENTAL TREES	8 TREES
SHADE TREES	114 TREES

TURF LEGEND

TURF INSTALLATION BY OWNER, 271,300 SF	
TIFWAY 419 BERMUDA GRASS, 373,505.72 SF	
NATIVE AMERICAN SEED DRANFIELD MIX, 46,935 SF	

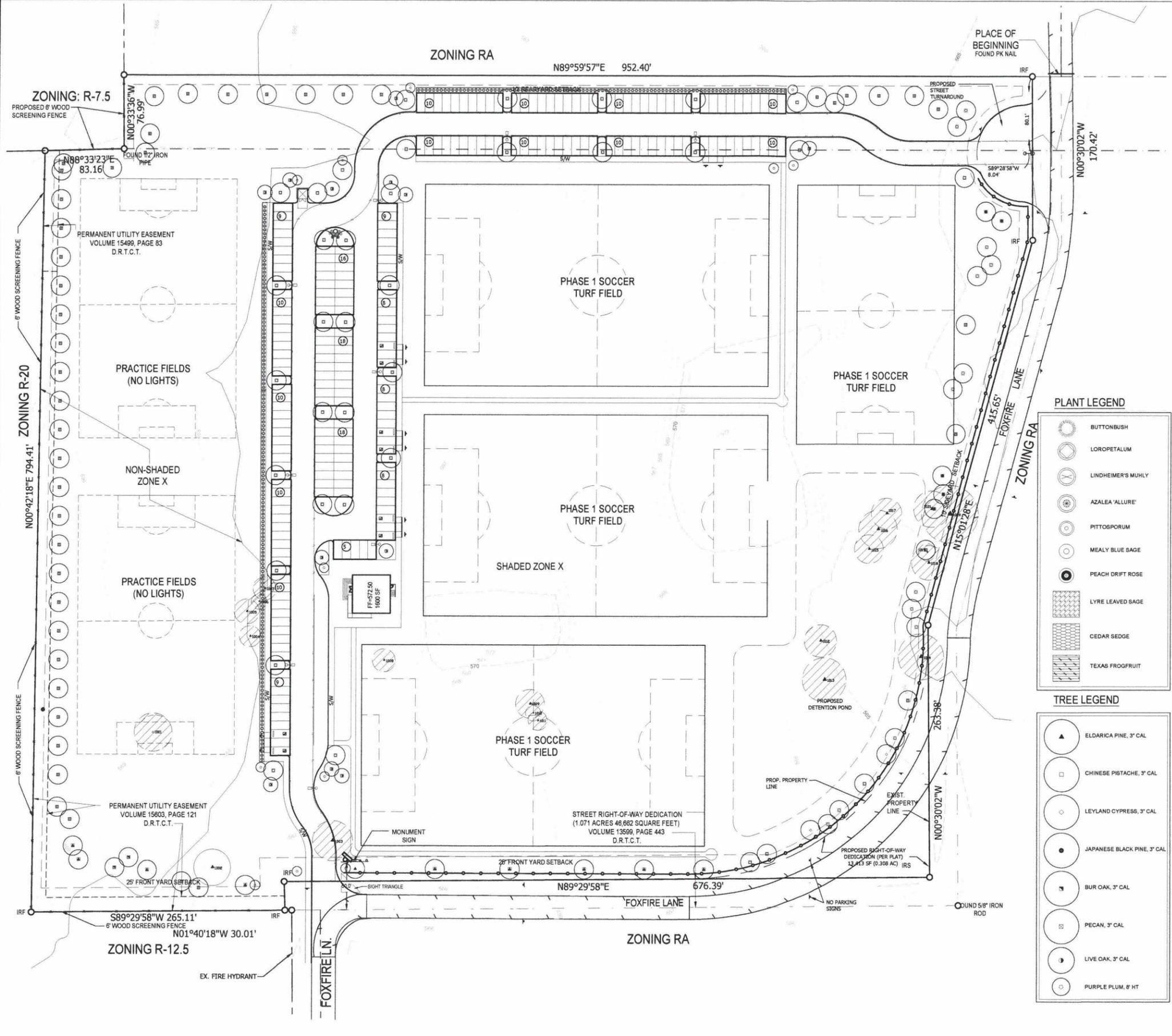
CASE NAME: GRAPEVINE SOCCER COMPLEX
CASE NUMBER: CUI9-08
LOCATION: 3451 FOXFIRE LANE

MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION
CHAIRMAN _____

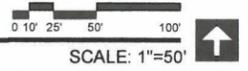
DATE: _____
SHEET 2 OF 4

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.
DEPARTMENT OF DEVELOPMENT SERVICES

- PLANT LEGEND**
- BUTTONBUSH
 - LOROPETALUM
 - LINDHEIMER'S MUHLY
 - AZALEA 'ALLURE'
 - PITTOSPORUM
 - MEALY BLUE SAGE
 - PEACH DRIFT ROSE
 - LYRE LEAVED SAGE
 - CEDAR SEDGE
 - TEXAS FROGFRUIT
- TREE LEGEND**
- ELДАРICA PINE, 3" CAL.
 - CHINESE PISTACHE, 3" CAL.
 - LEYLAND CYPRESS, 3" CAL.
 - JAPANESE BLACK PINE, 3" CAL.
 - BUR OAK, 3" CAL.
 - PECAN, 3" CAL.
 - LIVE OAK, 3" CAL.
 - PURPLE PLUM, 8" HT.



1 PLANTING PLAN
PLAN



- MEP ENGINEER
- STRUCTURAL ENGINEER
- CIVIL ENGINEER
- LANDSCAPE ARCHITECT
- PROJECT

The PIT - Performance Indoor Training
3451 Foxfire Lane
Grapevine, Texas

CUP Submission

March 3, 2019 REVISION STATUS

DATE:	3/4/19
REVISION:	CUP SUBMISSION

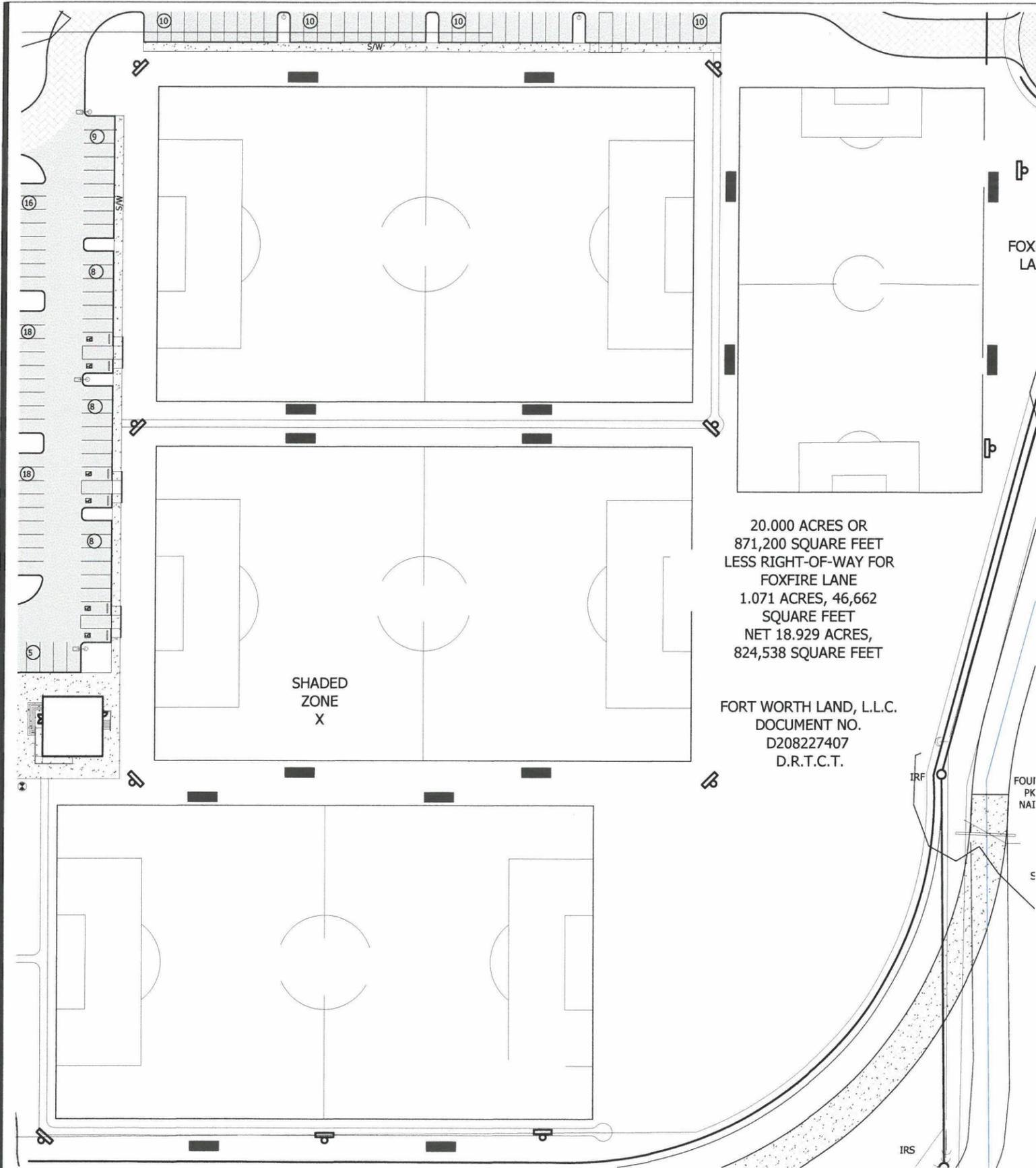
PROJECT INFORMATION

DRAWN BY: _____
CHECKED BY: _____
PROJECT MANAGER: _____
DATE: _____

SHEET AND DESCRIPTION

LANDSCAPE PLAN

LP1.1

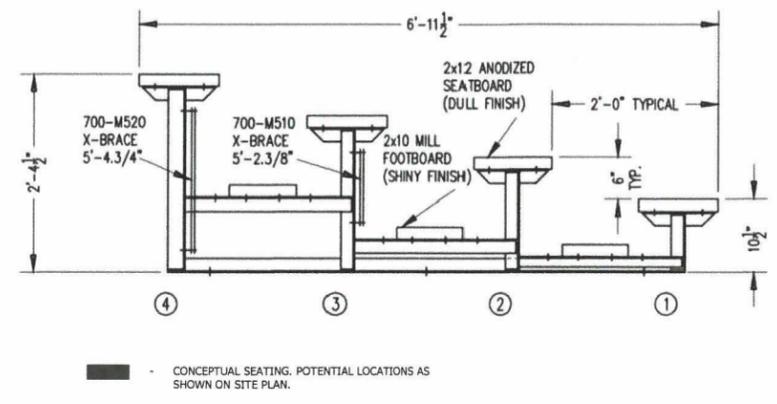
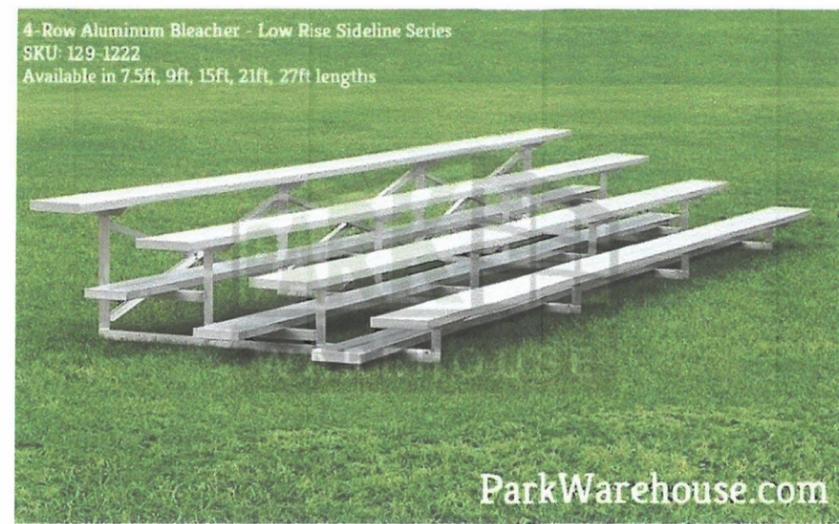


20.000 ACRES OR
871,200 SQUARE FEET
LESS RIGHT-OF-WAY FOR
FOX FIRE LANE
1.071 ACRES, 46,662
SQUARE FEET
NET 18.929 ACRES,
824,538 SQUARE FEET

FORT WORTH LAND, L.L.C.
DOCUMENT NO.
D208227407
D.R.T.C.T.

1 MODULAR SPECTATOR SEATING LAYOUT
SCALE: NOT TO SCALE

ALL SEATING SHOWN IS SUBJECT TO
OWNER AND CITY OF GRAPEVINE FINAL
APPROVAL. INFORMATION SHOWN
ONLY TO PROVIDE POTENTIAL
LOCATIONS OF SPECTATOR SEATING
AND POTENTIAL STYLE.



2 MOD. SPECT. SEAT ELEV.
SCALE: 1/4" = 1'-0"

CASE NAME: GRAPEVINE SOCCER COMPLEX
CASE NUMBER: CU19-08
LOCATION: 3451 FOX FIRE LANE

MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION

CHAIRMAN _____
DATE: _____
SHEET _____ OF _____

APPROVAL DOES NOT AUTHORIZE ANY WORK
IN CONFLICT WITH ANY CODES OR
ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

CONDITIONAL USE REQUEST CU 19-08
IS A REQUEST TO ALLOW FOR THE DEVELOPMENT OF A
SOCCER FIELD COMPLEX ALONG WITH STADIUM LIGHTING.

APPLICANT: HOLTMAN DESIGNWORKS
CONTACT: MATTHEW HOLTMAN, RA
MHOLTMAN@HDW-TX.COM
403 U.S. HWY 377
ARGYLE, TX 76226
(940) 240-0491

ENGINEER: LEFEVRE ENGINEERING, LLC.
CONTACT: HILARIO ORTIZ, JR. PM
HILARIO@LEFEVREGROUP.NET
612 NOLANA, SUITE 520
MCALLEN, TX 78504
(956) 687-5263

OWNER/DEVELOPER: MEZAS CAPITOL GROUP
CONTACT: SIMON BOZAS
2911 TURTLE CREEK BLVD., STE1000
DALLAS, TX 75219
(972) 977-6888

Holtman Designworks Inc.
Firm No: BR-437
403 US 377 S
Argyle, Texas 76226
Project Architect: Matthew R. Holtman
T: 940-240-0491

PROJECT OWNER
The PIT - Grapevine LLC.
7255 Meadow Hill Drive
Frisco, TX 75033
Project Contact: James Messe
T: 214-250-8516

MEP ENGINEER

STRUCTURAL ENGINEER

CIVIL ENGINEER
LEMCO, LLC.
Firm No: F-11722
612 W Nolana Ave
McAllen, TX 78504
Project Contact: Hilario Ortiz, JR.
T: 956-687-LEMCO

LANDSCAPE ARCHITECT
MP Studio
Firm No:
201 Cleveland St
San Antonio, TX 78210
Project Contact: Mark Paddala, RLA
T: 210-314-6582

PROJECT

The PIT - Performance Indoor Training
3451 Foxfire Lane
Grapevine, Texas

CUP Submission

APRIL 29, 2019
REVISION STATUS

DATE	REVISION	COMMENTS
4/29/19		

DRAWN BY: _____
CHECKED BY: _____
PROJECT MANAGER: _____
DATE: _____

SHEET AND DESCRIPTION
CONCEPTUAL SEATING

THIS DESIGN WAS DONE IN ACCORDANCE WITH ILLUMINATING SOCIETY OF NORTH AMERICA STANDARDS

Pole	x-loc	y-loc	height	NEMA3	NEMA4	NEMA5	Total
S1	-195	120	80ft	8		8	16
S10	-64.9	-355.3	60ft	3	2	7	7
S11	-254.7	-359.5	50ft	2	2	1	5
S2	195	120	80ft	8		12	20.0
S3	-195	-120	80ft	5	2	6	13
S4	195	-120	90ft	8		4	12
S5	-195	360	80ft	4		4	8
S6	195	360	80ft	4	1	6	11
S7	402.1	290.1	70ft		3	3	6
S8	382.2	104.6	50ft		1	4	5
S9	81.5	-353.2	60ft	3	1	1	5
Total				45	12	51	108

CC ITEM # 6, 27, 28
 PZ ITEM # 7, 11, 12

Holtman Designworks Inc.
 Firm No: BR-437
 403 US 377 S.
 Argyle, Texas 76226
 Project Architect: Matthew R. Holtman
 T: 940-240-0491

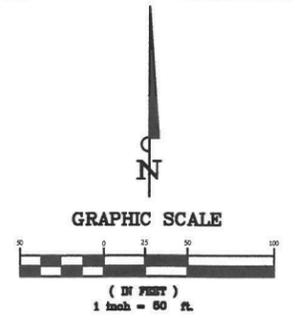
The PIT - Grapevine LLC.
 7205 Meadow Hill Drive
 Frisco, TX 75033
 Project Contact: James Meese
 T: 214-250-9818

LEMIC, LLC.
 Firm No: F-11722
 812 W Nolano Ave
 Mckinney, TX 75064
 Project Contact: Hilario Ortiz, JR.
 T: 956-887-LEMIC

MP Studio
 Firm No:
 201 Grovton St
 San Antonio, TX 78210
 Project Contact: Mark Padilla, RLA
 T: 210-314-5582

The PIT - Performance Indoor Training
 3451 Foxfire Lane
 Grapevine, Texas

CUP Submission



NEMA5
 Q-LED 1000W

NEMA4
 Q-LED 1000W

NEMA3
 Q-LED 1000W

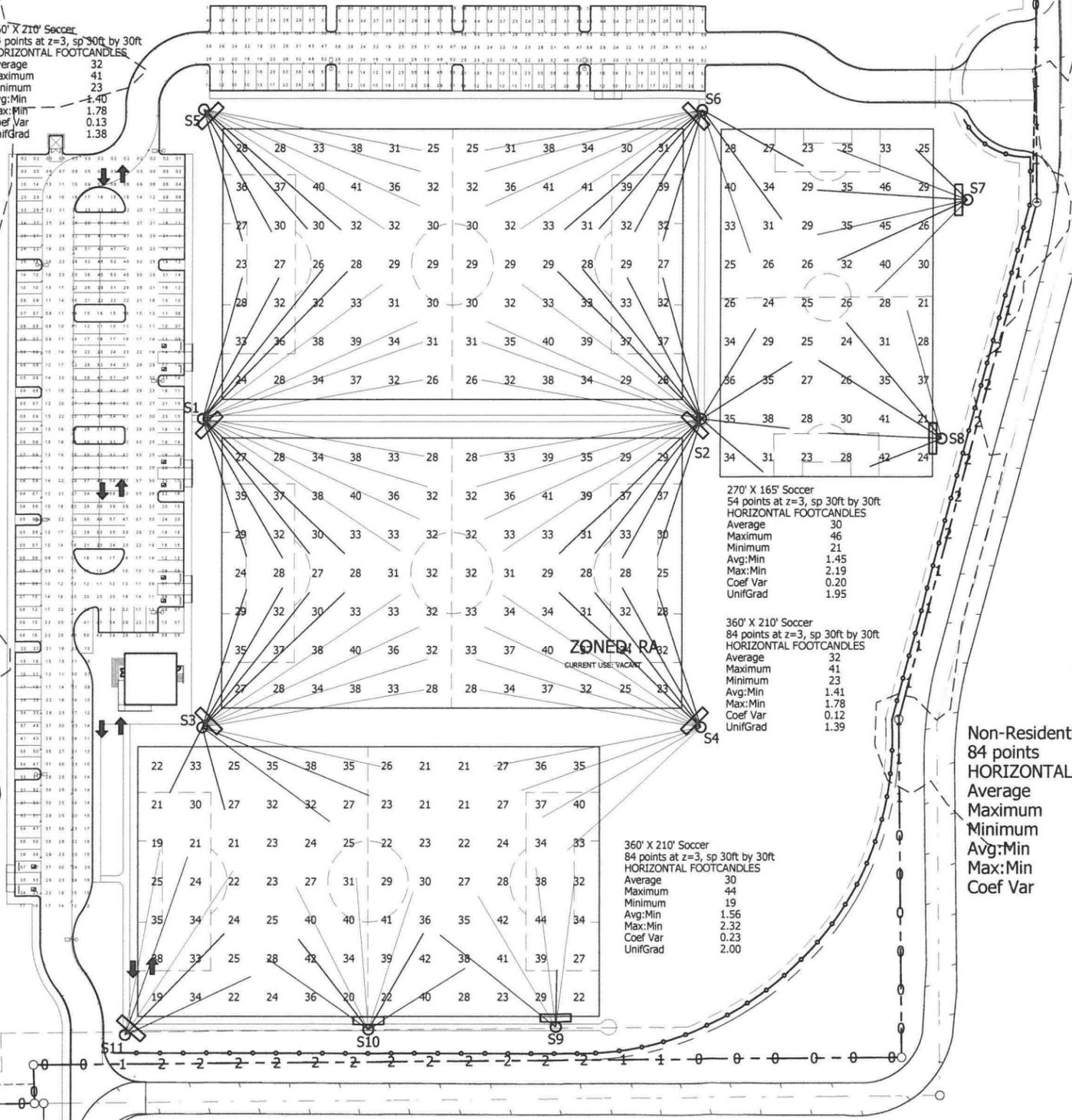
360' X 210' Soccer
 84 points at z=3, sp 30ft by 30ft
 HORIZONTAL FOOTCANDLES
 Average 32
 Maximum 41
 Minimum 23
 Avg:Min 1.40
 Max:Min 1.78
 Coef Var 0.13
 UniGrad 1.38

270' X 165' Soccer
 54 points at z=3, sp 30ft by 30ft
 HORIZONTAL FOOTCANDLES
 Average 30
 Maximum 46
 Minimum 21
 Avg:Min 1.45
 Max:Min 2.19
 Coef Var 0.20
 UniGrad 1.95

360' X 210' Soccer
 84 points at z=3, sp 30ft by 30ft
 HORIZONTAL FOOTCANDLES
 Average 32
 Maximum 41
 Minimum 23
 Avg:Min 1.41
 Max:Min 1.78
 Coef Var 0.12
 UniGrad 1.39

Non-Residential Property
 84 points
 HORIZONTAL FOOTCANDLES
 Average 1
 Maximum 2
 Minimum 0
 Avg:Min N/A
 Max:Min N/A
 Coef Var 0.77

Residential Property
 41 points
 HORIZONTAL FOOTCANDLES
 Average 0
 Maximum 0
 Minimum 0
 Avg:Min N/A
 Max:Min N/A
 Coef Var 0.00



CASE NAME: GRAPEVINE SOCCER COMPLEX
 CASE NUMBER: CU19-08
 LOCATION: 3451 FOXFIRE LANE

MAYOR _____ SECRETARY _____
 DATE _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE _____
 SHEET _____ OF _____

APPROVAL DOES NOT AUTHORIZE ANY WORK
 IN CONFLICT WITH ANY CODES OR
 ORDINANCES

DEPARTMENT OF DEVELOPMENT SERVICES

Conditional Use Request CU19-08 is a request to allow for the development of a soccer field complex along with stadium lighting.

Plant material selected to screen the vehicle use areas from the right-of-way and from adjacent properties shall be a minimum of thirty (30) inches in height at the time of planting and be the type of species that will attain a minimum height of three (3) feet one (1) year after planting.

BENCHMARKS

BM#1:
 TOP OF EXISTING SANITARY SEWER MANHOLE RIM
 LOCATED NEAR THE SOUTHWEST PROPERTY CORNER.
 N: 7040527.68
 E: 2390864.22
 ELEV. = 568.15

SOURCE BENCHMARK:
 GRAPEVINE MONUMENT NUMBER 1, ALUMINUM ROD
 WITH CAP FOUND 0.4 FEET BELOW ACCESS COVER,
 ACCESS COVER STAMPED 'CITY OF GRAPEVINE, MON. 1'.
 MONUMENT IS LOCATED APPROXIMATELY 300 FEET
 SOUTH OF KENBALL ROAD AND SILVERCREEK LANE
 INTERSECTION IN THE CENTER OF A GRASS MEDIAN.
 ELEV. = 603.45'

APRIL 29, 2019

REVISION	DATE	REVISION STATUS
1	4/29/19	

DRAWN BY: _____
 CHECKED BY: _____
 PROJECT MANAGER: _____
 DATE: _____

THIS INFORMATION IS CONFIDENTIAL AND PROPRIETARY TO QUALITE SPORTS LIGHTING INC. AND IS NOT TO BE REVEALED OR DISTRIBUTED TO OTHERS WITHOUT THE PERMISSION OF QUALITE SPORTS LIGHTING, INC. OR USED IN ANY MANNER DETRIMENTAL TO THE INTEREST OF QUALITE SPORTS LIGHTING, INC.

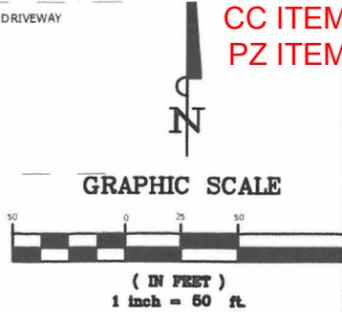
GUARANTEE IS BASED ON PROPER INSTALLATION, MINIMUM INPUT VOLTAGES, MOUNTING HEIGHT +/- 3 FEET, AND POLES PLACED WITHIN 4 FEET OF SPECIFIED LOCATIONS.

APPLICANT:
 HOLTMAN DESIGNWORKS
 CONTACT: MATTHEW R. HOLTMAN, RA
 MHOLTMAN@HDTW-TX.COM
 403 US 377 SOUTH
 ARGYLE, TEXAS 76226
 (940) 240-0491

ENGINEER:
 LEMIC, LLC.
 CONTACT: HILARIO ORTIZ, JR.
 PROJECT MANAGER
 HILARIO@LEMIC-LLC.COM
 208 S. ALTON BOULEVARD, STE. F
 ALTON, TEXAS 78573
 (956) 887-5263

OWNER/DEVELOPER:
 MEZAS CAPITAL GROUP
 CONTACT: SIMON BOZAS
 2911 TURTLE CREEK BOULEVARD, SUITE
 1000
 DALLAS, TEXAS 75219
 (972) 977-6886

811
 Know what's below.
 Call before you dig.
 (@ least 48 hours prior to digging)

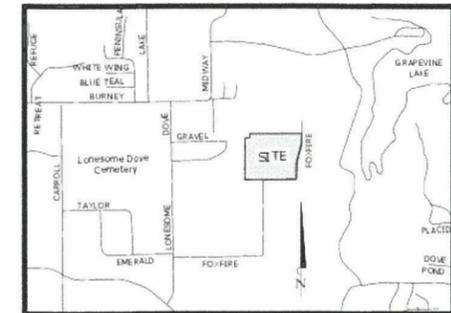
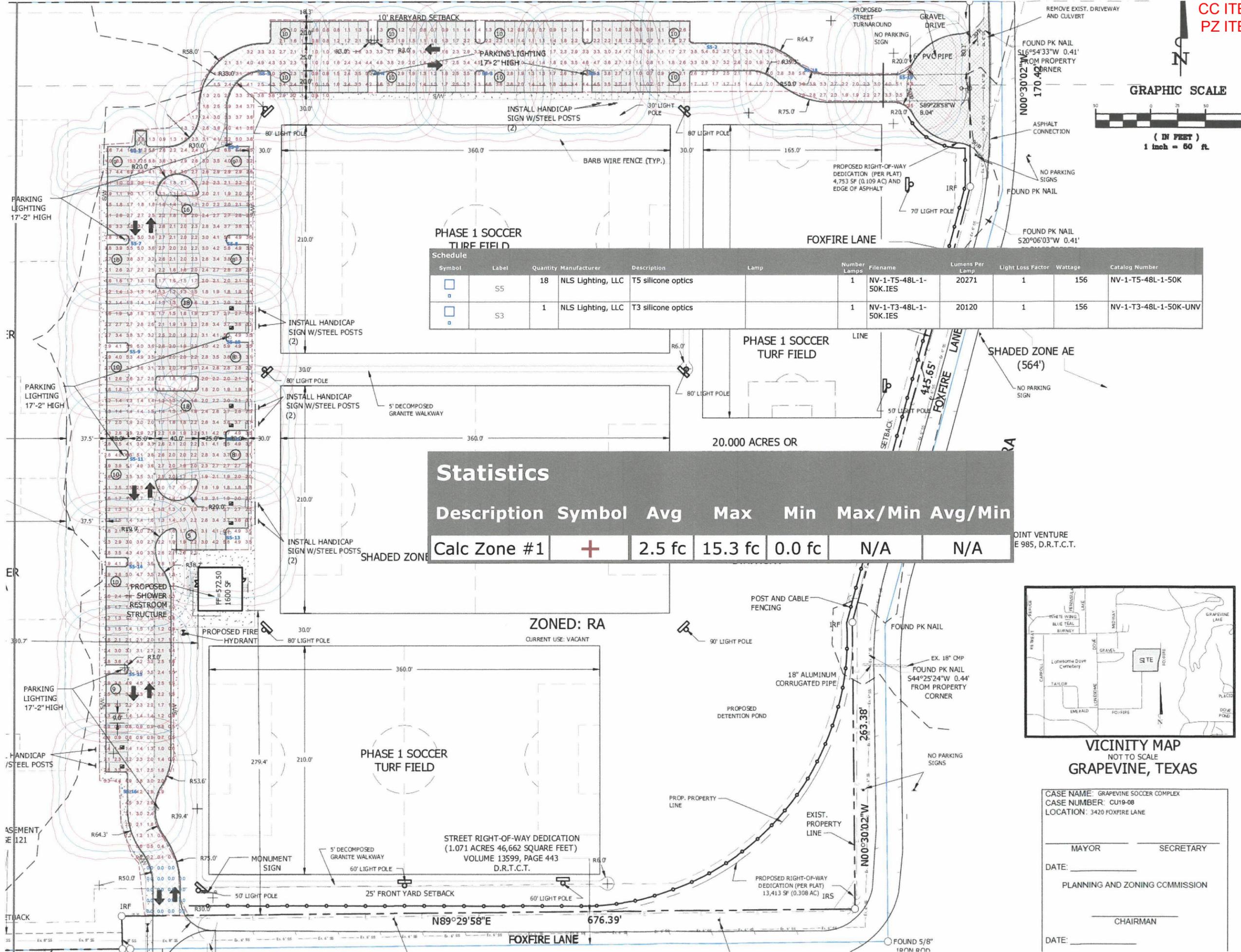


PHASE 1 SOCCER TURF FIELD

Symbol	Label	Quantity	Manufacturer	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	Catalog Number
□	S5	18	NLS Lighting, LLC	T5 silicone optics		1	NV-1-T5-48L-1-50K.IES	20271	1	156	NV-1-T5-48L-1-50K
□	S3	1	NLS Lighting, LLC	T3 silicone optics		1	NV-1-T3-48L-1-50K.IES	20120	1	156	NV-1-T3-48L-1-50K-UNV

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.5 fc	15.3 fc	0.0 fc	N/A	N/A



VICINITY MAP
NOT TO SCALE
GRAPEVINE, TEXAS

CASE NAME: GRAPEVINE SOCCER COMPLEX
CASE NUMBER: CU19-08
LOCATION: 3420 FOXFIRE LANE

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: _____

THE PIT - GRAPEVINE PARKING LOT

Designer
Date: 4/22/2019
Scale: Not to Scale
Drawing No.
Sheet No.

NLS
LIGHTING

NV SERIES

AREA LIGHTING

FORM AND FUNCTION

- Sleek, low profile housing
- Spec grade performance
- Engineered for optimum thermal management
- Low depreciation rate
- Reduces energy consumption and costs up to 65%
- Exceeds IES foot candle levels utilizing the least number of poles and fixtures per project
- Optical system designed for:
 - Parking Lots
 - Auto Dealerships
 - General Area Lighting

CONSTRUCTION

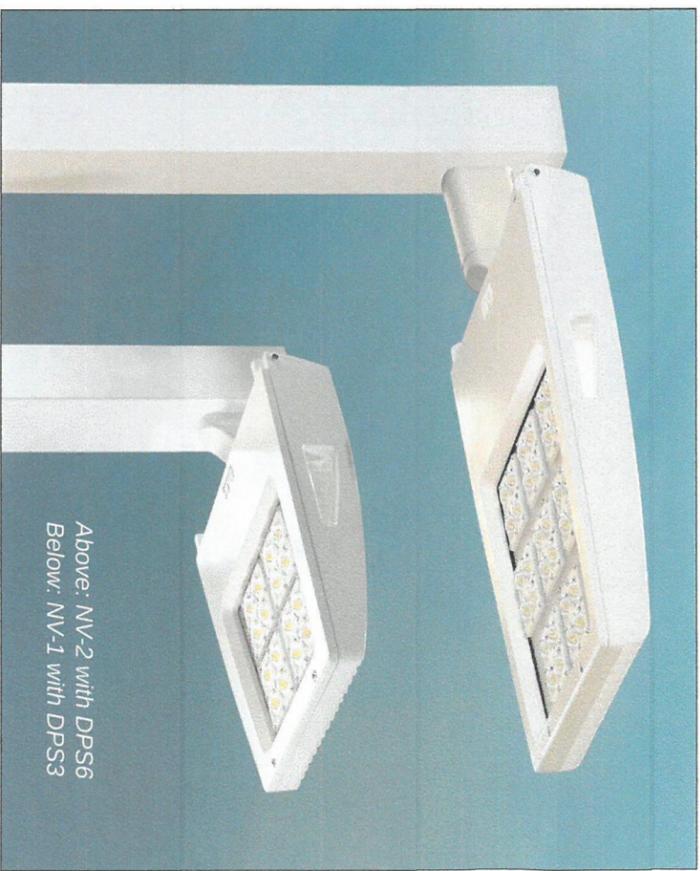
- Die Cast Aluminum
- External cooling fins, Finite Element Analysis (FEA) designed
- Corrosion resistant external hardware
- One-piece silicone gasket ensures IP-65 seal for electronics compartment
- One-piece Optics Plate™ mounting silicone Micro Optics
- Two-piece silicone Micro Optic system ensures IP-67 level seal around each PCB
- Grade 2 Clear Anodized Optics Plate™ standard

FINISH

- 3-5 mils electrostatic powder coat.
- NLS' standard high-quality finishes prevent corrosion protects against and extreme environmental conditions

WARRANTY

Five-year limited warranty for drivers and LEDs.



Above: NV-2 with DPS6
Below: NV-1 with DPS3

LISTINGS

- Certified to UL 1598
- UL 8750
- CSA C22.2 No. 250.0
- DesignLights Consortium® (DLC)
- DesignLights Consortium Premium® (DLCP)
- IP65/ IP67 Rated
- 3G Vibration Rated per ANSI C136.31-2010



LED WATTAGE CHART

	16L	32L	48L	64L	80L	96L	112L	128L
350 millilamps	18w	-	-	-	-	-	-	-
530 millilamps	28w	-	-	-	168w	200w	243w	265w
700 millilamps	36w	71w	104w	136w	168w	200w	243w	265w
1050 millilamps	56w	106w	156w	205w	263w	316w	366w	409w

Project Name:

Type:

Cat #	Light Dist.	No. of LEDs	Millilamps	Kelvin	Volts	Mounting	Color	Options
NV Size 1 (NV-1)	Type 2 (T2)	NV-1 16 (16L)	350 (35)	3000K (30K)	120-277 (UNV)	Direct Pole For (NV-1): Single, D180 3" (DPS3)	Bronze (BRZ)	Bird Deterrent (BD) Marine Grade Finish (MGF)
NV Size 2 (NV-2)	Type 3 (T3)	32 (32L)	*NV-1 Only 530 (53)	4000K (40K)	347-480 (HV)	For (NV-1): D90, T90, T120, OD 7" (DPS7)	White (WHT)	Optic Plate Painted to Match Fixture (OPP) Mounting Painted to Match Fixture (MP) Nema 7-Pin Receptacle (PE7)
	Type 4 (T4)	64 (64L)	*NV-1 Only 530 (53)	5000K (50K)		For (NV-2): Single, D180 6" (DPS6)	Silver (SVR)	Photocell + Receptacle (PCR) Receptacle + Shorting Cap (PER)
	Type 5 (T5)	80 (80L) 96 (96L) 112 (112L) 128 (128L)	700 (7) 1050 (1)			For (NV-2): D90, T90, T120, OD 11" (DPS11)	Black (BLK)	FSP-211 with Motion Sensor (UNV Voltage) (FSP-20) *9'-20' Heights (FSP-40) *21'-40' Heights
	Nema 2 24" Narrow Beam (N2)					Knuckle Mount (KM) Sweep Arm (SA) Wall Mount (WM)	Graphite (GPH)	Surge Protector (10K) Quick Mount Bracket (QMB)
	*NV-1 Only					Trunnion Mount (TM) Standard finish is stainless steel. Can be painted to match fixture	Grey (GRY)	Retrofit Mount Bracket (RQMB) Round Pole Adaptor 3" - 4" Pole (RPA4) Round Pole Adaptor 5" - 6" Pole (RPA5)
	Nema 3 30" Narrow Beam (N3)					Tennis Arm (TA)	Custom (CS)	Rotated Optic Left (ROL) Rotated Optic Right (ROR) House Side Shield (HSS)

*See next page for Arm Configurations
*For Round Pole, please specify RPA4 or RPA5

*HSS not applicable with N2 - NEMA 24" Optics
*HSS not applicable with N3 - NEMA 30" Optics



SQUARE STRAIGHT STEEL POLE

POLES + BASES

POLE

Shall be Straight Steel Grade B Extrusion with yield of 46,000 PSI. Conforms to ASTM A500 Standards. Poles have ground lug welded inside hand-hole opposite side of the pole extrusion. Pole Extrusion is conjoined to Anchor Base by welding internal to pole shaft and external to pole shaft. Hand Hole reinforcement is Constructed of 3"x 5" rectangular steel tubing which is welded to pole shaft for added strength.

ANCHOR BASE

Manufactured from A36 Steel rated at 36,000 PSI, conforms the ASTM –A36 standards. Base Plate vary in size from 1" thick for poles 21 feet and over, 3/4" thick for poles 10 to 20 feet.

COATING

All poles have minimum 3mm powder coat finish. All poles are sandblasted prior to powder coat application.

ANCHORAGE

All anchor bolts are fully hot dipped galvanized and come with two galvanized nuts and washers per bolt.

BASE COVER, HAND HOLE COVER AND POLE CAP

All poles come with removable polymer pole cap installed. All poles caps are black finish. All base covers are made of aluminum and powder coated to match the pole. The hand hole covers are provided with internal bridge support and also powder coated to match pole finish.

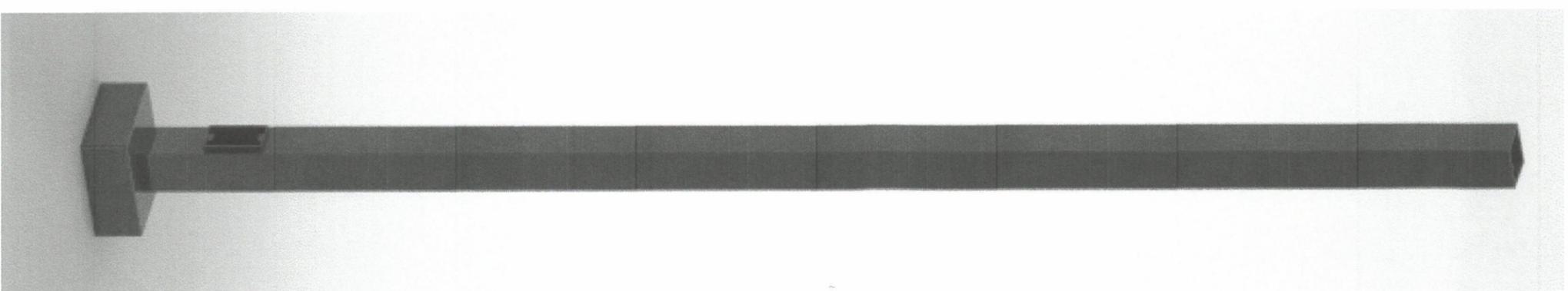
17'-2' max height

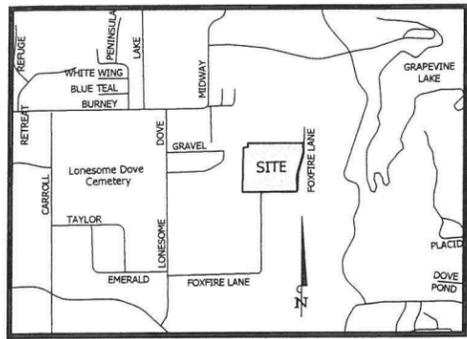


Project Name:

Type:

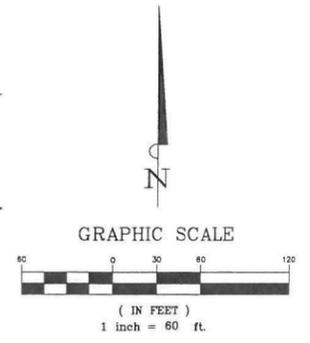
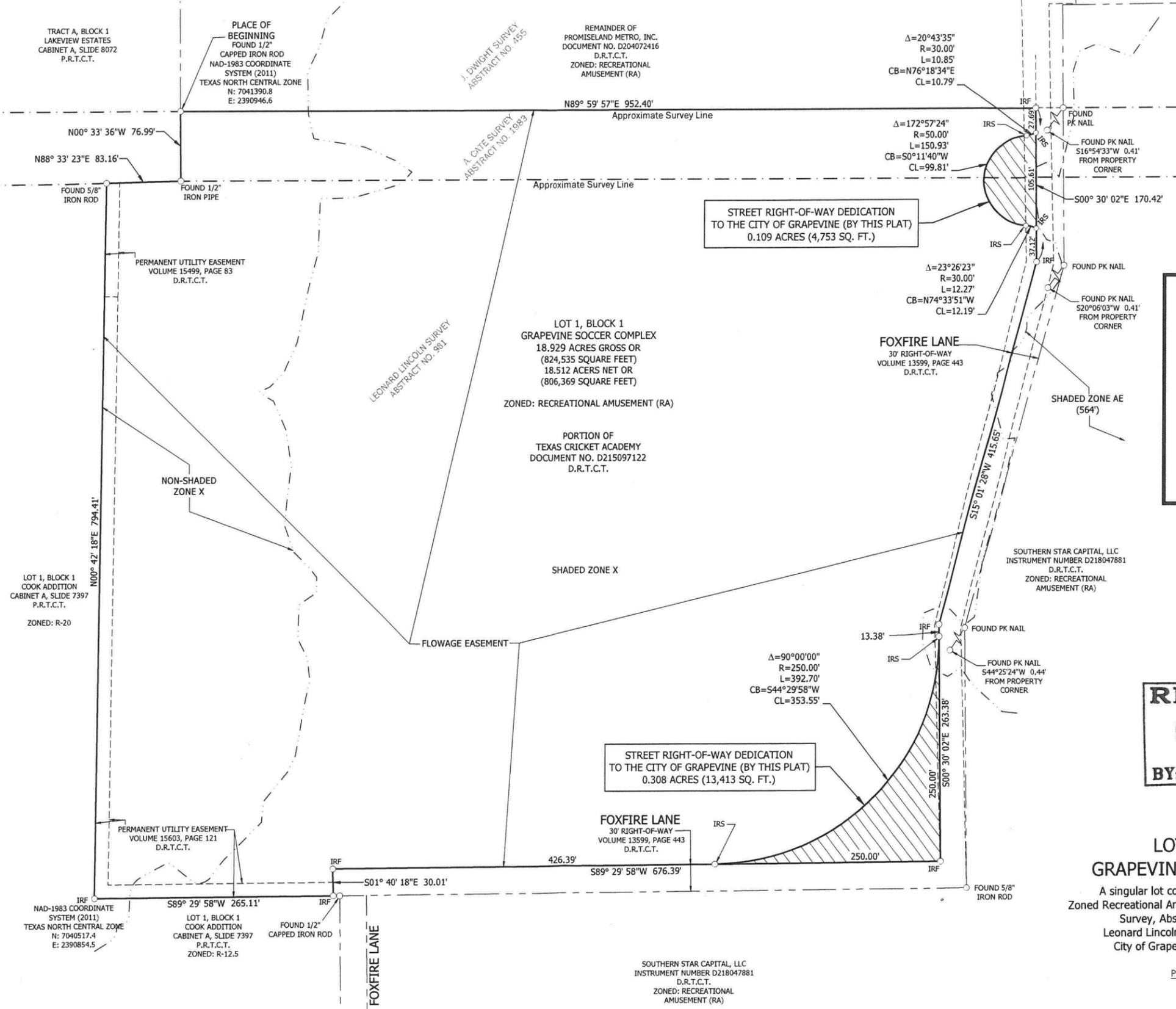
Cat #	Height	Pole Dim.	Size	Base Pattern	Orient	Color	Bolts	Enhancements
Square Straight Steel Pole (SSSP)	10' (10)	4" Square (4S)	.120 in (11G)	(10'-20') 8 3/8" - 10 3/8" Bolt Circle (9BC)	Single (SGL)	Bronze (BRZ)	3/4" x 30" (3430)	GFI Kit (GFI)
	12' (12)							GFI Provision Only (PROV)
	14' (14)	5" Square (5S)	.180 in (7G)		Double (D-90)	White (WHT)	1" x 36" (136)	Galvanized (GLV)
	16' (16)				(D-180)	Silver (SVR)		Anti Corrosion (ACP)
	18' (18)	6" Square (6S)						
	20' (20)							
	22' (22)				Triple (T-90)	Green (GRN)		Tenon
	24' (24)				(T-90)	Hunter Green (HGN)		2 3/8" Round (T2R)
	25' (25)				Quad (QD)			3" Round (T3R)
	26' (26)							3 1/2" Round (T312R)
	28' (28)					Black (BLK)		4 1/2" Round (T412R)
	30' (30)					Graphite (GPH)		3 1/2" Square (T312S)
	30' (30)					Grey (GRY)		4 1/2" Square (T412S)
	35' (35)					Custom (CS)		5 1/2" Square (T512S)





VICINITY MAP
NOT TO SCALE
GRAPEVINE, TEXAS

- GENERAL NOTES:**
- All coordinates and bearings shown herein are Texas Coordinate System, NAD83 (CORS), Texas North Central Zone (4202). All distances shown herein are surface distances.
 - According to surveyor's interpretation of information shown on the National Flood Insurance Program (NFIP) "Flood Insurance Rate Map" (FIRM), Community Panel No. 48439C0105 K, dated September 25, 2009. The property appears to lie within Zone "AE" defined as "Based Flood Elevations determined, and Shaded Zone "X" defined as "Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage area less than 1 square mile; and areas protected by levees from 1% annual chance flood, and Non-Shaded Zone "X" and "Areas determined to be outside of the 0.2% annual chance floodplain" zone as defined by the U.S. Department of Housing and Urban Development, Federal Insurance Administration, or the Federal Emergency Management Agency.
 - The above referenced "FIRM" map is for use in administering the "NFIP"; it does not necessarily show all areas subject to flooding, particularly from local sources of small size, which could be flooded by severe, concentrated rainfall coupled with inadequate local drainage systems. There may be other streams, creeks, low areas, drainage systems or other surface or subsurface conditions existing on or near the subject property which are not studied or addressed as a part of the "NFIP".
 - All iron rods found (IRF) are 5/8-inch with a plastic cap stamped "RPLS 4838"
 - SOURCE BENCHMARK:** Grapevine Monument Number 1, Aluminum rod with cap found 0.4 feet below access cover, access cover stamped "CITY OF GRAPEVINE, MON. 1". Monument is located approximately 300 feet South of Kimball Road and Silvercrest Lane intersection in the center of a grass median. Elevation = 603.45'
 - The purpose of this plat is to create one lot for development.
 - No habitable structure may be built on the property.



PLANNING & ZONING COMMISSION:
Date Approved: _____
Chairman: _____
Secretary: _____

GRAPEVINE CITY COUNCIL:
Date Approved: _____
Mayor: _____
City Secretary: _____

RECEIVED
MAY 15 2019
BY:

**FINAL PLAT
LOT 1, BLOCK 1
GRAPEVINE SOCCER COMPLEX**

A singular lot consisting of 18.929 acres of land Zoned Recreational Amusement (RA) situated in the A. Cate Survey, Abstract Number 1983 and the Leonard Lincoln Survey, Abstract Number 981, City of Grapevine, Tarrant County, Texas.
1 Lot

PREPARED: MAY 2019
SHEET NO. 1 OF 2
PREPARED BY: _____ PROJECT NO.: 999-18-076

BANNISTER
ENGINEERING
240 N. MITCHELL RD.
Mansfield, TX 76063 Phone: 817.842.2094
TBPLS REGISTRATION NO. 10193823

LEGEND

N	NORTH
S	SOUTH
E	EAST
W	WEST
°	DEGREES
'	MINUTES/FEET
"	SECONDS/INCHES

D.R.T.C.T.
DEED RECORDS
TARRANT COUNTY
TEXAS
P.R.T.C.T.
PLAT RECORDS
TARRANT COUNTY, TEXAS

ENGINEER / SURVEYOR:
BANNISTER ENGINEERING, LLC
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
CONTACT: MICHAEL DAVIS, RPLS
PHONE: 817-842-2094
Mike@bannistereng.com

OWNER
Mezas Capitol Group
Contact: Simon Bozas
2911 Turtle Creek Blvd, Suite 1000
Dallas, Texas 75219
(972)977-6888

DEVELOPER
Holtman Designworks
Contact: Matthew Holtman
403 US 377 S
Argyle, Texas 76226
(940)240-0491

OWNER'S CERTIFICATE

State of Texas §
County of Tarrant §

WHEREAS, **Mezas Capitol Group** is the owner of that certain 18.929 acres (824,535 square feet) of land in the A. Cate Survey, Abstract No. 1983 and Leonard Lincoln Survey, Abstract No. 981, City of Grapevine, Tarrant County, Texas, Being a portion of that certain tract of land described in a Special Warranty Deed to TEXAS CRICKET ACADEMY LLC, as recorded in Document No. D215097122, Deed Records, Tarrant County, Texas (D.R.T.C.T.), and being more particularly described, by metes and bounds, as follows:

BEGINNING at a one-half inch capped iron rod found for the North Northwest corner of said Texas Cricket Academy tract, same being the Southwest corner of the remaining portion of that certain called 62.796 acre tract of land described in a Special Warranty Deed with Vendor's Lien to PromiseLand Metro, Inc., as recorded in Document Number D204072416, D.R.T.C.T.

THENCE North 89 degrees 59 minutes 57 seconds East with the common line between said Texas Cricket Academy tract and the remaining portion of said PromiseLand Metro, Inc. tract, a distance of 952.40 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the existing West right-of-way line of Foxfire Lane (30' right-of-way), as recorded in Volume 13599, Page 443, D.R.T.C.T.;

THENCE South 00 degrees 30 minutes 02 seconds East with the common line between the remainder of said Texas Cricket Academy tract and the existing West right-of-way line of said Foxfire Lane, a distance of 170.42 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found;

THENCE South 15 degrees 01 minute 28 seconds West continue with the common line between the remainder of said Texas Cricket Academy tract and the existing West right-of-way line of said Foxfire Lane, a distance of 415.65 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found;

THENCE South 00 degrees 30 minutes 02 seconds East continue with the common line between the remainder of said Texas Cricket Academy tract and the existing West right-of-way line of said Foxfire Lane, a distance of 263.38 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the South line of said Texas Cricket Academy tract, same being the intersection of the existing West right-of-way line of said Foxfire Lane and the existing North right-of-way line of said Foxfire Lane;

THENCE South 89 degrees 29 minutes 58 seconds West with the common line between the remainder of said Texas Cricket Academy tract and the existing North right-of-way line of said Foxfire Lane, a distance of 676.39 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the Western Northwest corner of said Foxfire Lane;

THENCE South 01 degree 40 minutes 18 seconds East with the common line between the remainder of said Texas Cricket Academy tract and the existing West right-of-way line of said Foxfire Lane, a distance of 30.01 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found in the North line of that certain tract of land described as Lot 1, Block 1, Cook Addition (hereinafter referred to as Lot 1), an addition to the City of Grapevine, Tarrant County, Texas, according to the plat recorded in Cabinet A, Slide 7397, Plat Records, Tarrant County, Texas (P.R.T.C.T.);

THENCE South 89 degrees 29 minutes 58 seconds West with the common line between said Texas Cricket Academy tract and said Lot 1, a distance of 265.11 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the Southwest corner of said Chesapeake tract, same being an inner ell corner of said Lot 1;

THENCE North 00 degrees 42 minutes 18 seconds East with the common line between said Texas Cricket Academy tract and Lot 1, a distance of 794.41 feet to a five-eighths inch iron rod found for the West Northwest corner of said Texas Cricket Academy tract, same being the North Northeast corner of said Lot 1, same also being in the South line of Tract A, Block 1, Lakeview Estates (hereinafter referred to as Tract A), an addition to the City of Grapevine, Tarrant County, Texas, according to the plat recorded in Cabinet A, Slide 8072, P.R.T.C.T.;

THENCE North 88 degrees 33 minutes 23 seconds East with the common line between said Texas Cricket Academy tract and Tract A, a distance of 83.16 feet to a one-half inch iron pipe found for corner;

THENCE North 00 degrees 33 minutes 36 seconds West, continuing with the common line between said Texas Cricket Academy tract and Tract A, a distance of 76.99 feet to the **PLACE OF BEGINNING**, containing 18.929 acres (824,535 square feet) of land.

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS, THAT **Mezas Capitol Group** does hereby adopt this plat of **GRAPEVINE SOCCER COMPLEX**, an addition to the City of Grapevine, Tarrant County, Texas, and does hereby dedicate to the public use forever the right-of-way and easements shown hereon. The easements shown hereon are hereby reserved for the purposes as indicated. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of paving on the easements are the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed, or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using, or desiring to use same. Any City or franchised utility shall have the full right to remove and keep removed all or parts of any fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all City or franchised utilities shall at all times have the full right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone.

I have reviewed the City's Findings concerning dedications and I do agree that the statements are true and correct.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

Witness my hand this the _____ day of _____, 2019.

(Signature of Owner)

(Title)

STATE OF TEXAS §
COUNTY OF TARRANT §

Before me, undersigned Notary Public in and for said county and state, on this day personally appeared _____ known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this the _____ day of _____, 2019.

Notary Public, State of Texas NOTARY SEAL

My Commission Expires _____

PERPETUAL FLOWAGE EASEMENTS:

Perpetual flowage easement estates, such as those the government holds over property owned by others in the Grapevine Lake area, grant to the government full, complete, and perpetual right, power, privilege, and easements to occasionally overflow, flood, and submerge land in connection with the operation and maintenance of the lake. Flowage easement lands are defined as those land below the contour of 572.00 feet mean sea level. No fill shall be placed below the contour of 572.00. All lot grading operations must be coordinated with the Corps of Engineers' Grapevine Lake office. No habitable structures shall be constructed below the land contour of 572.00 feet.

AVIGATION RELEASE:

STATE OF TEXAS:
COUNTY OF TARRANT:

WHEREAS, _____ hereinafter called "Owner" (whether one or more), is the sole owner of that certain parcel of land situated in the City of Grapevine, Tarrant County, Texas, being said property as described as shown on this plat.

NOW THEREFORE, in consideration of the sum of ONE AND 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confessed, Owner does hereby waive, release, remise and quitclaim to the City of Grapevine, Tarrant County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas and Fort Worth, Texas, their successors and assigns, hereafter called "Cities", for the use and benefit of the public and it's agencies, any and all claims for damages of any kind to persons or property the Owner may suffer by reason of the passage and flight of all aircraft in the airspace above Owner's property above the height restriction as presently established by Ordinance No. 73-50 for the City of Grapevine, known as the Airport Zoning Ordinance of the Dallas-Fort Worth International Airport, to an infinite height above same, whether such damage shall originate from noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft, landing at, or taking off from, or operating at or on the Dallas-Fort Worth International Airport.

This instrument does not release the owners or operators of aircraft from liability for damage to person or property caused by falling aircraft or falling physical objects from the aircraft, except as stated herein with respect to noise, fumes, dust, fuel, and lubricant particles.

It is agreed that this release shall be binding upon said owner and his heirs and assigns, and successors in interest to said property; and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the deed Records of the county of counties in which the property is situated.

EXECUTED at _____, Texas, this _____ day of _____, 2019.

(Signature of Owner)

(Title)

STATE OF TEXAS §
COUNTY OF TARRANT §

Before me, undersigned Notary Public in and for said county and state, on this day personally appeared _____ known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this the _____ day of _____, 2019.

Notary Public, State of Texas NOTARY SEAL

My Commission Expires _____

SURVEYORS CERTIFICATE:

I, Michael Dan Davis, of BANNISTER ENGINEERING, LLC, a Registered Professional Land Surveyor of the State of Texas, do hereby declare that I prepared this plat from an actual and accurate survey on the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the State of Texas and the City of Grapevine.

PRELIMINARY,
THIS DOCUMENT SHALL NOT BE
RECORDED FOR ANY PURPOSE AND SHALL NOT BE
USED OR VIEWED OR RELIED UPON AS A FINAL
SURVEY DOCUMENT



Michael Dan Davis DATE:
Registered Professional Land Surveyor No. 4838
BANNISTER ENGINEERING, LLC
T.B.P.L.S. REGISTRATION NO. 10193823
1696 COUNTRY CLUB DRIVE
MANSFIELD, TEXAS 76063
Office (817) 842-2094

FINAL PLAT
LOT 1, BLOCK 1
GRAPEVINE SOCCER COMPLEX

A singular lot consisting of 18.929 acres of land Zoned Recreational Amusement (RA) situated in the A. Cate Survey, Abstract Number 1983 and the Leonard Lincoln Survey, Abstract Number 981, City of Grapevine, Tarrant County, Texas.
1 Lot

PREPARED: MAY 2019

SHEET NO. 2 OF 2

PREPARED BY: PROJECT NO.: 999-18-076

BANNISTER
ENGINEERING
240 N. MITCHELL RD.
MANSFIELD, TX 76063 Phone: 817.842.2094
TBPLS REGISTRATION NO. 10193823

THIS PLAT FILED ON _____, 2018 INSTRUMENT #D _____

ENGINEER / SURVEYOR:
BANNISTER ENGINEERING, LLC
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
CONTACT: MICHAEL DAVIS, RPLS
PHONE: 817-842-2094
Mike@bannistereng.com

OWNER
Mezas Capitol Group
Contact: Simon Bozas
2911 Turtle Creek Blvd, Suite 1000
Dallas, Texas 75219
(972)977-6888

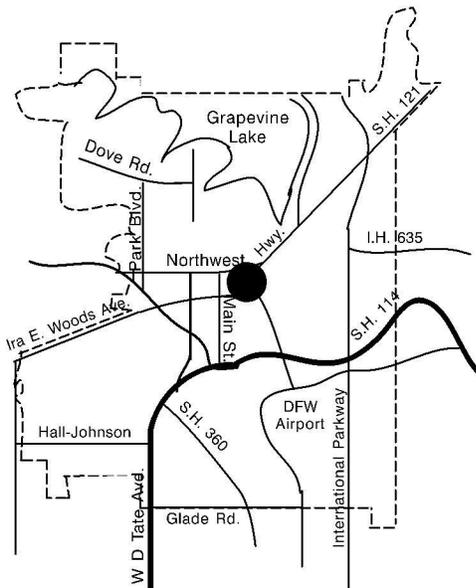
DEVELOPER
Holtman Designworks
Contact: Matthew Holtman
403 US 377 S
Argyle, Texas 76226
(940)240-0491

TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER **BR**
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: MAY 21, 2019

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF
CONDITIONAL USE APPLICATION CU19-09, MCMILLAN JAMES
OFFICE WAREHOUSE



APPLICANT: Grayson Hughes

PROPERTY LOCATION AND SIZE:

The subject property is located at 1044 and 1046 Texan Trail platted as Lot 5R and Lot 6, Block 1, Grapevine Station Addition. The property contains 1.492 acres and is accessed along a dedicated public access easement which directly connects to Texan Trail.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to amend the previously approved site plan of CU15-36 (Ord. 2015-49) for a planned business park specifically to allow for the development of a 27,103 square foot office warehouse.

The applicant intends to develop a 27,103 square foot, two story office warehouse on Lot 5R of the remaining undeveloped Grapevine Station Addition. The development proposes utilizing an existing open space area and common access easement of Lot 6, a developed site located east of the undeveloped Lot 5R, to provide access to a loading dock along the east elevation of the proposed building. The paving required for the loading dock will result in a 5,045.60 square foot reduction to the current amount of open space on Lot 6 from 11,037 square feet to 5991.40 square feet. The percentage of open space required for the planned business park is 20%. There is 22% provided. Required parking for the

proposed use is 70-spaces, which are currently provided.
PRESENT ZONING AND USE:

The subject property is currently undeveloped and is zoned “BP” Business Park District.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject property and the properties to the east and north were zoned “C-2” Community Business District prior to the 1984 City Rezoning. A request to rezone (Z00-10) the subject site and the properties to the north and east to “BP” Business Park District for future development of the business park was denied by the City Council on August 15, 2000 meeting. The City Council at the December 16, 2003 meeting rezoned the subject site and the properties to the east and north to “BP” Business Park District Z03-09 (Ord. 2003-81). Conditional Use Permit CU04-02 (Ord. 2004-15) was approved by the City Council at the February 17, 2004 to establish a 23-acre business park on the subject property. Also with the business park at City Council’s June 21, 2005 meeting, two separate office project were approved by Conditional Use Permit CU05-26 (Ord.05-46) relative to development within the planned business park. A planned commercial center Conditional Use Permit CU06-25 (Ord. 06-51) was established by Council at the July 18, 2006 meeting on the “CC” Community Commercial zoned property along Texan Trail along with a bank with drive-through service (Northstar Bank). Conditional Use Permit CU08-21 was considered at the October 21, 2008 meeting which allowed for the extraction of 6.4 acres from the planned business park to accommodate an apartment project (Z08-06 and PD08-02) that was denied by Council without prejudice. Conditional Use Permit CU11-21 (Ord. 2011-50) was approved at the September 20, 2011 meeting which allowed for a 5.86 acre reduction to the size of the business park to accommodate a zone change request for the Grapevine Station multifamily development.

Conditional Use Permit (CU14-16) was approved on May 7, 2014 by the Site Plan Review Committee north of the subject site to allow for an increase in the lot size of a developed lot to allow for additional parking. Conditional Use Permit CU14-28 (Ord. 2014-41) was approved by City Council at the July 15, 2004 meeting to allow for the development of three professional office and medical buildings. Conditional Use Permit CU15-36 (Ord. 2015-49) was approved by City Council at the August 18, 2015 meeting to allow for the development of a 28,050 square foot office showroom.

SURROUNDING ZONING AND EXISTING LAND USE:

NORTH: “R-MF” Multifamily District—Grapevine Station apartments

SOUTH: “R-7.5” Single Family District—Sunshine Harbor Subdivision

EAST: “CC” Community Commercial District—vacant property and Chesapeake well site

WEST: "R-12.5" Single Family District and "R-MF-2" Multi-family District—
D.E. Box single family subdivision and Ticknor Terrace apartments

AIRPORT IMPACT:

The subject tract is located within "Zone B" Middle Zone of Effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" Map. In "Zone B" the following uses may be considered only if sound treatment is included in building design: multifamily apartments, motels, office buildings, movie theaters, restaurants, personal and business services. Single family residential and sound sensitive uses such as schools and churches should avoid this zone. The applicant's proposal is an appropriate use in this noise zone.

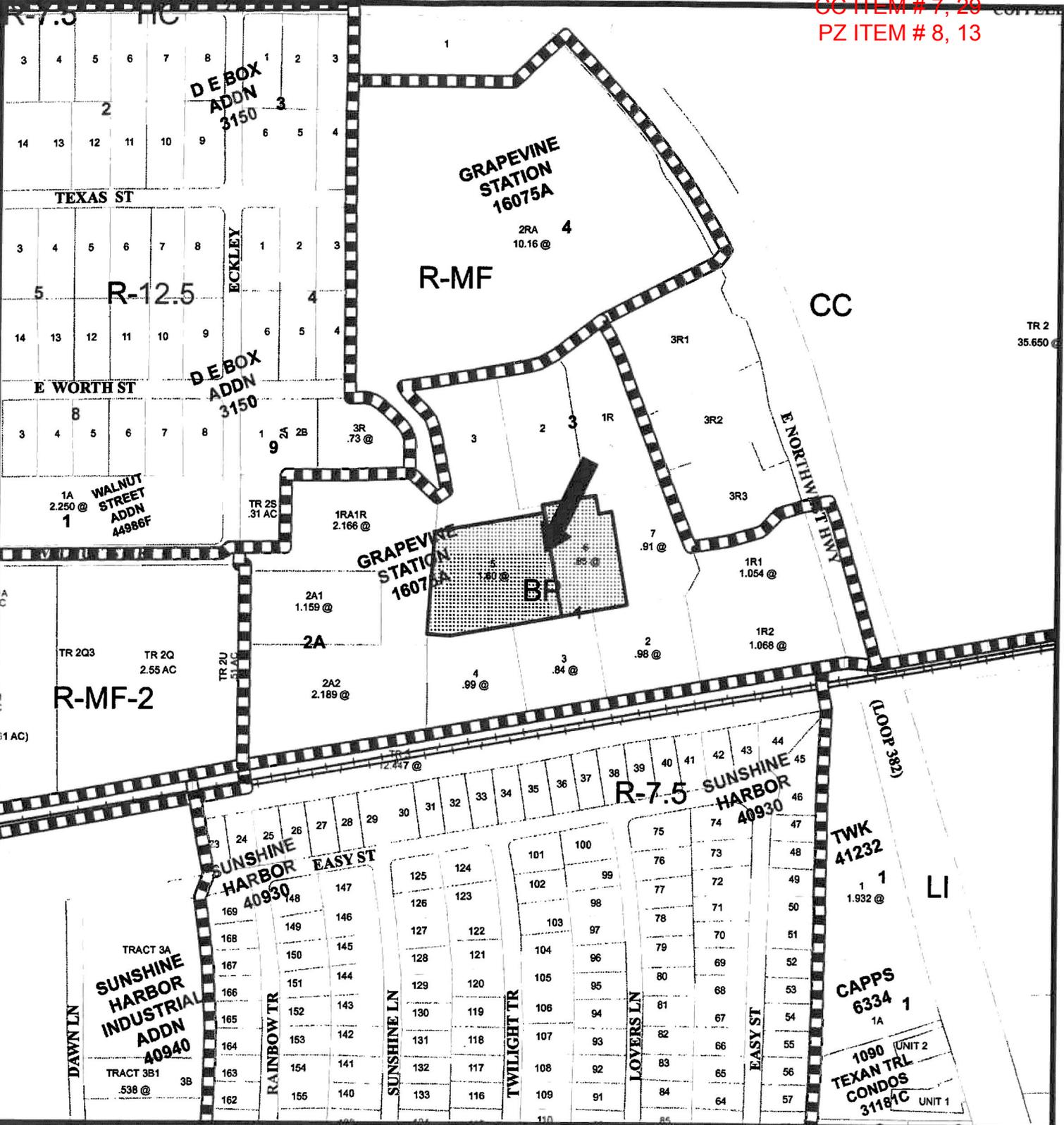
MASTER PLAN APPLICATION:

The Master Plan designates the subject property as Commercial land use. The applicant's request is in compliance with the Master Plan.

THOROUGHFARE PLAN APPLICATION:

The Thoroughfare Plan designates Texan Trail as a Type A Major Arterial with a minimum 100 feet of right-of-way developed as six lanes with a median. The Thoroughfare Plan does not designate the access easement adjacent to the site as a local thoroughfare.

/at



CU19-09
McMillan James Office/Warehouse

Date Prepared: 5/7/2019

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

CU19-09



CITY OF GRAPEVINE

CONDITIONAL USE APPLICATION

Form "A"

PART 1. APPLICANT INFORMATION

<i>Name of applicant / agent:/company/contact</i> BIG RED DOG a division of WGI - Grayson Hughes, P.E.	
<i>Street address of applicant / agent:</i> 8144 Walnut Hill Lane, Suite #903	
<i>City / State / Zip Code of applicant / agent:</i> Dallas, Texas, 75024	
<i>Telephone number of applicant / agent:</i> (214) 307-4767	<i>Fax number of applicant/agent</i>
<i>Email address of applicant/agent</i> [REDACTED]	<i>Mobile phone number of applicant/agent</i>

PART 2. PROPERTY INFORMATION

<i>Street address of subject property</i> 1044 Texan Trail, City of Grapevine, Tarrant County Texas 76051	
<i>Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)</i> Lot 5R Block 1 Addition Grapevine Addition	
<i>Size of subject property</i> 1.492 Acres 65,002 Square footage	
<i>Present zoning classification:</i> 'BP' Business Park	<i>Proposed use of the property:</i> Professional Office and Warehouse
<i>Circle yes or no, if applies to this application</i> Outdoor speakers Yes <input type="radio"/> No <input checked="" type="radio"/>	
<i>Minimum / maximum district size for conditional use request:</i> 5 acre minimum district size for BP	
<i>Zoning ordinance provision requiring a conditional use:</i> Ordinance No. 82-73	

PART 3. PROPERTY OWNER INFORMATION

<i>Name of current property owner:</i> Buchanan Investments LLC	
<i>Street address of property owner:</i> 630 Deforest Ct	
<i>City / State / Zip Code of property owner:</i> Coppell, TX 750196066	
<i>Telephone number of property owner:</i> (469) 585-8887	<i>Fax number of property owner:</i>

By _____

CUI9-09

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

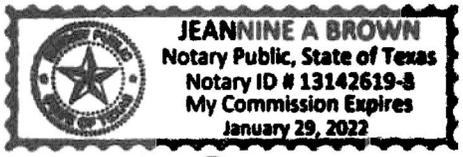
PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY

Grayson Hughes, P.E. 
 Print Applicant's Name: Applicant's Signature:

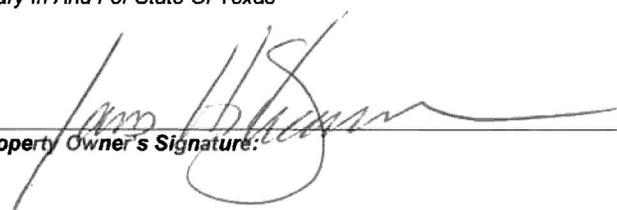
The State of TEXAS
 County Of TARRANT
 Before Me JEANNINE A. BROWN on this day personally appeared Grayson Hughes
 (notary) (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 6th day of MARCH, A.D. 2019




 Notary In And For State Of Texas

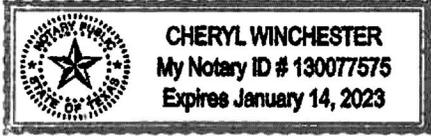
JAMES H. BUCHANAN 
 Print Property Owners Name: Property Owner's Signature:

The State Of TEXAS
 County Of TARRANT

Before Me CHERYL WINCHESTER on this day personally appeared JAMES BUCHANAN
 (notary) (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 5th day of MARCH, A.D. 2019




 Notary In And For State Of Texas

By _____

CU19-09

ACKNOWLEDGEMENT

All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant 

Date: 3/6/19

Signature of Owner 

Date: March 5, 2019



CU19-09



CITY OF GRAPEVINE

SPECIAL USE APPLICATION CONDITIONAL Form "A"

PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact

BIG RED DOG a division of WGI - Grayson Hughes, P.E.

Street address of applicant / agent:

8144 Walnut Hill Lane, Suite #903

City / State / Zip Code of applicant / agent:

Dallas, Texas, 75024

Telephone number of applicant / agent:

(214) 307-4767

Fax number of applicant / agent:

Email address of applicant / agent

Mobile phone number of applicant / agent

Applicant's interest in subject property:

Engineer of record for proposed professional office and warehouse development of adjacent property

PART 2. PROPERTY INFORMATION

Street address of subject property

1046 Texan Trail, City of Grapevine, Tarrant County Texas 76051

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot **6** Block **1** Addition

Size of subject property

Acres

Square footage

Present zoning classification:

'BP' Business Park

Proposed use of the property:

Use will remain the same. The changes requested by this application involves the change of some grass to pavement area due to neighboring property development.

Minimum / maximum district size for special use request:

5 acre minimum district size for BP

Zoning ordinance provision requiring a special use:

Ordinance No. 82-73

PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:

Texan Trail Holdings, LLC

Street address of property owner:

909 Lake Carolyn Parkway

City / State / Zip Code of property owner:

Irving, TX 75039

Telephone number of property owner:

Fax number of property owner:

C419-09

conditional

- Submit a letter describing the proposed ~~special~~ use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and special requirements or conditions imposed upon the particular special use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed special use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed special use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All conditional use and special use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or special use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

PART 4. SIGNATURE TO AUTHORIZE SPECIAL USE REQUEST AND PLACE A SPECIAL USE REQUEST SIGN ON THE SUBJECT PROPERTY

CONDITIONAL

Print Applicant's Name: George Tadros Applicant's Signature: [Signature]
 Property owner Property owner

The State Of Texas

County Of Tarrant

Before Me Megan Bostick (notary) on this day personally appeared George Tadros (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 6 day of May, A.D. 2019.



Megan Bostick
 Notary In And For State Of Texas

Print Property Owners Name: _____ Property Owner's Signature: _____

The State Of _____

County Of _____

Before Me _____ (notary) on this day personally appeared _____ (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this _____ day of _____, A.D. _____.

 Notary In And For State Of Texas

ACKNOWLEDGEMENT

All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

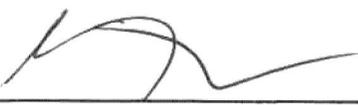
Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant _____

Date: _____

Signature of Owner _____ 

Date: 5-4-19



CC ITEM # 7, 29
PZ ITEM # 8, 13
CU19-09

March 4, 2019

City of Grapevine
Development Services – Planning Division
200 S. Main St.
Grapevine, TX 76051

RE: Special Use/Site Plan Submittal Letter
McMillan James Office and Warehouse
1044 Texan Trail
City of Grapevine, Tarrant County, Texas 76051

Dear Mr. Scott Williams,

Please accept this letter of intent with accompanying site plan submittal package for the proposed McMillan James Office and Warehouse project, located at 1044 Texan Trail, Grapevine, TX 76051.

The proposed site plan is the development of Lot 5R, Block 1, of the Grapevine Station Subdivision. The site is zoned Business Park "BP" with a current land use designation of commercial. The site is largely undeveloped and vegetated with existing concrete drives on the north, west, and south side of the site. The proposed development includes the construction of one building and associated sidewalks, utilities, grading, and drainage on the site with the proposed use of professional office and warehouse.

The site will not cause substantial harm to the value, use, or enjoyment of the other properties in the subdivision because the proposed use conforms to the similar office uses in the surrounding BP zoning in the master site plan. The proposed site plan meets the intent of the surrounding development to be a planned business and office district. Furthermore, the proposed site shall be the new headquarters of a professional company which will attract new employees and residents who will bring value to the community through their involvement with local businesses, restaurants, and social establishments. The proposed architecture for this headquarters facility shall utilize glass and masonry construction materials and unique design elements which will add aesthetic value to the business park and provide greater appeal to prospective customers and employees in the neighborhood.





BIG RED DOG Engineering and Consulting | 214.307.4676 | www.BIGREDDOG.com

Should you have any questions regarding this project or application, please do not hesitate to contact our office.

Sincerely,

BIG RED DOG Engineering | Consulting Firm No. F-11201

Grayson Hughes, PE
Civil Market Leader



ORDINANCE NO. 2019-026

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ISSUING CONDITIONAL USE PERMIT CU19-09 TO AMEND THE PREVIOUSLY APPROVED SITE PLAN CU15-36 (ORDINANCE NO. 2015-49) TO ALLOW FOR THE DEVELOPMENT OF A 27,103 SQUARE FOOT OFFICE WAREHOUSE FOR LOT 5R AND LOT 6, BLOCK 1, GRAPEVINE STATION ADDITION (1044 AND 1046 TEXAN TRAIL) IN A DISTRICT ZONED "BP" BUSINESS PARK DISTRICT REGULATIONS ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces,

and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit No. CU19-09 to amend the previously approved site plan CU15-36 (Ordinance No. 2015-49) for a planned business park, specifically to allow for the development of a 27,103 square foot office warehouse (McMillan James) in a district zoned "BP" Business Park District Regulations within the following described property: Lot 5R and Lot 6, Block 1, Grapevine Station Addition (1044 and 1046 Texan Trail) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of

land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 21st day of May, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

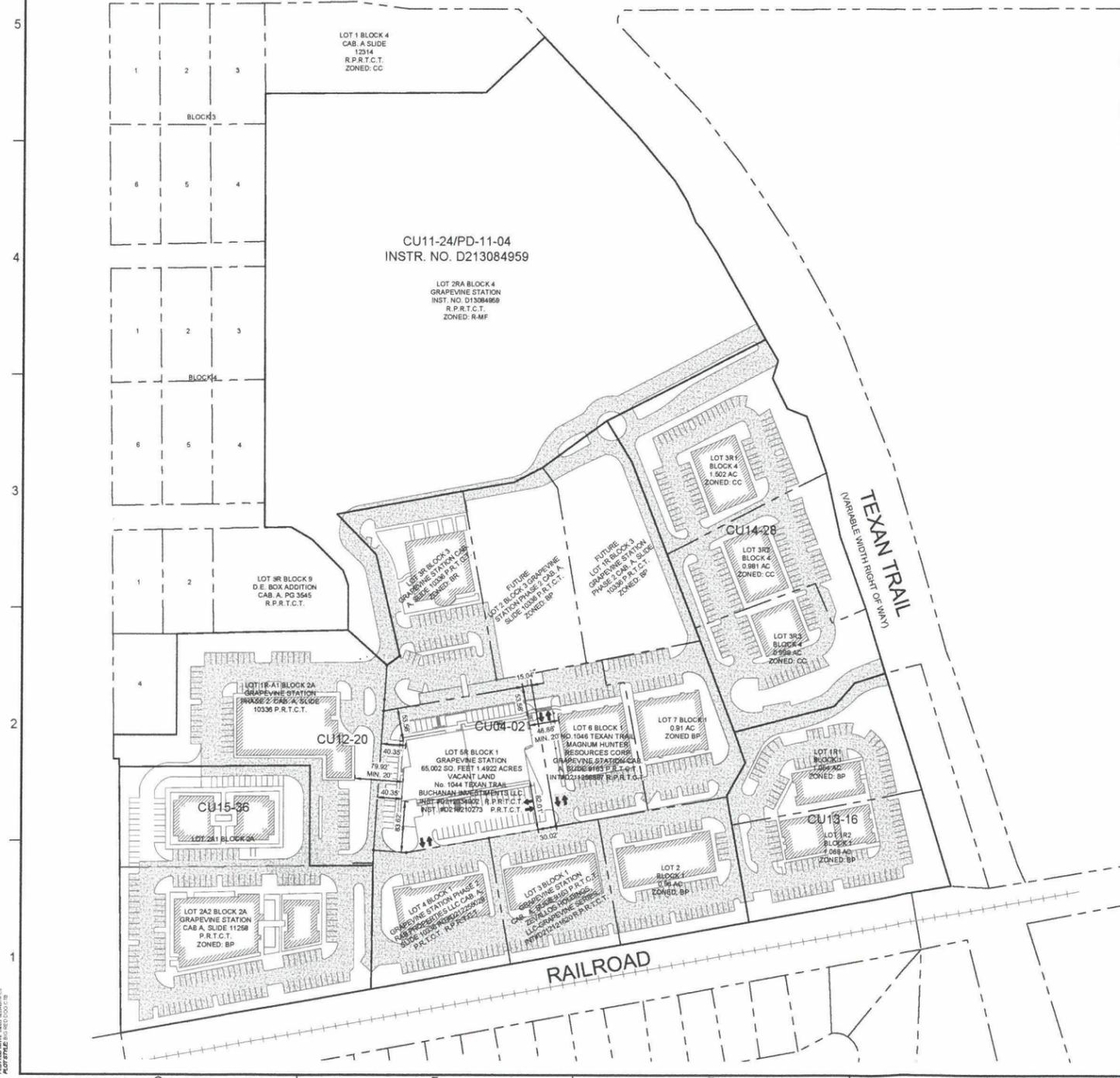
Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

LOT SUMMARY

	UNITS	REQUIRED	LOT 1R-1, BLOCK 1	LOT 1R2, BLOCK 1	LOT 2, BLOCK 1	LOT 3, BLOCK 1	LOT 4, BLOCK 1	LOT 5R, BLOCK 1	LOT 6, BLOCK 1	LOT 7, BLOCK 1	LOT 1R-1, BLOCK 2A	LOT 1R 2, BLOCK 3	LOT 3R, BLOCK 3	LOT 3R1, BLOCK 4	LOT 3R2, BLOCK 4	LOT 3R3, BLOCK 4	LOT 2A2, BLOCK 2A	LOT 2A1, BLOCK 2A	SITE TOTALS
ZONING	-	-	BP	BP	BP	BP	BP	BP	BP	BP	BP	BP	BP	BP	BP	BP	BP	BP	-
LOT LOCATION	-	-	PERIMETER	PERIMETER	PERIMETER	PERIMETER	PERIMETER	PERIMETER	PERIMETER	PERIMETER	PERIMETER	PERIMETER	PERIMETER	PERIMETER	PERIMETER	PERIMETER	PERIMETER	PERIMETER	-
LOT AREA	SF	30,000 MIN	46,824.4 SF	46,616.9 SF	42,874 SF	36,729 SF	43,169 SF	66,002 SF	38,863 SF	38,731 SF	64,355 SF	102,016 SF	56,247 SF	65,407 SF	42,760 SF	43,487 SF	95,365 SF	59,482 SF	886,876.3 SF
OPEN SPACE	% OF LOT	MIN 20% OF SITE	33.2%	32.8%	12%	13%	20%	30%	18.4%	22%	87%	23.10% SF	11,614 SF	17,248 SF	10,322 SF	14,300 SF	19,495 SF	15,714 SF	278,996.3 SF
PAVE AREAS	SF	-	23,270.6 SF	23,800.9 SF	27,244 SF	21,840 SF	24,438 SF	30,966 SF	20,778 SF	20,373 SF	48,348 SF	20,403 SF	23,106 SF	40,613 SF	24,314 SF	24,189 SF	56,220 SF	24,889 SF	-
VEHICULAR	SF	-	(56%)	(51.2%)	(80%)	(57%)	(49%)	(56.4%)	(49%)	(52%)	(49.1%)	41%	61%	57%	58%	58%	58%	49%	-
PEDESTRIAN	SF	-	24,129.8 SF	21,785.9 SF	25,787 SF	20,793 SF	23,001 SF	26,885 SF	18,841 SF	14,995 SF	11,982 SF	20,403 SF	28,278 SF	34,658 SF	20,896 SF	22,372 SF	45,582 SF	18,897 SF	-
IMPERVIOUS AREA	SF	-	1,141 SF	2,038 SF	1,457 SF	1,847 SF	1,158 SF	4,900 SF	1,198 SF	1,198 SF	4,755 SF	5,202 SF	3,458 SF	3,419 SF	1,988 SF	9,629 SF	9,629 SF	5,891 SF	-
PARKING SPACES	-	(MIN)	41 (41 REQ)	55 (55 REQ)	40 (20 REQ)	31 (20 REQ)	32 (20 REQ)	70 (70 REQ)	42 (39 REQ)	39 (39 REQ)	68 (63 REQ)	78 (EXISTING) 19 NEW = 97 TOTAL	80 (80 REQ)	3 (3 REQ)	51 (51 REQ)	34 (32 REQ)	117 (117 REQ)	43 (40 REQ)	-
ACCESSIBLE	-	(MIN)	2 (2 REQ)	3 (3 REQ)	2 (2 REQ)	2 (2 REQ)	2 (2 REQ)	4 (4 REQ)	2 (2 REQ)	2 (2 REQ)	4 (4 REQ)	1	1 (1 REQ)	1 (1 REQ)	1 (1 REQ)	4 (4 REQ)	2 (2 REQ)	-	
VAN ACCESSIBLE	-	(MIN)	1 (1 REQ)	1 (1 REQ)	1 (1 REQ)	1 (1 REQ)	1 (1 REQ)	1 (1 REQ)	1 (1 REQ)	1 (1 REQ)	2 (2 REQ)	-	-	-	-	4 (4 REQ)	2 (2 REQ)	-	
NUMBER OF BUILDINGS	-	-	1	2	1	1	1	1	1	1	1	1	1	1	1	1	2	2	-
PROPOSED USE	-	-	MEDICAL OFFICE	MEDICAL OFFICE	OFFICE & WAREHOUSE	OFFICE	MEDICAL OFFICE	MEDICAL & PROFESSIONAL OFFICE	MEDICAL & PROFESSIONAL OFFICE	SHOWROOM & PROFESSIONAL OFFICE	PROFESSIONAL OFFICE	-	-						
HEIGHT	STORIES	MAX. 1 STORY	24'	24'	1	1	34.42'	24'	37'	36.98'	1	3 STORIES	1 STORY	1 STORY	1 STORY	2 STORY	1 STORY	1 STORY	-
AREA	SF	MAX 80%	5,407 SF	7,464 SF	10,065 SF	10,033 SF	10,033 SF	27,103 SF	10,082 SF	10,082 SF	17,165 SF	21,808 SF	8,148 SF	8,114 SF	5,132 SF	31,960 SF	8,980 SF	191,636 SF	-
MIN BLDG SEPARATIONS	FT	NONE	20'	20'	35' MIN	47' MIN	47' MIN	20' MIN	20' MIN	20' MIN	25' MIN	20' MIN	20' MIN	20' MIN	20' MIN	20' MIN	20' MIN	-	-
BLDG DISTRIBUTION	-	-	N/A	N/A	2,000 SF OFFICE	2,000 SF OFFICE	2,000 SF OFFICE	17,983 SF OFFICE	8,033 SF WAREHOUSE	8,033 SF WAREHOUSE	21,808 SF OFFICE	-	-	-	5,680 SF MEDICAL	3,079 SF MEDICAL	-	-	-



ZONING: "BP" BUSINESS PARK DISTRICT
PROPOSED PRINCIPAL USES: PROFESSIONAL OFFICE, WAREHOUSE

- #### GENERAL NOTES:
1. THE PROPERTY IS CURRENTLY ZONED "BP" BUSINESS PARK DISTRICT.
 2. THE CURRENT LAND USE DESIGNATION AS CONTAINED IN THE COMPREHENSIVE MASTER PLAN IS COMMERCIAL "CO".
 3. ALL REQUIREMENTS OF SECTION 32, BUSINESS PARK DISTRICT SHALL BE MET.
 4. ALL REQUIREMENTS OF SECTION 53, LANDSCAPING REGULATIONS SHALL BE MET.
 5. ALL REQUIREMENTS OF SECTION 56, OFF-STREET PARKING REQUIREMENTS SHALL BE MET.
 6. ALL REQUIREMENTS OF SECTION 60, SIGN STANDARDS SHALL BE MET.
 7. ALL DUMPSTERS SHALL BE SCREENED IN ACCORDANCE WITH SECTION 50 B.3. SECTION 50 B.3 REQUIRES ALL REFUSE DUMPSTERS TO BE VISUALLY SCREENED BY A SOLID WOOD FENCE OR WALL ONE FOOT ABOVE THE REFUSE DUMPSTER NOT TO EXCEED 8 FEET IN HEIGHT ON ALL SIDES (EXCEPT THE SIDE USED FOR GARBAGE PICKUP); SUCH SIDES SHALL NOT BE REQUIRED TO BE SCREENED UNLESS THE SERVICE SIDE OF THE REFUSE STORAGE AREA IS VISIBLE FROM RESIDENTIALLY ZONED DISTRICTS.
 8. THE DUMPSTERS ILLUSTRATED ON THIS SITE PLAN SHALL BE 8' IN HEIGHT AND WILL BE CONSTRUCTED OF MATERIALS SIMILAR AND COMPLIMENTARY TO THE BUILDINGS.
 9. ALL LIGHTING MUST COMPLY WITH SECTION 55 OF THE CITY OF GRAPEVINE ZONING ORDINANCE. LIGHTING ELEMENTS MUST NOT BE VISIBLE FROM A POINT FIVE (5) FEET ABOVE GROUND, MEASURED AT ALL PROPERTY LINES. PHYSICAL TESTING OF ILLUMINATION LEVELS MUST BE PERFORMED TO VERIFY COMPLIANCE WITH PHOTOMETRIC STUDY. DOCUMENTATION SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT. NO OCCUPANCY, INCLUDING TEMPORARY OCCUPANCY, WILL BE PERMITTED UNTIL THE ABOVE REQUIREMENTS ARE MET.
 10. ALL PARKING FOR DISABLED PERSONS SHALL BE DESIGNATED ACCORDING TO CHAPTER 23, SECTION 23.54 THROUGH SECTION 23.69 OF THE CITY OF GRAPEVINE CODE OF ORDINANCES. THIS DESIGNATION IS THE BLUE HANDICAPPED SIGN REQUIREMENT.
 11. A TYPICAL PARKING SPACE IS 9 X 19 FEET.
 12. THE MINIMUM DRIVING LANE WIDTHS IN ALL PRIVATE PARKING LOTS WITH 90-DEGREE PARKING IS A MINIMUM OF 25 FEET (BACK TO BACK OF CURB).
 13. ALL REQUIRED OFF-STREET PARKING AND LOADING AND DRIVES, VEHICLE (AUTOS, TRUCKS, TRAILERS, BOATS, ETC.) SALES, DISPLAY AREAS AND OUTSIDE STORAGE AREAS IN ALL DISTRICTS SHALL BE PAVED TO A MINIMUM STANDARD EQUIVALENT TO 4-INCH CONCRETE SLAB WITH 8 INCHES X 8 INCHES BY 6 GAGE MESH WIRE OR A 2 INCH HOT MIX ASPHALTIC CONCRETE OVER 8 INCH CRUSHED ROCK BASE.

CONDITIONAL USE REQUEST CU19-09 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU15-38 (ORD. 2016-048) FOR A PLANNED BUSINESS PARK, SPECIFICALLY TO ALLOW FOR THE DEVELOPMENT OF A 27,103 SQUARE FOOT OFFICE/WAREHOUSE.

CASE NAME: MCMILLAN JAMES OFFICE
CASE NUMBER: CU19-09
LOCATION: 1044 TEXAN TRAIL, LOT 5R, BLOCK 1, GRAPEVINE STATION ADDITION

MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION
CHAIRMAN _____
DATE: _____
SHEET: 1 OF 12
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.
DEPARTMENT OF DEVELOPMENT SERVICES

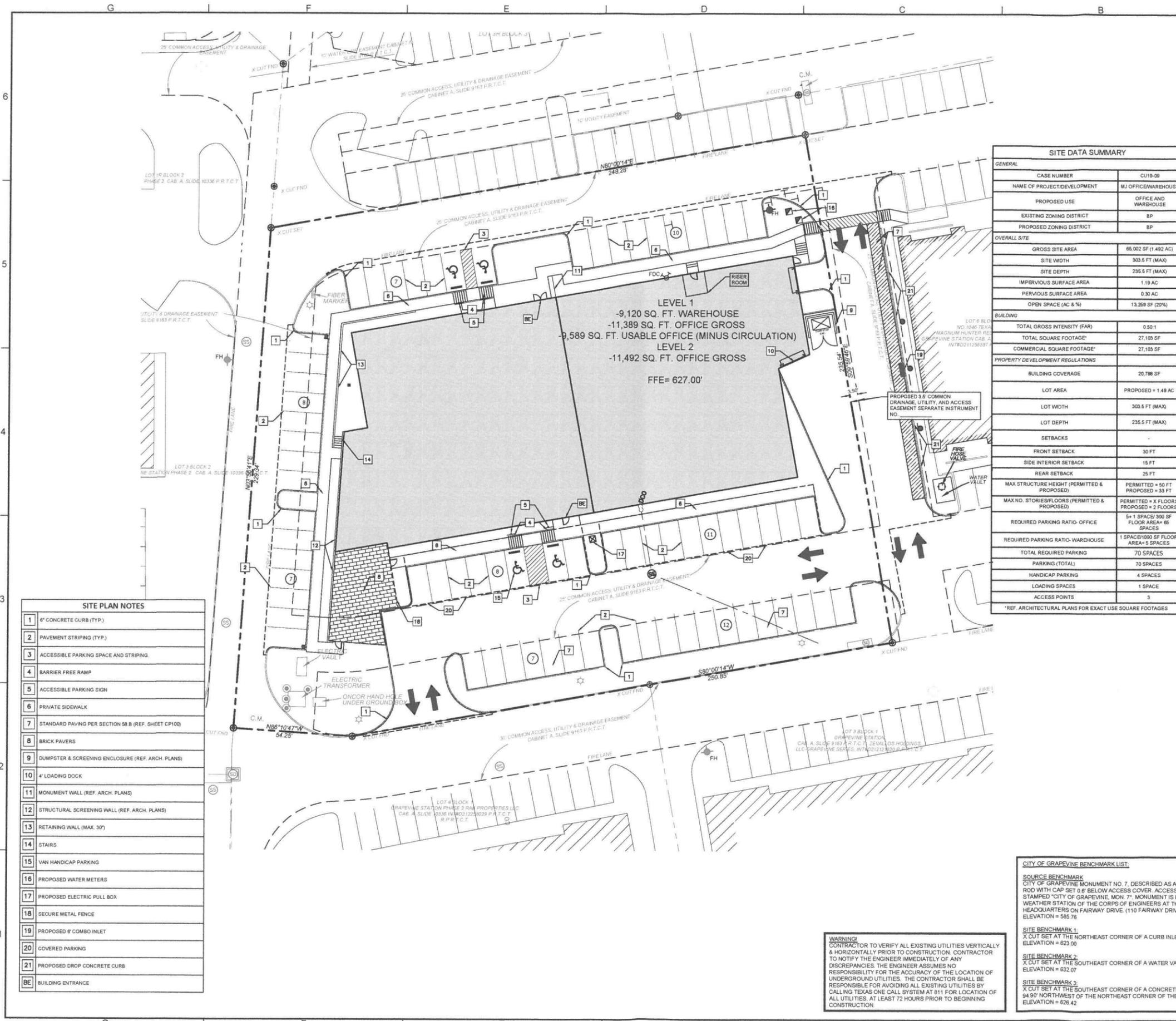
WWW.BIGREDDOG.COM
214-307-4767
BIGREDDOG
ENGINEERING | CONSULTING
814 WALNUT HILL LANE, SUITE 803
DALLAS, TEXAS 75201

2013/2018
114327

PROJECT: MCMILLAN JAMES OFFICE & WAREHOUSE
LOT 5R BLOCK 1 GRAPEVINE STATION
1044 TEXAN TRAIL, CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS 76051

SHEET TITLE: MASTER SITE PLAN

SHEET: CS100
01 OF 12
JOB NO. D



SITE DATA SUMMARY	
GENERAL	
CASE NUMBER	CU19-09
NAME OF PROJECT/DEVELOPMENT	MJ OFFICE/WAREHOUSE
PROPOSED USE	OFFICE AND WAREHOUSE
EXISTING ZONING DISTRICT	BP
PROPOSED ZONING DISTRICT	BP
OVERALL SITE	
GROSS SITE AREA	86,002 SF (1.98 AC)
SITE WIDTH	303.5 FT (MAX)
SITE DEPTH	235.5 FT (MAX)
IMPERVIOUS SURFACE AREA	1.19 AC
PERVIOUS SURFACE AREA	0.30 AC
OPEN SPACE (AC & %)	13,269 SF (20%)
BUILDING	
TOTAL GROSS INTENSITY (FAR)	0.50:1
TOTAL SQUARE FOOTAGE*	27,103 SF
COMMERCIAL SQUARE FOOTAGE*	27,103 SF
PROPERTY DEVELOPMENT REGULATIONS	
BUILDING COVERAGE	20,788 SF
LOT AREA	PROPOSED = 1.49 AC
LOT WIDTH	303.5 FT (MAX)
LOT DEPTH	235.5 FT (MAX)
SETBACKS	
FRONT SETBACK	30 FT
SIDE INTERIOR SETBACK	15 FT
REAR SETBACK	25 FT
MAX STRUCTURE HEIGHT (PERMITTED & PROPOSED)	PERMITTED = 50 FT PROPOSED = 33 FT
MAX NO. STORIES/FLOORS (PERMITTED & PROPOSED)	PERMITTED = X FLOORS PROPOSED = 2 FLOORS
REQUIRED PARKING RATIO- OFFICE	5+ 1 SPACE/300 SF FLOOR AREA+ 66 SPACES
REQUIRED PARKING RATIO- WAREHOUSE	1 SPACE/1000 SF FLOOR AREA+ 5 SPACES
TOTAL REQUIRED PARKING	70 SPACES
PARKING (TOTAL)	70 SPACES
HANDICAP PARKING	4 SPACES
LOADING SPACES	1 SPACE
ACCESS POINTS	3
*REF. ARCHITECTURAL PLANS FOR EXACT USE SQUARE FOOTAGES	

LEGEND	
	PROPERTY LINE / RIGHT OF WAY EASEMENT / SETBACK
	CURB & GUTTER
	EX GRADE CONTOUR ELEVATION
	PROP GRADE CONTOUR ELEVATION
	STORM SEWER PIPE
	WATER LINE
	SANITARY SEWER LINE
	RETAINING WALL
	FIRE LANE
	UNDERGROUND GAS LINE
	UNDERGROUND TELECOM
	UNDERGROUND ELECTRIC
	FENCE
	BENCHMARK
	UTILITY POLE
	BOLLARD
	TRANSFORMER
	LIGHT POLE
	SIGN
	WASTE WATER MANHOLE
	CLEANOUT
	WATER METER/VAULT
	FIRE HYDRANT
	WATER VALVE
	STORM DRAIN MANHOLE
	STORM DRAIN INLET
	BACKFLOW PREVENTER
	FIRE DEPARTMENT CONNECTION

SITE PLAN NOTES	
1	6" CONCRETE CURB (TYP.)
2	PAVEMENT STRIPING (TYP.)
3	ACCESSIBLE PARKING SPACE AND STRIPING
4	BARRIER FREE RAMP
5	ACCESSIBLE PARKING SIGN
6	PRIVATE SIDEWALK
7	STANDARD PAVING PER SECTION 98 B (REF. SHEET CP100)
8	BRICK PAVERS
9	DUMPSTER & SCREENING ENCLOSURE (REF. ARCH. PLANS)
10	4' LOADING DOCK
11	MONUMENT WALL (REF. ARCH. PLANS)
12	STRUCTURAL SCREENING WALL (REF. ARCH. PLANS)
13	RETAINING WALL (MAX. 30')
14	STAIRS
15	VAN HANDICAP PARKING
16	PROPOSED WATER METERS
17	PROPOSED ELECTRIC PULL BOX
18	SECURE METAL FENCE
19	PROPOSED 6" COMBO INLET
20	COVERED PARKING
21	PROPOSED DROP CONCRETE CURB
BE	BUILDING ENTRANCE

WARNING!
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY & HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING TEXAS ONE CALL SYSTEM AT 811 FOR LOCATION OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.

CITY OF GRAPEVINE BENCHMARK LIST	
SOURCE BENCHMARK CITY OF GRAPEVINE MONUMENT NO. 7, DESCRIBED AS A 12" ALUMINUM ROD WITH CAP SET 0.6' BELOW ACCESS COVER. ACCESS COVER IS STAMPED "CITY OF GRAPEVINE, MON. 7". MONUMENT IS LOCATED AT THE WEATHER STATION OF THE CORPS OF ENGINEERS AT THE GRAPEVINE HEADQUARTERS ON FAIRWAY DRIVE (110 FAIRWAY DRIVE) ELEVATION = 585.76	
SITE BENCHMARK 1:	X CUT SET AT THE NORTHEAST CORNER OF A CURB INLET. ELEVATION = 623.00
SITE BENCHMARK 2:	X CUT SET AT THE SOUTHEAST CORNER OF A WATER VAULT. ELEVATION = 632.07
SITE BENCHMARK 3:	X CUT SET AT THE SOUTHEAST CORNER OF A CONCRETE CURB INLET 64.90' NORTHWEST OF THE NORTHEAST CORNER OF THE SUBJECT TRACT. ELEVATION = 626.42

CONDITIONAL USE REQUEST CU19-09 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU15-36 (ORD. 2015-049) FOR A PLANNED BUSINESS PARK, SPECIFICALLY TO ALLOW FOR THE DEVELOPMENT OF A 27,103 SQUARE FOOT OFFICE/WAREHOUSE.

CASE NAME:	McMILLAN JAMES OFFICE
CASE NUMBER:	CU19-09
LOCATION:	1044 TEXAN TRAIL, LOT 5R, BLOCK 1, GRAPEVINE STATION ADDITION
MAYOR:	SECRETARY:
DATE:	
PLANNING AND ZONING COMMISSION:	CHAIRMAN:
DATE:	
SHEET:	2 OF 12
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.	
DEPARTMENT OF DEVELOPMENT SERVICES	

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ENGINEERING & CONSULTING
8144 WALNUT HILL LANE, SUITE 803
DALLAS, TEXAS 75231

PROJECT: **McMILLAN JAMES OFFICE & WAREHOUSE**
LOT 5R BLOCK 1 GRAPEVINE STATION
1044 TEXAN TRAIL, CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS 76051

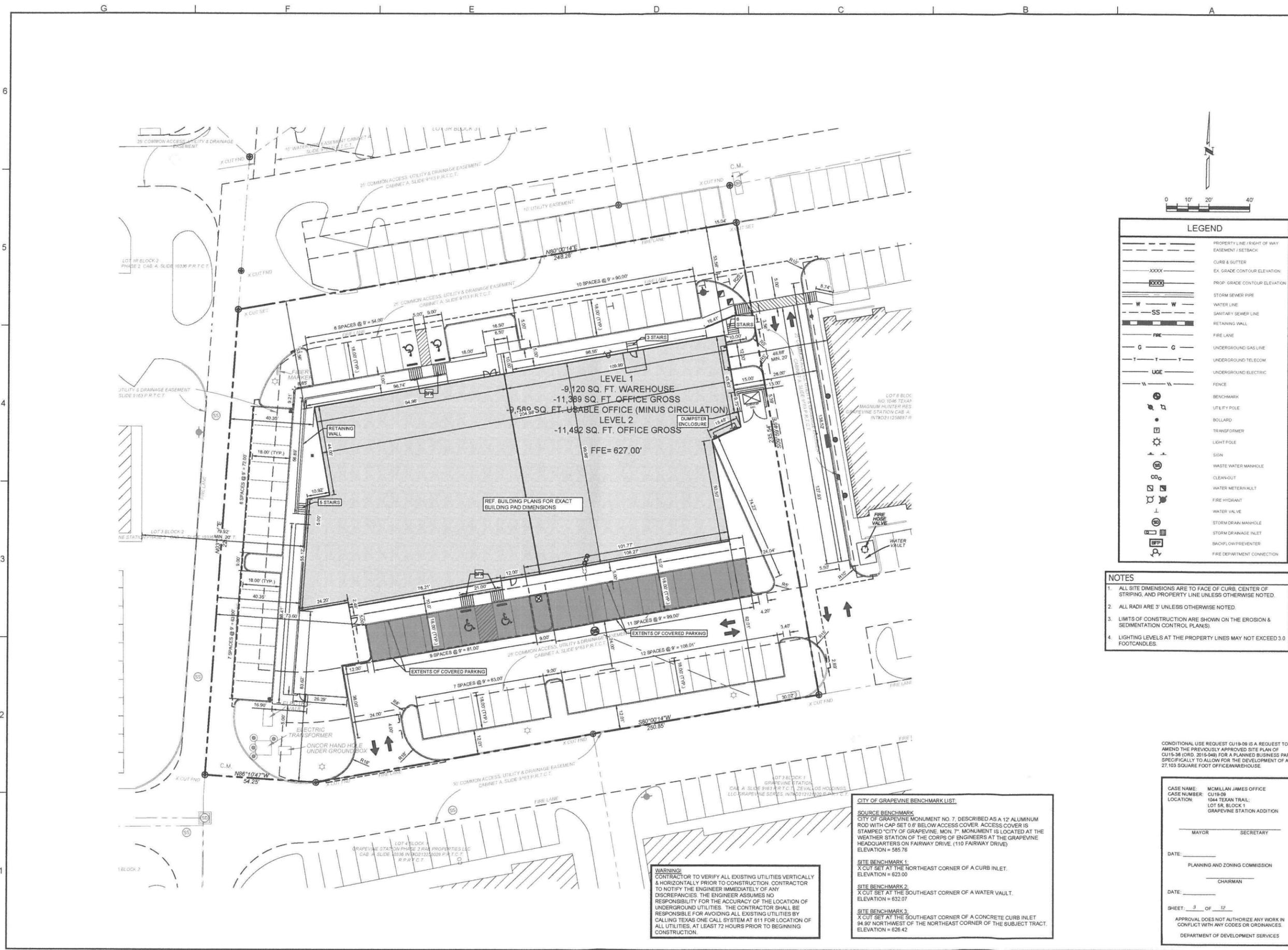
SHEET TITLE: **DETAILED SITE PLAN**

PROJECT NO: CU19-09

SHEET: **CS101**

02 OF 12

JOB NO. D



LEGEND

	PROPERTY LINE / RIGHT OF WAY EASEMENT / SETBACK
	CURB & GUTTER
	EX. GRADE CONTOUR ELEVATION
	PROP. GRADE CONTOUR ELEVATION
	STORM SEWER PIPE
	WATER LINE
	SANITARY SEWER LINE
	RETAINING WALL
	FIRE LANE
	UNDERGROUND GAS LINE
	UNDERGROUND TELECOM
	UNDERGROUND ELECTRIC
	FENCE
	BENCHMARK
	UTILITY POLE
	BOLLARD
	TRANSFORMER
	LIGHT POLE
	SIGN
	WASTE WATER MANHOLE
	CLEAN-OUT
	WATER METER VAULT
	FIRE HYDRANT
	WATER VALVE
	STORM DRAIN MANHOLE
	STORM DRAINAGE INLET
	BACKFLOW PREVENTER
	FIRE DEPARTMENT CONNECTION

- NOTES**
1. ALL SITE DIMENSIONS ARE TO FACE OF CURB, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.
 2. ALL RADII ARE 3' UNLESS OTHERWISE NOTED.
 3. LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLANS.
 4. LIGHTING LEVELS AT THE PROPERTY LINES MAY NOT EXCEED 3.0 FOOTCANDLES.

CONDITIONAL USE REQUEST CU19-09 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU15-38 (ORD. 2015-048) FOR A PLANNED BUSINESS PARK, SPECIFICALLY TO ALLOW FOR THE DEVELOPMENT OF A 27,103 SQUARE FOOT OFFICE/WAREHOUSE.

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SITE BENCHMARK 3:
X CUT SET AT THE SOUTHEAST CORNER OF A CONCRETE CURB INLET. 94.90' NORTHWEST OF THE NORTHEAST CORNER OF THE SUBJECT TRACT. ELEVATION = 626.42

CASE NAME: MCMILLAN JAMES OFFICE & WAREHOUSE
CASE NUMBER: CU19-09
LOCATION: 1044 TEXAN TRAIL, LOT 5R, BLOCK 1 GRAPEVINE STATION ADDITION

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: _____

SHEET: 3 OF 12

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.
DEPARTMENT OF DEVELOPMENT SERVICES

WARNING:
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ENGINEERING | CONSULTING
8144 WALNUT HILL LANE, SUITE 603
DALLAS, TEXAS 75231

DATE: _____

NO. _____

DESCRIPTION: _____

PROJECT: MCMILLAN JAMES OFFICE & WAREHOUSE
LOT 5R BLOCK 1 GRAPEVINE STATION
1044 TEXAN TRAIL, CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS 76051

SHEET TITLE: DIMENSION CONTROL PLAN

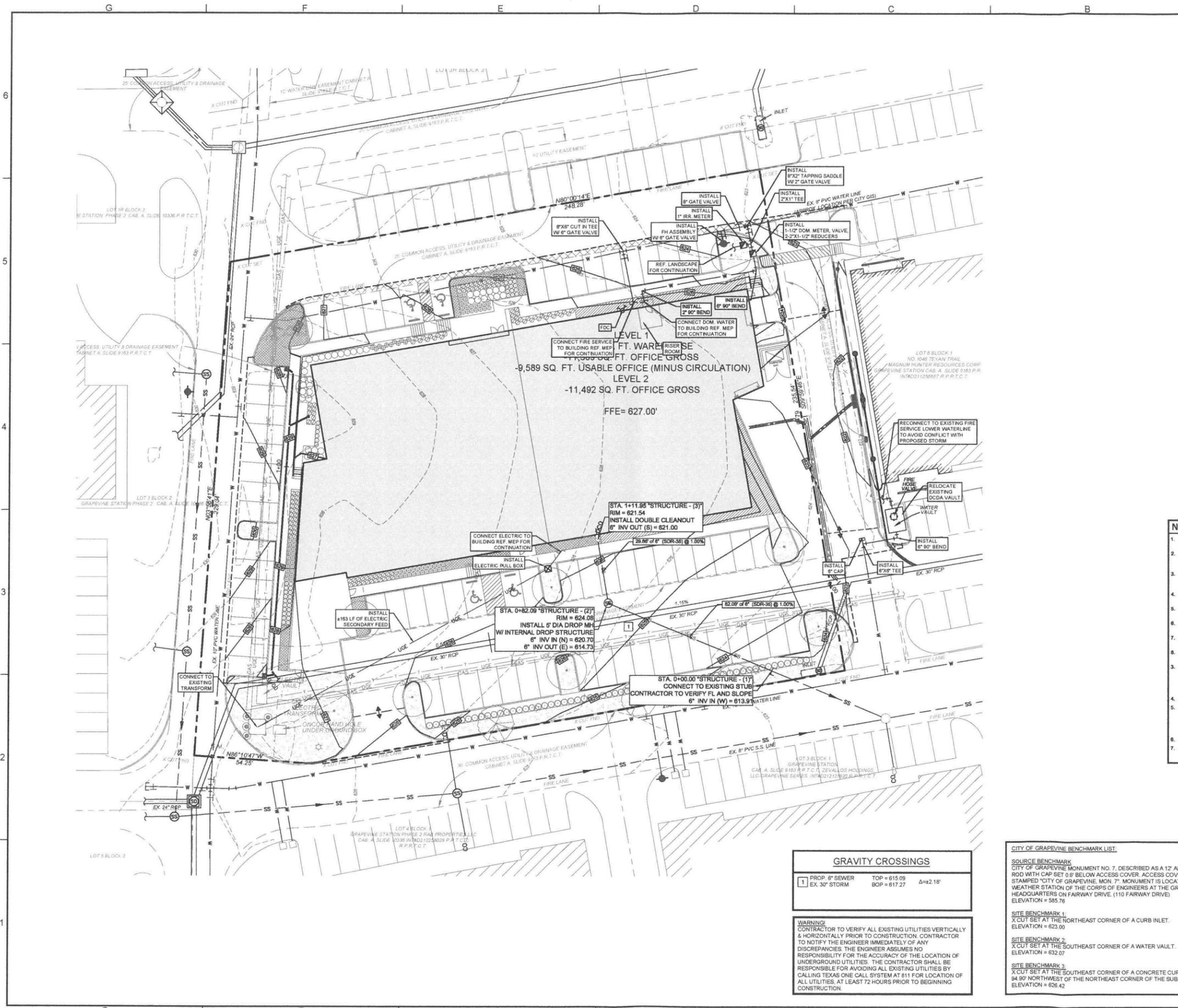
CU19-09

SHEET: CS102

03 OF 12

JOB NO. D

FILE NAME: 1001-0010-DIMENSION CONTROL PLAN (DWG)
LAST MODIFIED: 04/10/2019 10:13:11 AM
AUTHOR: J. H. HARRIS
PLOTTER: HP PLOTTER
PLOT DATE: 04/10/2019 10:13:11 AM



LEGEND

---	PROPERTY LINE / RIGHT OF WAY EASEMENT / SETBACK
---	CURB & GUTTER
---	EX. GRADE CONTOUR ELEVATION
---	PROP. GRADE CONTOUR ELEVATION
---	STORM SEWER PIPE
---	WATER LINE
---	SANITARY SEWER LINE
---	RETAINING WALL
---	FIRE LANE
---	UNDERGROUND GAS LINE
---	UNDERGROUND TELECOM
---	UNDERGROUND ELECTRIC
---	FENCE
---	BENCHMARK
---	UTILITY POLE
---	BOLLARD
---	TRANSFORMER
---	LIGHT POLE
---	SIGN
---	WASTE WATER MANHOLE
---	CLEAN-OUT
---	WATER METER VAULT
---	FIRE HYDRANT
---	WATER VAULT
---	STORM DRAIN MANHOLE
---	STORM DRAINAGE INLET
---	BACKFLOW PREVENTER
---	FIRE DEPARTMENT CONNECTION

- ### NOTES
- CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AND APPURTENANCES AS CALLED OUT ON PLANS.
 - ALL PUBLIC POTABLE WATER PIPE (WITHIN R.O.W. AND UTILITY EASEMENTS) TO BE PVC 800 DR14 (BLUE) AND SERVICE LEADS ARE TO BE TYPE K COPPER, PER DETAIL.
 - ALL VERTICAL AND HORIZONTAL WATER LINE BENDS SHALL BE RESTRAINED TO THE MAIN USING MECHANICAL JOINT RESTRAINT DEVICES SUCH AS MEGA-LUS OR APPROVED EQUAL.
 - FILL, COMPACT & TEST GROUND AT PROPOSED FINISHED GRADE ELEVATION TO 98% DENSITY PRIOR TO UTILITY CONSTRUCTION.
 - REPAIR ASPHALT AS REQUIRED FOR INSTALLATION OF WATER & WASTEWATER LINES REFERENCE CONSTRUCTION DETAILS.
 - NO COMBUSTIBLE CONSTRUCTION SHALL BEGIN ON THIS PROJECT SITE UNTIL ADEQUATE FIRE FLOW IS AVAILABLE.
 - EXISTING SERVICE LINE LOCATIONS ARE APPROXIMATE AND NEED TO BE FIELD VERIFIED.
 - LIMITS OF CONSTRUCTION ARE SHOWN ON EROSION & SEDIMENTATION CONTROL PLANS.
 - ON ALL GRAVITY LINES, CONTRACTOR MUST START AT DOWNSTREAM END AND PROCEED UPSTREAM TAKING CARE TO EXPOSE ALL EXISTING UTILITIES AND STRUCTURES WHICH MAY CONFLICT WITH THE PROPOSED LINE. ANY OTHER SEQUENCE OF CONSTRUCTION WILL BE AT THE CONTRACTOR'S RISK.
 - ALL GRAVITY WASTEWATER PIPE TO BE PVC SDR-26 (GREEN).
 - UNDERGROUND MAINS FEEDING PRIVATE FIRE HYDRANTS MUST BE INSTALLED AND TESTED IN ACCORDANCE WITH NFPA 24, AND THE FIRE CODE, BY A LICENSED CONTRACTOR WITH A PLUMBING PERMIT. THE ENTIRE MAIN MUST BE HYDROSTATICALLY TESTED AT ONE TIME, UNLESS ISOLATION VALVES ARE PROVIDED BETWEEN TESTED SECTIONS.
 - REFERENCE GENERAL NOTES SHEETS(S) FOR ADDITIONAL UTILITY NOTES.
 - ALL ON-SITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.

GRAVITY CROSSINGS

PROF.	PROP. 6" SEWER	TOP = 615.09	BOP = 617.27	Δ = 2.18'
1	EX. 30" STORM			

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CONDITIONAL USE REQUEST CU19-09 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU15-36 (ORD. 2015-049) FOR A PLANNED BUSINESS PARK, SPECIFICALLY TO ALLOW FOR THE DEVELOPMENT OF A 27,103 SQUARE FOOT OFFICE/WAREHOUSE.

CASE NAME: MCMILLAN JAMES OFFICE
CASE NUMBER: CU19-09
LOCATION: 1044 TEXAN TRAIL, LOT 5R, BLOCK 1, GRAPEVINE STATION ADDITION

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: _____

SHEET: 6 OF 12

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

PROJECT: MCMILLAN JAMES OFFICE & WAREHOUSE
LOT 5R BLOCK 1 GRAPEVINE STATION
1044 TEXAN TRAIL, CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS 76051

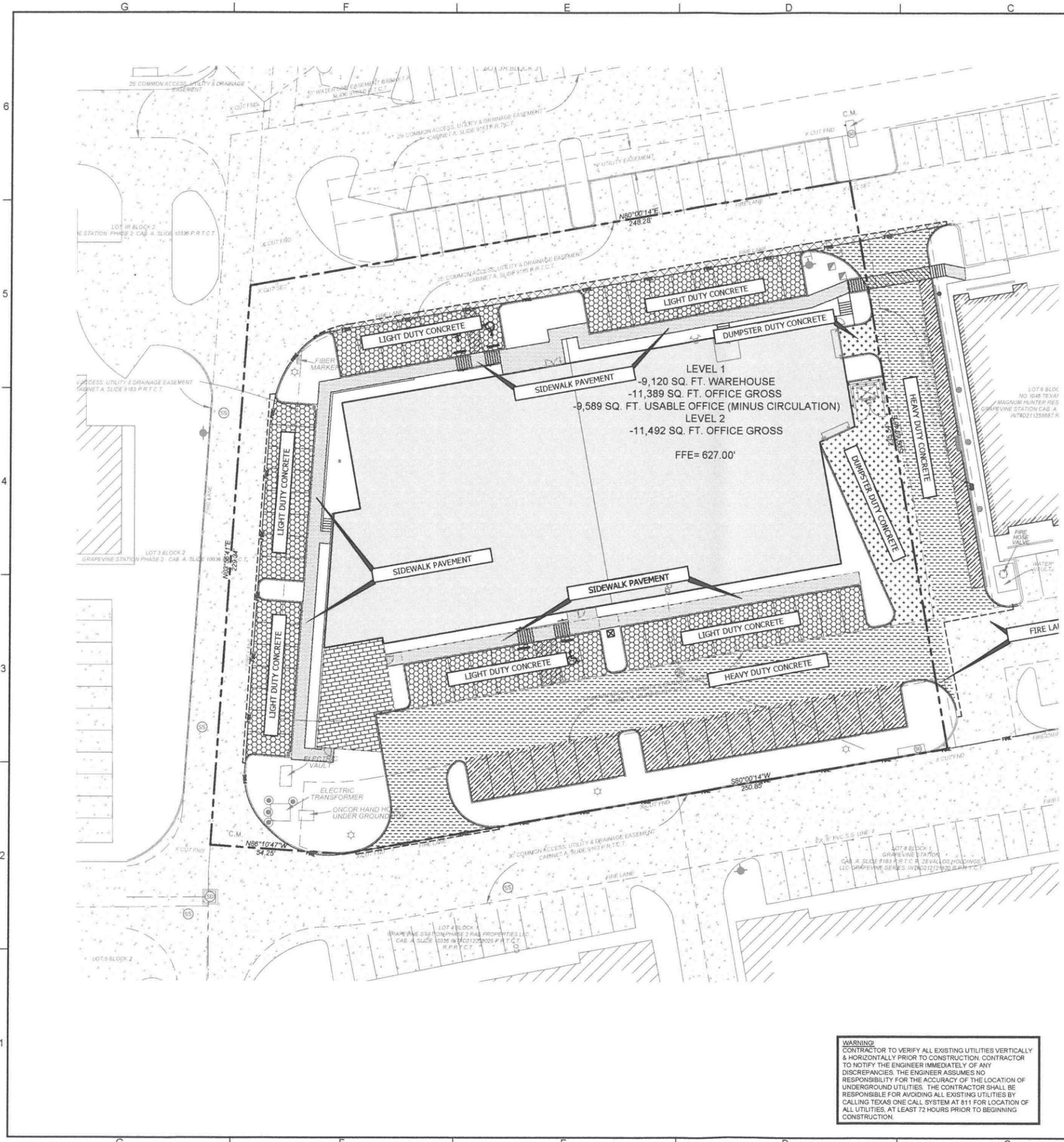
SHEET TITLE: UTILITY PLAN

SHEET: CU100
06 OF 12
JOB NO. D

DATE: _____
NO: _____
DATE: _____

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814 WALNUT HILL LANE, SUITE 803
DALLAS, TEXAS 75201

STATE OF TEXAS
SEAL OF THE ENGINEER
11453
03/17/2019



LEGEND

	PROPERTY LINE / RIGHT OF WAY EASEMENT / SETBACK
	CURB & GUTTER
	EXIST. GRADE CONTOUR ELEVATION
	PROG. GRADE CONTOUR ELEVATION
	STORM SEWER PIPE
	WATER LINE
	SANITARY SEWER LINE
	RETAINING WALL
	FIRE LANE
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	WATER VALVE
	STORM DRAIN MANHOLE
	STORM DRAINAGE INLET
	BACKFLOW PREVENTER
	FIRE DEPARTMENT CONNECTION

NOTE:
A GEOTECHNICAL PROFESSIONAL ENGINEER WILL RECOMMEND TO THE CITY OF GRAPEVINE THE STABILIZATION REQUIREMENTS PRIOR TO STARTING STREET CONSTRUCTION.

PAVING LEGEND

	FIRE LANE STRIPPING
	LIGHT DUTY CONCRETE PAVT. 5" PCC OVER 8" SCARIFIED, COMPACTED SUBGRADE
	HEAVY DUTY CONCRETE PAVT. 8" PCC OVER 8" SCARIFIED, COMPACTED SUBGRADE
	DUMPSTER DUTY CONCRETE PAVT. 7" PCC OVER 8" SCARIFIED, COMPACTED SUBGRADE
	MATCH EXISTING ROADWAY TYPICAL SECTION
	CONCRETE SWLK. / PAVT.
	FOUR (4) INCH CONCRETE SLAB WITH SIX (6) INCHES BY SIX (6) INCHES BY SIX (6) GAUGE MESH WIRE OR TWO (2) INCH HOT MIX ASPHALTIC CONCRETE OVER SIX (6) INCH CRUSHED ROCK BASE

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CASE NAME: MCMILLAN JAMES OFFICE
CASE NUMBER: CU19-09
LOCATION: 1044 TEXAN TRAIL, LOT 5R, BLOCK 1, GRAPEVINE STATION ADDITION

MAYOR: _____ **SECRETARY:** _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN: _____

DATE: _____

SHEET: 7 OF 12

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

BY: _____

DATE: _____

NO. _____

DESCRIPTION: _____

214-307-4767

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8144 WALNUT HILL LANE, SUITE 800
DALLAS, TEXAS 75231

FIRM NO. F11001

STATE OF TEXAS
SEAL OF THE ENGINEER
CRAWFORD HARRIS
114527
2024

PROJECT: MCMILLAN JAMES OFFICE & WAREHOUSE
LOT 5R BLOCK 1 GRAPEVINE STATION
1044 TEXAN TRAIL, CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS 76051

CU19-09

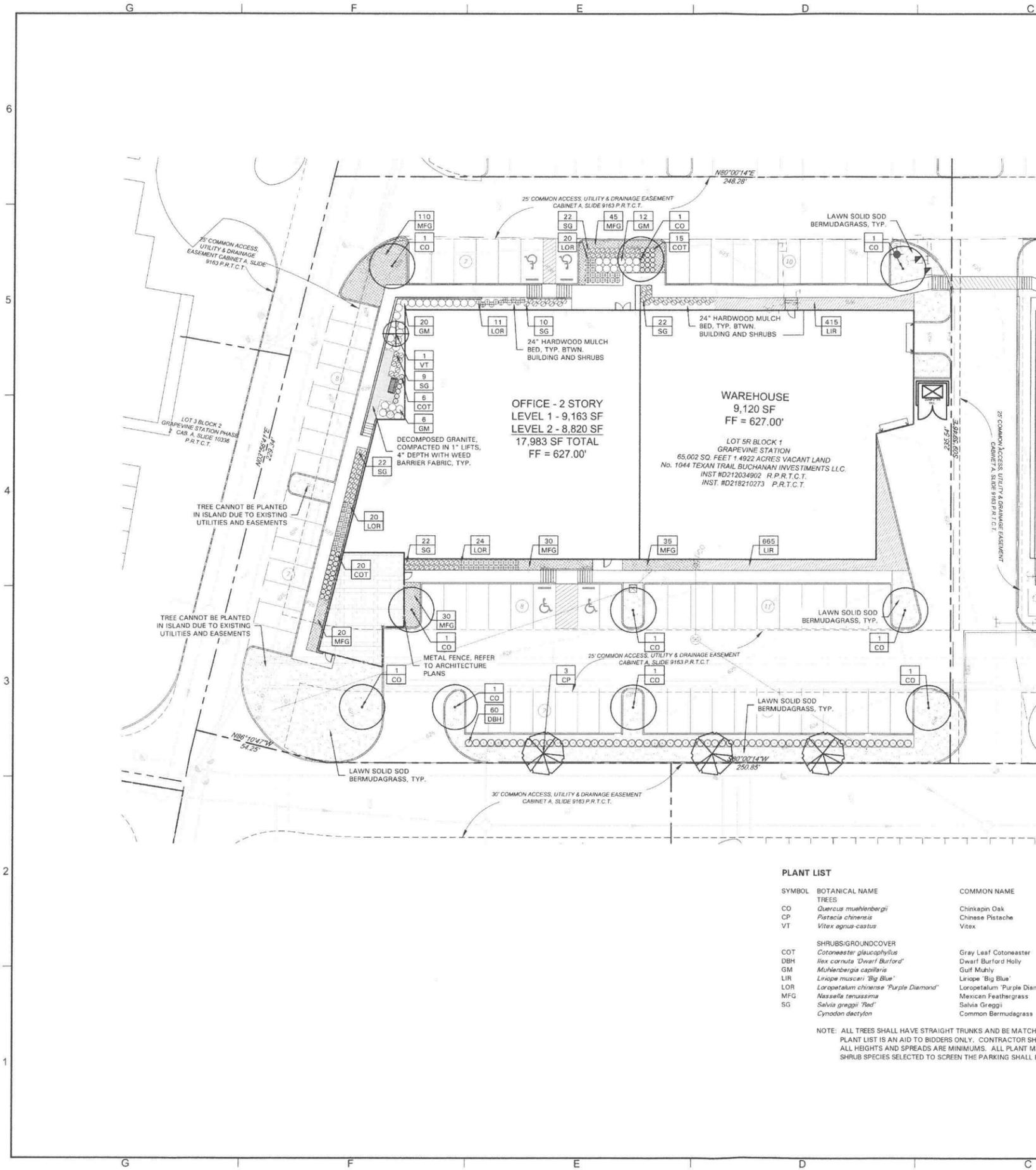
SHEET TITLE: PAVING PLAN

SHEET: CP100

07 OF 12

JOB NO. D

FILE NAME: 130110.000_PAVING PLAN.DWG
LAST MODIFIED ON: 10/27/2019 11:39 AM
LAST MODIFIED BY: JACOB HARRIS
PLOTTER: HP PLOTTER
PLOT DATE: 10/27/2019 11:39 AM
PLOT SCALE: 1/8" = 1'-0"



LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO FILLING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE TABULATIONS
THE CITY OF GRAPEVINE, TEXAS

INTERIOR LANDSCAPE REQUIREMENTS

- 10% of the gross parking area shall be landscape.
- One (1) tree, 3" cal., per 400 s.f. of interior landscape area.

Gross parking area: 25,087 s.f.

Required	Provided
2,509 s.f. (10%)	4,665 s.f. (18%)
(7) trees, 3" cal.	(10) trees, 3" cal.

NON-VEHICULAR OPEN SPACE REQUIREMENTS

- 15% of the total site area to be landscaped.
- Trees shall be planted in the non-vehicular open space at a rate of 1 tree per 3,000 s.f.

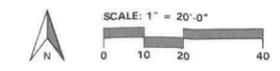
Total site area: 65,000 s.f.
Vehicular space: 29,368 s.f. (45%)
Non-vehicular open space: 9,120 s.f.

Required	Provided
9,750 s.f. (15%)	9,607 s.f. (14%)
(3) trees, 3" cal.	(3) trees, 3" cal.

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
CO	<i>Quercus muhlenbergii</i>	Chinkapin Oak	10	3" cal.	container grown, 12" ht., 4" spread, 4' branching ht., matching
CP	<i>Pistacia chinensis</i>	Chinese Pistache	3	3" cal.	container grown, 12" ht., 4" spread, 4' branching ht., matching
VT	<i>Vitex agnus-castus</i>	Vitex	1	2" cal.	B&B or container grown, 8" ht., 4" spread, 3 trunk min.
SHRUBS/GROUND COVER					
COT	<i>Cotoneaster glaucophyllus</i>	Gray Leaf Cotoneaster	41	5 gal.	container full, 20" spread 24" o.c.
DBH	<i>Ilex cornuta 'Dwarf Barford'</i>	Dwarf Barford Holly	60	30" ht.	container full, 30" ht. at installation, 24" spread, 36" o.c.
GM	<i>Muhlenbergia capillaris</i>	Gulf Muhly	38	5 gal.	container full, 36" o.c.
LIR	<i>Liriope muscari 'Big Blue'</i>	Liriope 'Big Blue'	1,080	4" pots	container full top of container, 12" o.c.
LOR	<i>Loropetalum chinense 'Purple Diamond'</i>	Loropetalum 'Purple Diamond'	75	3 gal.	container full, 20" spread, 24" o.c.
MFG	<i>Nassella tenuissima</i>	Mexican Feathergrass	270	1 gal.	container full, 24" o.c.
SG	<i>Salvia greggii 'Red'</i>	Salvia Greggii	107	5 gal.	container full, 20" spread 24" o.c.
	<i>Cynodon dactylon</i>	Common Bermudagrass			refer to notes

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES. PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED. SHRUB SPECIES SELECTED TO SCREEN THE PARKING SHALL BE 30" HT. AT INSTALLATION AND ABLE TO REACH 3' HT. AFTER ONE YEAR.



4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office

NO.	DATE	CITY COMMENTS	DESCRIPTION
1	02/29/19		

WWW.BIGREDDOG.COM
214-307-4787

ENGINEERING | CONSULTING
8144 WALNUT HILL LANE, SUITE 903
DALLAS, TEXAS 75231

PROJECT: **McMILLAN JAMES OFFICE & WAREHOUSE**
LOT 5R BLOCK 1 GRAPEVINE STATION
1044 TEXAN TRAIL, CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS 76051

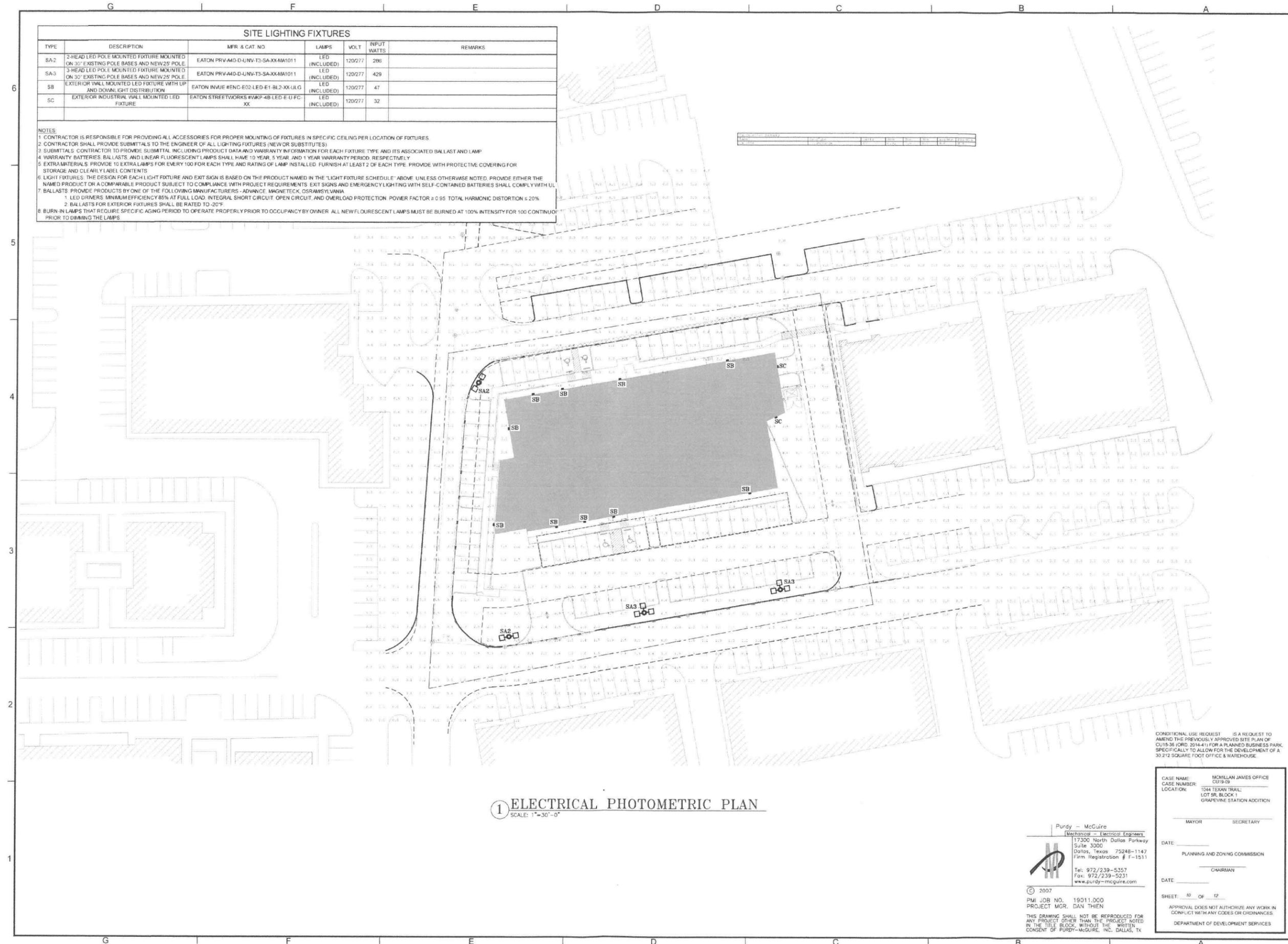
SHEET TITLE: **LANDSCAPE PLAN**

SHEET: **L1.01**
08 OF 12
JOB NO. D

SITE LIGHTING FIXTURES						
TYPE	DESCRIPTION	MFR. & CAT. NO.	LAMPS	VOLT.	INPUT WATTS	REMARKS
SA2	2-HEAD LED POLE MOUNTED FIXTURE MOUNTED ON 30' EXISTING POLE BASES AND NEW 25' POLE	EATON PRV-40-D-UV-T3-SA-XX-M1011	LED (INCLUDED)	120/277	286	
SA3	3-HEAD LED POLE MOUNTED FIXTURE MOUNTED ON 30' EXISTING POLE BASES AND NEW 25' POLE	EATON PRV-40-D-UV-T3-SA-XX-M1011	LED (INCLUDED)	120/277	429	
SB	EXTERIOR WALL MOUNTED LED FIXTURE WITH UP AND DOWN LIGHT DISTRIBUTION	EATON INVAJE #ENC-E02-LED-E1-8L2-XX-UL-G	LED (INCLUDED)	120/277	47	
SC	EXTERIOR INDUSTRIAL WALL MOUNTED LED FIXTURE	EATON STREETWORKS #WKP-4B-LED-E-U-FC-XX	LED (INCLUDED)	120/277	32	

NOTES:
 1. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL ACCESSORIES FOR PROPER MOUNTING OF FIXTURES IN SPECIFIC CEILING PER LOCATION OF FIXTURES.
 2. CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE ENGINEER OF ALL LIGHTING FIXTURES (NEW OR SUBSTITUTES).
 3. SUBMITTALS: CONTRACTOR TO PROVIDE SUBMITTAL INCLUDING PRODUCT DATA AND WARRANTY INFORMATION FOR EACH FIXTURE TYPE AND ITS ASSOCIATED BALLAST AND LAMP.
 4. WARRANTY: BATTERIES, BALLASTS, AND LINEAR FLUORESCENT LAMPS SHALL HAVE 10 YEAR, 5 YEAR, AND 1 YEAR WARRANTY PERIOD, RESPECTIVELY.
 5. EXTRACT MATERIALS: PROVIDE 10 EXTRA LAMPS FOR EVERY 100 FOR EACH TYPE AND RATING OF LAMP INSTALLED. FURNISH AT LEAST 2 OF EACH TYPE. PROVIDE WITH PROTECTIVE COVERING FOR STORAGE AND CLEARLY LABEL CONTENTS.
 6. LIGHT FIXTURES: THE DESIGN FOR EACH LIGHT FIXTURE AND EXIT SIGN IS BASED ON THE PRODUCT NAMED IN THE "LIGHT FIXTURE SCHEDULE" ABOVE UNLESS OTHERWISE NOTED. PROVIDE EITHER THE NAMED PRODUCT OR A COMPARABLE PRODUCT SUBJECT TO COMPLIANCE WITH PROJECT REQUIREMENTS. EXIT SIGNS AND EMERGENCY LIGHTING WITH SELF-CONTAINED BATTERIES SHALL COMPLY WITH UL.
 7. BALLASTS: PROVIDE PRODUCTS BY ONE OF THE FOLLOWING MANUFACTURERS - ADVANCE, MAGNETEK, OSRAM/SYLVANIA
 1. LED DRIVERS: MINIMUM EFFICIENCY 85% AT FULL LOAD, INTEGRAL SHORT CIRCUIT, OPEN CIRCUIT, AND OVERLOAD PROTECTION. POWER FACTOR ≥ 0.95. TOTAL HARMONIC DISTORTION ≤ 20%.
 2. BALLASTS FOR EXTERIOR FIXTURES SHALL BE RATED TO -20°F.
 8. BURN-IN LAMPS THAT REQUIRE SPECIFIC AGING PERIOD TO OPERATE PROPERLY PRIOR TO OCCUPANCY BY OWNER. ALL NEW FLUORESCENT LAMPS MUST BE BURNED AT 100% INTENSITY FOR 100 CONTINUOUS HOURS PRIOR TO DIMMING THE LAMPS.

SCALE	DATE	BY
1"=30'-0"		



1 ELECTRICAL PHOTOMETRIC PLAN
SCALE: 1"=30'-0"

CONDITIONAL USE REQUEST IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU15-38 (ORD. 2014-11) FOR A PLANNED BUSINESS PARK, SPECIFICALLY TO ALLOW FOR THE DEVELOPMENT OF A 33,212 SQUARE FOOT OFFICE & WAREHOUSE.

CASE NAME:	MCMILLAN JAMES OFFICE
CASE NUMBER:	CU15-38
LOCATION:	1044 TEXAN TRAIL, LOT 5R, BLOCK 1 GRAPEVINE STATION ADDITION
MAYOR	SECRETARY
DATE	
PLANNING AND ZONING COMMISSION	
CHAIRMAN	
DATE	
SHEET: 10	OF 12
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.	
DEPARTMENT OF DEVELOPMENT SERVICES	

Purdy - McGuire
 Mechanical - Electrical Engineers
 17300 North Dallas Parkway
 Suite 3000
 Dallas, Texas 75248-1147
 Firm Registration # F-1511
 Tel: 972/239-5357
 Fax: 972/239-5231
 www.purdy-mcguire.com

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 PMI JOB NO. 19011.000
 PROJECT MGR. DAN THIEN
 THIS DRAWING SHALL NOT BE REPRODUCED FOR ANY PROJECT OTHER THAN THE PROJECT NOTED IN THE TITLE BLOCK, WITHOUT THE WRITTEN CONSENT OF PURDY-MCGUIRE, INC., DALLAS, TX

PROJECT: MCMILLAN JAMES OFFICE & WAREHOUSE
 LOT 5R BLOCK 1 GRAPEVINE STATION
 1044 TEXAN TRAIL, CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS 76051

SHEET TITLE: ELECTRICAL PHOTOMETRIC PLAN

SHEET: 10 OF 12
 E1.01
 10 OF 12
 JOB NO. D

DATE: _____
 BY: _____
 INC: _____

214-307-4767
 www.bigreddog.com
BIG RED DOG
 ENGINEERING | CONSULTING
 8144 WALNUT HILL LANE, SUITE 503
 DALLAS, TEXAS 75231
 FIRM NO. F-1120

DANIEL C. THIEN
 24834
 08/24/14

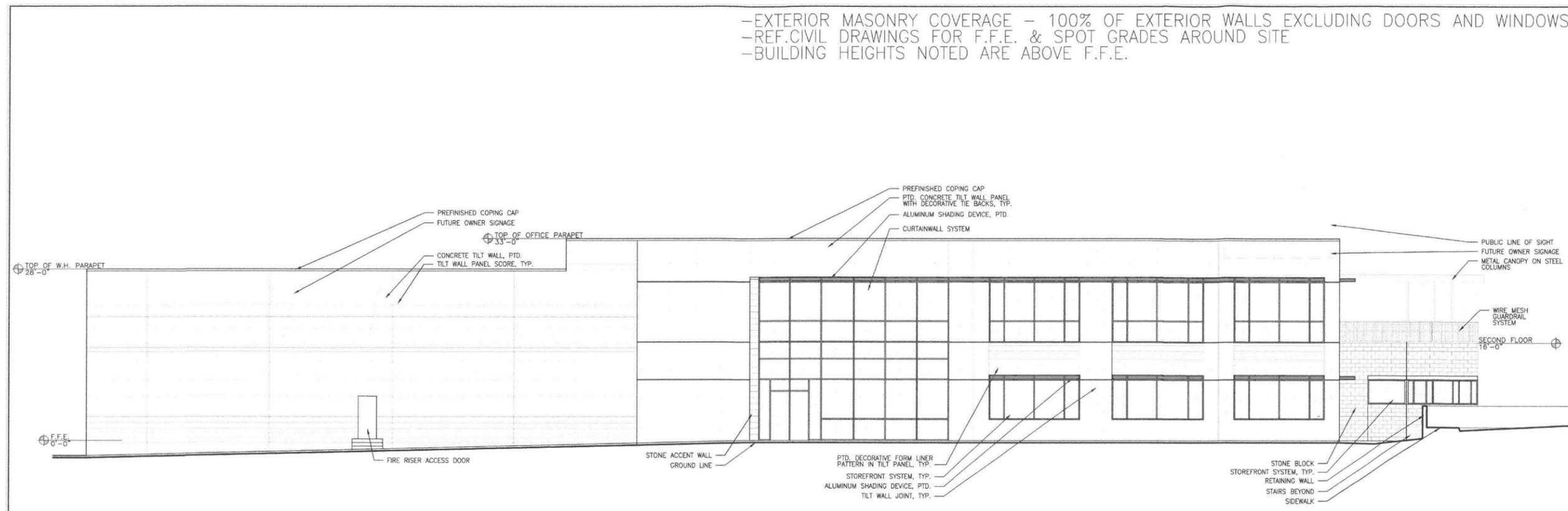
FOR CITY
REVIEW ONLY
NOT FOR
CONSTRUCTION



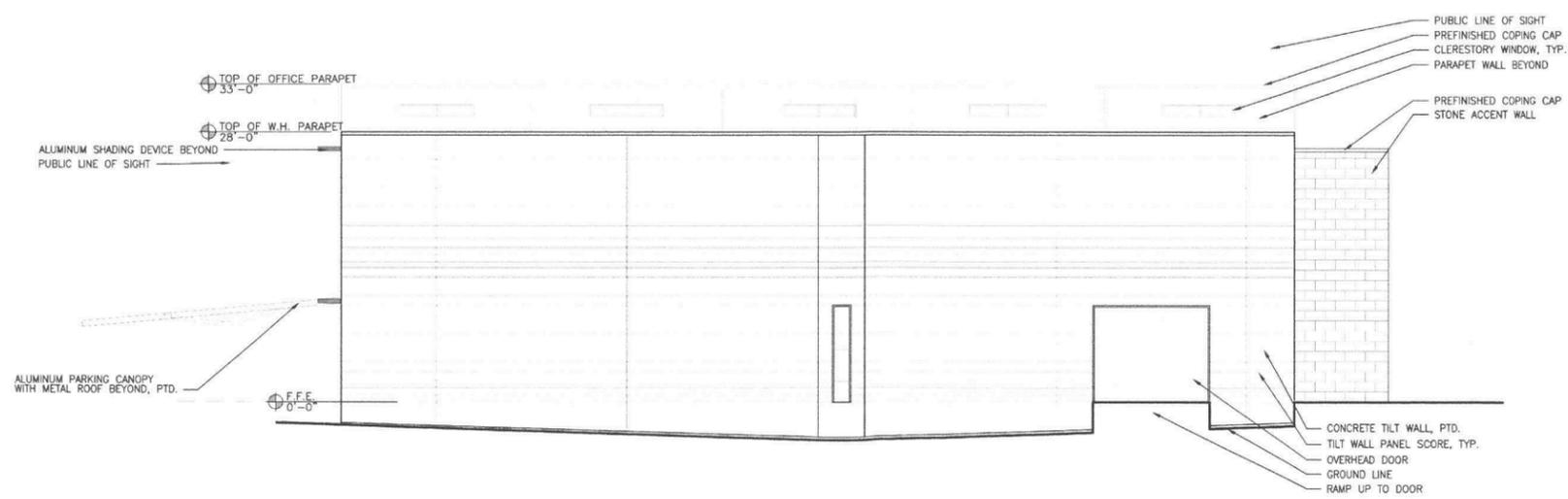
**McMILLAN JAMES
OFFICE &
WAREHOUSE**
1044 TEXAN TRAIL, GRAPEVINE, TX
76051

© 2019 MERRIAM ANDERSON ARCHITECTS, INC.
REVISED

-EXTERIOR MASONRY COVERAGE - 100% OF EXTERIOR WALLS EXCLUDING DOORS AND WINDOWS
-REF.CIVIL DRAWINGS FOR F.F.E. & SPOT GRADES AROUND SITE
-BUILDING HEIGHTS NOTED ARE ABOVE F.F.E.



01 NORTH BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



02 EAST BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

CONDITIONAL USE REQUEST IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU19-38 (ORD. 2014-11) FOR A PLANNED BUSINESS PARK, SPECIFICALLY TO ALLOW FOR THE DEVELOPMENT OF A 30,212 SQUARE FOOT OFFICE & WAREHOUSE.

CASE NAME:	McMILLAN JAMES OFFICE
CASE NUMBER:	CU19-09
LOCATION:	1044 TEXAN TRAIL, LOT SR, BLOCK 1 GRAPEVINE STATION ADDITION
<p>____ MAYOR _____ SECRETARY</p>	
DATE:	_____
<p>PLANNING AND ZONING COMMISSION</p>	
<p>____ CHAIRMAN</p>	
DATE:	_____
SHEET:	11 OF 12
<p>APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES. DEPARTMENT OF DEVELOPMENT SERVICES</p>	

PROJECT NUMBER: ma2018188
ISSUE: 03 / 04 / 2019
SHEET NAME:

ARCHITECTURAL ELEVATIONS

FOR CITY
REVIEW ONLY
NOT FOR
CONSTRUCTION



McMILLAN JAMES
OFFICE & WAREHOUSE
1044 TEXAN TRAIL, GRAPEVINE, TX
76051

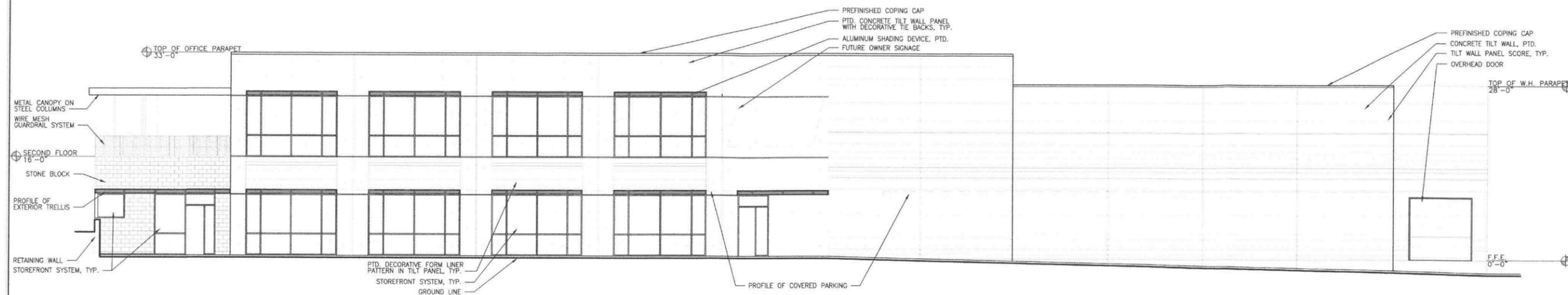
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REVISED

PROJECT NUMBER:
maa2018198
ISSUE:
03 / 04 / 2019
SHEET NAME:

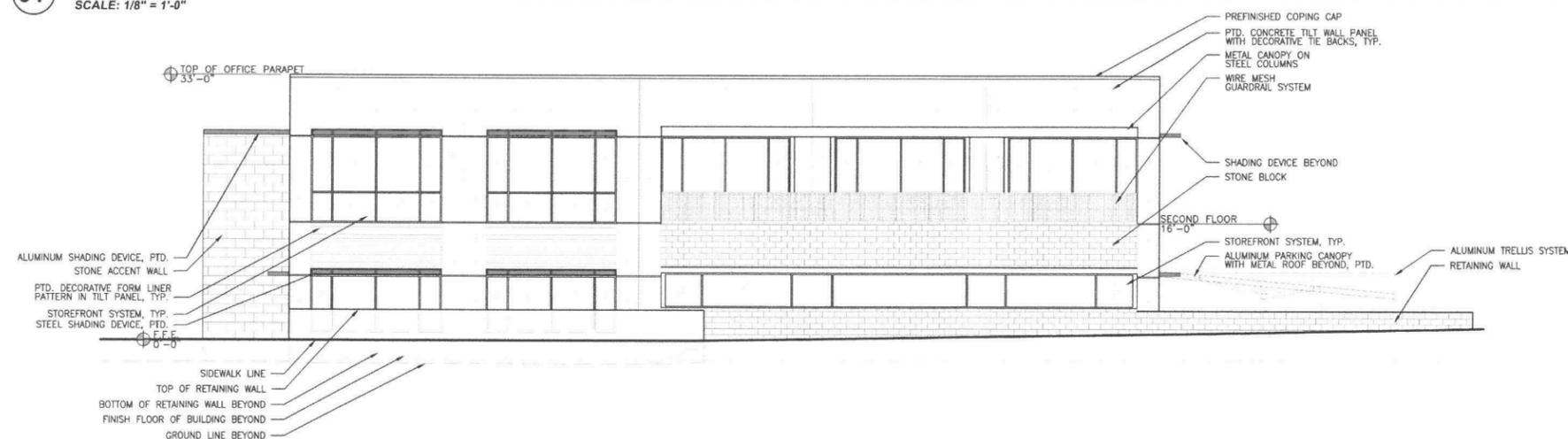
ARCHITECTURAL ELEVATIONS

SHEET:
A3.02
11 OF 12

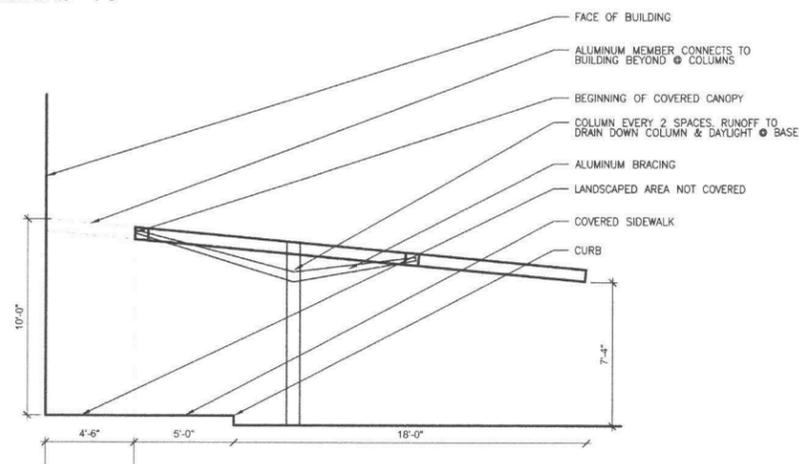
-EXTERIOR MASONRY COVERAGE - 100% OF EXTERIOR WALLS EXCLUDING DOORS AND WINDOWS
-REF.CIVIL DRAWINGS FOR F.F.E. & SPOT GRADES AROUND SITE
-BUILDING HEIGHTS NOTED ARE ABOVE F.F.E.



01 SOUTH BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



02 WEST BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



03 ENLARGED ALUMINUM PARKING CANOPY SECTION
SCALE: 1/4" = 1'-0"

CONDITIONAL USE REQUEST IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU15-28 (ORD. 2014-11) FOR A PLANNED BUSINESS PARK, SPECIFICALLY TO ALLOW FOR THE DEVELOPMENT OF A 30,212 SQUARE FOOT OFFICE & WAREHOUSE.

CASE NAME: McMILLAN JAMES OFFICE
CASE NUMBER: CU19-09
LOCATION: 1044 TEXAN TRAIL, LOT SR, BLOCK 1 GRAPEVINE STATION ADDITION

MAYOR SECRETARY

DATE: _____
PLANNING AND ZONING COMMISSION

CHAIRMAN

DATE: _____

SHEET: 12 OF 12

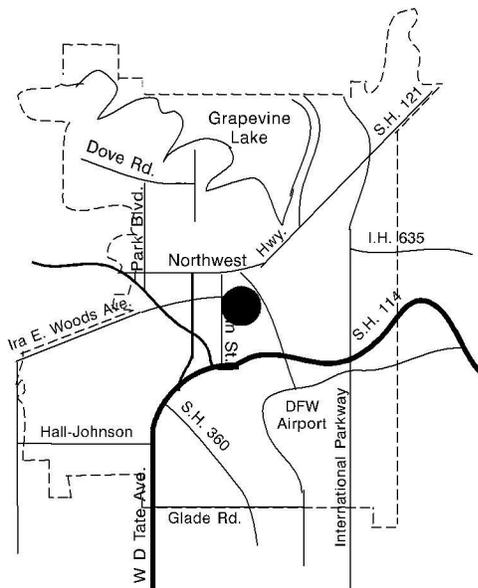
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.
DEPARTMENT OF DEVELOPMENT SERVICES

TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER ^{BR}
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: MAY 21, 2019

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF
CONDITIONAL USE APPLICATION CU19-10 STELLINI
TRATTORIA



APPLICANT: Mitch Wegner

PROPERTY LOCATION AND SIZE:

The subject property is located at 400 East Dallas Road #100 and #200 and is platted as Lot 1R, Block 2, Hilltop Addition. The subject property contains approximately 5.08 acres and has 330 feet of frontage along Jean Street and 541 feet of frontage along East Dallas Road.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to amend the previously approved site plan of PD16-01 specifically to allow the possession, storage, retail sales, and on-premise consumption of alcoholic beverages (beer, wine, and mixed beverages) in conjunction with a restaurant, and the possession, storage, retail sales and off-premise consumption of alcoholic beverages (beer and wine only) in conjunction with a market.

At Council's May 17, 2016 meeting the subject property received approval for a zoning change from "LI" Light Industrial District to "CBD" Central Business District for the development of a four story, 250-unit multifamily project located at the southeast corner of East Dallas Road and Jean Street. A planned development overlay was also approved to allow the residential use within the district, to exceed the height requirement within the district (70 feet maximum height) and to deviate from the parking requirements based on

a parking study provided by the applicant. As a part of the project, 11,485 s.f. of flexible lease space for restaurant and/or retail uses was provided along the Jean Street frontage.

With this request the applicant intends to occupy 5,446 s.f. at the southeast corner of East Dallas Road and Jean Street for a restaurant (4,315 s.f.) and market (1,131 s.f.). Relative to the restaurant, the applicant will be providing seating for approximately 139 patrons and no outdoor seating or outdoor speakers are proposed. The market will provide a variety of retail goods and prepared foods for sale as well as package beer and wine sales for off-premise consumption. Seating for ten will be provided within the market.

Total parking provided on site is 609 spaces. Based on the parking plan submitted when the project was approved, 375 of those spaces were dedicated to the multifamily portion of the project; the remaining 234 spaces were dedicated to the flexible lease space. Required parking for the restaurant is 48 spaces and the market, 11 spaces. A yoga studio (Inspire Yoga) occupies approximately 1,200 s.f. with a parking demand of 10 spaces. Approximately 165 spaces remain for any future needs of the site including use by the general public, when necessary.

PRESENT ZONING AND USE:

The subject property is currently zoned “CBD” Central Business District and is developed as a four story, 250-unit multifamily project with 11,485 s.f. of flexible lease space for restaurant or retail activities.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject property and the immediate surrounding area were rezoned in the 1984 City Rezoning from “I-1” Light Industrial District to “LI” Light Industrial District. The property immediately to the west of the subject site received a conditional use permit (CU12-14) in January 2013 to allow for a brewery. In April, 1998 (Z98-10) a zone change was approved on a large tract of land to the east of the subject site rezoning the property from “PCD” Planned Commerce Development District to “LI” Light Industrial District to allow for the development of a multi-building warehouse and distribution facility. At the May 17, 2016 meeting, the 5.08-acre subject property was rezoned (Z16-01) from “LI” Light Industrial District to “CBD” Central Business District and a planned development overlay (PD16-01) was approved for the development of 250 multifamily units with increased height and deviation from the standard parking requirements.

SURROUNDING ZONING AND EXISTING LAND USE:

NORTH: “LI” Light Industrial District—non-conforming mobile home park, multi-tenant office-warehouse building

- SOUTH: “LI” Light Industrial District—Northfield Distribution warehouse-distribution facility, non-conforming single family homes
- EAST: “LI” Light Industrial District—Northfield Distribution warehouse-distribution facility
- WEST: “LI” Light Industrial District—Hop and Sting Brewing Company (formerly Grapevine Craft Brewery)

AIRPORT IMPACT:

The subject tract is located within “Zone A” Zone of Minimal Effect as defined on the “Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs” Map. Few activities will be affected by aircraft sounds in “Zone A” except for sound sensitive activities such as auditoriums, churches, schools, hospitals, and theaters. The applicant’s proposal is an appropriate use in this noise zone.

MASTER PLAN APPLICATION:

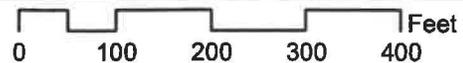
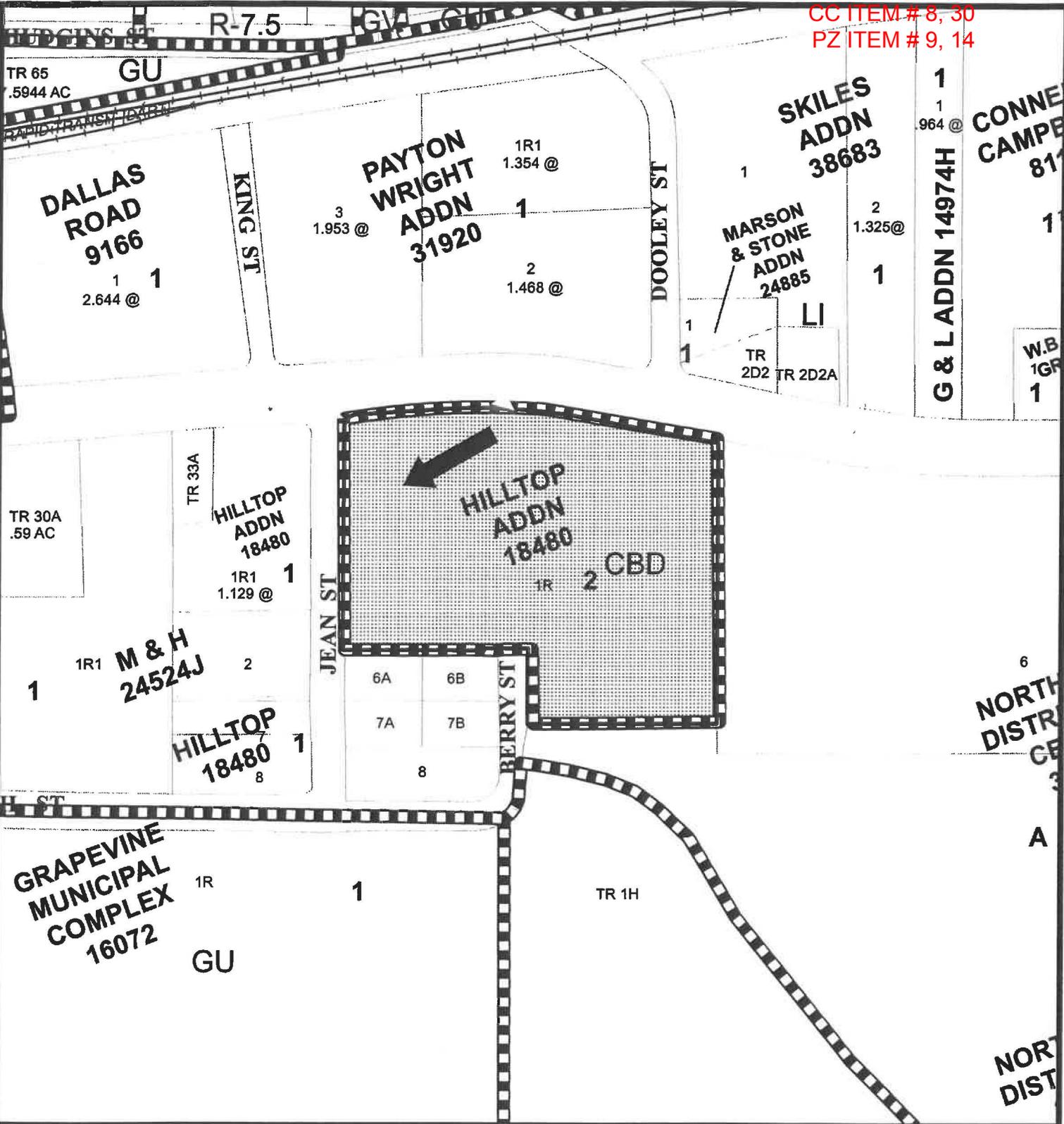
The Master Plan designates the subject property as an Industrial/Commercial land use. The applicant’s request is not in compliance with the Master Plan.

THOROUGHFARE PLAN APPLICATION:

Dallas Road is designated a Class “C” Minor Arterial with 80 feet of right-of-way developed as four lanes with a center left turn lane. Jean Street is not designated a thoroughfare as shown on the City’s Thoroughfare Plan.

/rs

CC ITEM # 8, 30
PZ ITEM # 9, 14



CU19-10
Stellini Trattoria

Date Prepared: 5/7/2019

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

CU19-10



CITY OF GRAPEVINE

CONDITIONAL USE APPLICATION

Form "A"

PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact
NTY Pizzeria Concepts DBA Stellini Trattoria

Street address of applicant / agent:
1000 Evening Glen Ct

City / State / Zip Code of applicant / agent:
Southlake TX 76092

Telephone number of applicant / agent: *908 892 5626* Fax number of applicant/agent

Email address of applicant/agent: [REDACTED] Mobile phone number of applicant/agent

PART 2. PROPERTY INFORMATION

Street address of subject property
4144⁴⁰⁰ E Dallas Rd #100 #200

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot *1-RA* Block *2* Addition *Hilltop*

Size of subject property
5.0784 Acres *221,213* Square footage

Present zoning classification: *CBD/P.D.16-01* Proposed use of the property: *Restaurant*

Circle yes or no, if applies to this application
Outdoor speakers Yes No

Minimum / maximum district size for conditional use request:

Zoning ordinance provision requiring a conditional use:

PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:
TRG AURA GRAPEVINE, L.L.C.

Street address of property owner:
8235 Douglas, suite 950

City / State / Zip Code of property owner:
Dallas, Tx 75225

Telephone number of property owner: *214) 462-7190* Fax number of property owner:



C419-10

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.

- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY

Mitchell Wegner
Print Applicant's Name: _____

[Signature]
Applicant's Signature: _____

The State of Texas
County Of Dallas
Before Me Margie Melchor (notary) on this day personally appeared Mitchell Wegner (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 28 day of February, A.D. 2019.



Margie Melchor
Notary In And For State Of Texas

Adam Brown
Print Property Owners Name: _____

[Signature]
Property Owner's Signature: _____

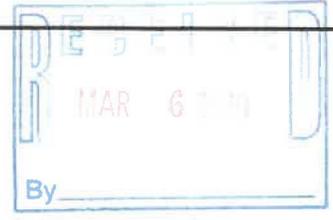
The State Of Texas
County Of Dallas
Before Me Margie Melchor (notary) on this day personally appeared Adam Brown (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 28 day of February, A.D. 2019.



Margie Melchor
Notary In And For State Of Texas



CUI9-10



CITY OF GRAPEVINE

SITE PLAN APPLICATION

Form "B"

PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact
MTX Pizza Concepts DBA Stelling Trattoria

Street address of applicant / agent:
1000 Evergreen Ct

City / State / Zip Code of applicant / agent:
Southlake TX 76092

Telephone number of applicant / agent: *908 892 5626* Fax number of applicant / agent:

Email address of applicant/agent: [REDACTED] Mobile phone number of applicant/agent:

Applicant's interest in subject property:
Restaurant

PART 2. PROPERTY INFORMATION

Street address of subject property
~~4400~~ 400 E Dallas Rd

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot *1-RA* Block *2* Addition *Hilltop*

Size of subject property
5.0784 Acres *221,213* Square footage

Present zoning classification: *CBD / P.D. 16-01* Proposed use of the property: *Restaurant*

Give a general description of the proposed use or uses for the proposed development:

Zoning ordinance provision requiring a conditional use:

PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:
TR6 AURA GRAPEVINE, L.L.C.

Street address of property owner:
8235 Douglas, Suite 950

City / State / Zip Code of property owner:
Dallas, Tx 75225

Telephone number of property owner: *214) 462-7190* Fax number of property owner:



ACKNOWLEDGEMENT

All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant  _____

Date: 2-27-19 _____

Signature of Owner  _____

Date: 2/27/19 _____



ORDINANCE NO. 2019-027

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ISSUING CONDITIONAL USE PERMIT CU19-10 TO AMEND THE PREVIOUSLY APPROVED SITE PLAN PD16-01 (ORDINANCE NO. 2016-36) SPECIFICALLY TO ALLOW THE POSSESSION, STORAGE, RETAIL SALES AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER, WINE AND MIXED BEVERAGES) IN CONJUNCTION WITH A RESTAURANT AND THE POSSESSION, STORAGE, RETAIL SALES AND OFF-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER AND WINE ONLY) IN CONJUNCTION WITH A MARKET FOR LOT 1R, BLOCK 2, HILLTOP ADDITION (400 EAST DALLAS ROAD NO. 100 AND NO. 200) IN A DISTRICT ZONED "CBD" CENTRAL BUSINESS DISTRICT ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the

neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the

particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU19-10 to amend the previously site plan of PD16-01 (Ordinance No. 2016-36) specifically to allow the possession, storage, retail sales and on-premise consumption of alcoholic beverages (beer, wine, and mixed beverages) in conjunction with a restaurant and the possession, storage, retail sales, and off-premise consumption of alcoholic beverages (beer and wine only) in conjunction with a market in a district zoned "CBD" Central Business District within the following described property: Lot 1R, Block 2, Hilltop Addition (400 East Dallas Road No. 100 and No. 200) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. That the City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. That this ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. That any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 21st day of May, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

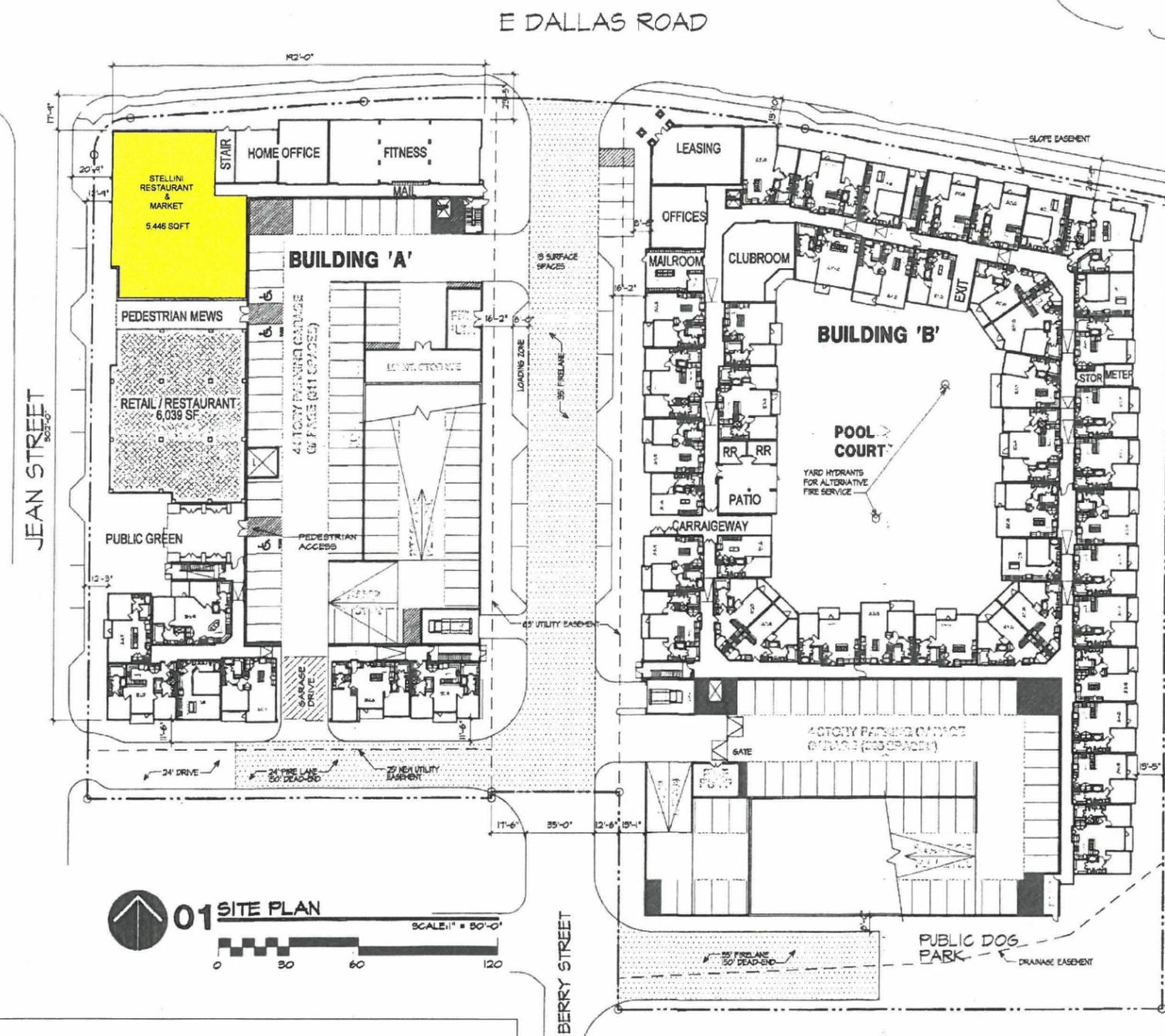
APPROVED AS TO FORM:

City Attorney

SITE DATA SUMMARY		GRAPEVINE, TEXAS
CURRENT ZONING		LI
PROPOSED ZONING		CB0 - PD
TOTAL SITE AREA (MINIMUM OF 1300 SF)		5.08 ACRES / 221,219 SF
TOTAL BUILDING AREA		311,724 SF
FLOOR AREA RATIO (MAXIMUM OF 3.0:1.0)		1.42:1.0
TOTAL IMPERVIOUS AREA (NO MAXIMUM)		204,081 SF
TOTAL OPEN SPACE (NO MINIMUM)		111,226 SF
TOTAL BUILDING AND PAVED AREAS		182,816 SF
TOTAL HEIGHT OF BUILDING A		22'-0"
TOTAL HEIGHT OF BUILDING B		62'-0"
TOTAL AREA OF RETAIL/RESTAURANT SPACE		11,485 SF
TOTAL NUMBER OF DWELLING UNITS		250 UNITS
TOTAL NUMBER OF BEDROOMS	32	
PARKING DATA SUMMARY		
TOTAL PARKING REQUIRED		564
MULTIFAMILY PARKING (1.5 SPACES PER UNIT)	375	
RETAIL/RESTAURANT PARKING (1 SPACE PER 61 SF)	184	
TOTAL PARKING PROVIDED		604
GARAGE A	311	
GARAGE B	295	
ON-SITE SURFACE SPACES	19	
STREET SURFACE SPACES (JEAN STREET) (NOT IN TOTAL)	6	

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Project No. 14098
Drawn By:
ISSUE FOR PERMIT:
ISSUE FOR CONSTRUCTION:
Revisions:
ZONING SUBMITTAL
MAY 6, 2016



RESIDENTIAL BUILDINGS		RESIDENTIAL UNITS								
A	B	TOTAL	UNIT	DESCRIPTION	%	NO.	HVAC S.F.	N TOTAL	GROSS S.F.	G TOTAL
1	3	4	E1.0	EFFICIENCY	1.80%	4	608	2,432	808	2,432
4	19	23	E2.0	EFFICIENCY	9.20%	23	682	16,980	882	15,888
			Efficiency Unit Subtotal							
					18.0%	27		19,412		18,120
1	1	2	A1.0	1 BDRM 1 BATH	0.40%	1	750	750	798	798
20	20	40	A2.0	1 BDRM 1 BATH	8.00%	20	750	15,000	817	15,340
14	32	46	A3.0	1 BDRM 1 BATH	16.40%	46	833	38,938	875	40,250
7	2	9	A4.0	1 BDRM 1 BATH	3.60%	2	812	1,624	851	1,712
4	4	8	A4.1	1 BDRM 1 BATH	1.80%	4	796	3,184	834	3,328
7	12	19	A5.0	1 BDRM 1 BATH	6.80%	14	816	11,424	879	12,252
8	8	16	A5.1	1 BDRM 1 BATH	3.80%	8	882	7,056	852	8,628
1	1	2	A5.2	1 BDRM 1 BATH	0.40%	1	840	840	840	840
2	2	4	A5.3	1 BDRM 1 BATH	0.80%	2	780	1,560	825	1,560
3	32	35	A6.0	1 BDRM 1 BATH	14.00%	35	840	29,400	908	31,710
4	4	8	A6.1	1 BDRM 1 BATH	1.80%	4	863	3,452	829	3,718
4	4	8	A7.0	1 BDRM 1 BATH	1.80%	4	890	3,560	850	3,840
2	4	6	A7.1	1 BDRM 1 BATH	1.80%	4	808	3,224	802	3,808
2	2	4	A8.0	1 BDRM 1 BATH	0.80%	2	856	1,712	892	1,784
3	4	7	A9.0	1 BDRM 1 BATH	1.20%	3	878	2,634	819	2,757
4	4	8	A10.0	1 BDRM 1 BATH	1.80%	4	861	3,024	867	3,844
2	4	6	A11.0	1 BDRM 1 BATH	1.80%	4	959	3,836	1,026	4,104
2	2	4	A12.0	1 BDRM 1 BATH	0.80%	2	987	1,974	1,043	2,086
			1 Bedroom Unit Subtotal							
					84.4%	181		133,378		140,841
10	10	20	B1.0	2 BDRM 2 BATH	4.00%	10	1,008	10,080	1,070	10,700
19	19	38	B2.0	2 BDRM 2 BATH	7.80%	19	1,044	19,836	1,067	20,787
4	11	15	B3.0	2 BDRM 2 BATH	4.40%	11	1,110	12,210	1,188	12,846
4	4	8	B4.0	2 BDRM 2 BATH	1.80%	4	1,181	4,724	1,221	4,864
8	8	16	B5.0	2 BDRM 2 BATH	3.20%	8	1,174	9,392	1,250	10,000
4	4	8	B6.0	2 BDRM 2 BATH	1.80%	4	1,247	4,988	1,421	5,894
2	2	4	B7.0	2 BDRM 2 BATH	0.80%	2	1,269	2,538	1,386	2,772
2	2	4	B8.0	2 BDRM 2 BATH	0.80%	2	1,327	2,654	1,528	3,052
2	2	4	B9.0	2 BDRM 2 BATH	0.80%	2	1,372	2,744	1,567	3,134
			2 Bedroom Unit Subtotal							
					15.6%	82		88,466		73,841
80	165	245	UNIT TOTALS		100%	250	882	220,442	840	235,000

CASE NAME: Stellini Trattoria
CASE NUMBER: CU 19-10
LOCATION: 400 East Dallas Rd., #100 & #200;
Lot 1R, Block 2, Hilltop Addition

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: _____

SHEET: _____ OF _____

APPROVAL DOES NOT AUTHORIZE ANY WORK
IN CONFLICT WITH ANY CODES OR
ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

404 EAST DALLAS ROAD
GRAPEVINE, TEXAS
TRIG TRINISIC
RESIDENTIAL GROUP

Womack + Hampton
ARCHITECTS, L.L.C.
438 Oak Lawn Ave., Suite 400
Dallas, Texas 75201
Phone: (214) 532-0000
Fax: (214) 532-0000



Sheet Number:
A1
SITE PLAN

Conditional use request CU19-10 is a request to amend the previously approved site plan of PD16-01 (Ord. 2016-36) specifically to allow the possession, storage, retail sales and on-premise consumption of alcoholic beverages (beer, wine, and mixed beverages) in conjunction with a restaurant and the possession, storage, retail sales, and off-premise consumption of alcoholic beverages (beer and wine only) in conjunction with a market.



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Project No.
14088

Drawn By: DPB, HM, RM

ISSUE FOR PERMIT:
AUGUST 5, 2016

ISSUE FOR CONSTRUCTION:
OCTOBER 14, 2016

Revisions:

AURA GRAPEVINE
GRAPEVINE, TEXAS
TRIG TRINISIC
RESIDENTIAL GROUP

Womack + Hampton
ARCHITECTS, L.L.C.
10000 North Loop West, Suite 500
Dallas, Texas 75243
Phone: (214) 252-5000
Fax: (214) 252-5000



Sheet Number:
A4.15
BUILDING A
ELEVATIONS

BUILDING A ELEVATIONS MASONRY PERCENTAGE		
MATERIAL	AREA	PERCENTAGE
BRICK VENEER	27146 SQ. FT.	67.5%
METAL PANEL	12694 SQ. FT.	32.5%

CASE NAME: Stellini Trattoria
CASE NUMBER: CU 19-10
LOCATION: 400 East Dallas Rd., #100 & #200;
Lot 1R, Block 2, Hilltop Addition

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

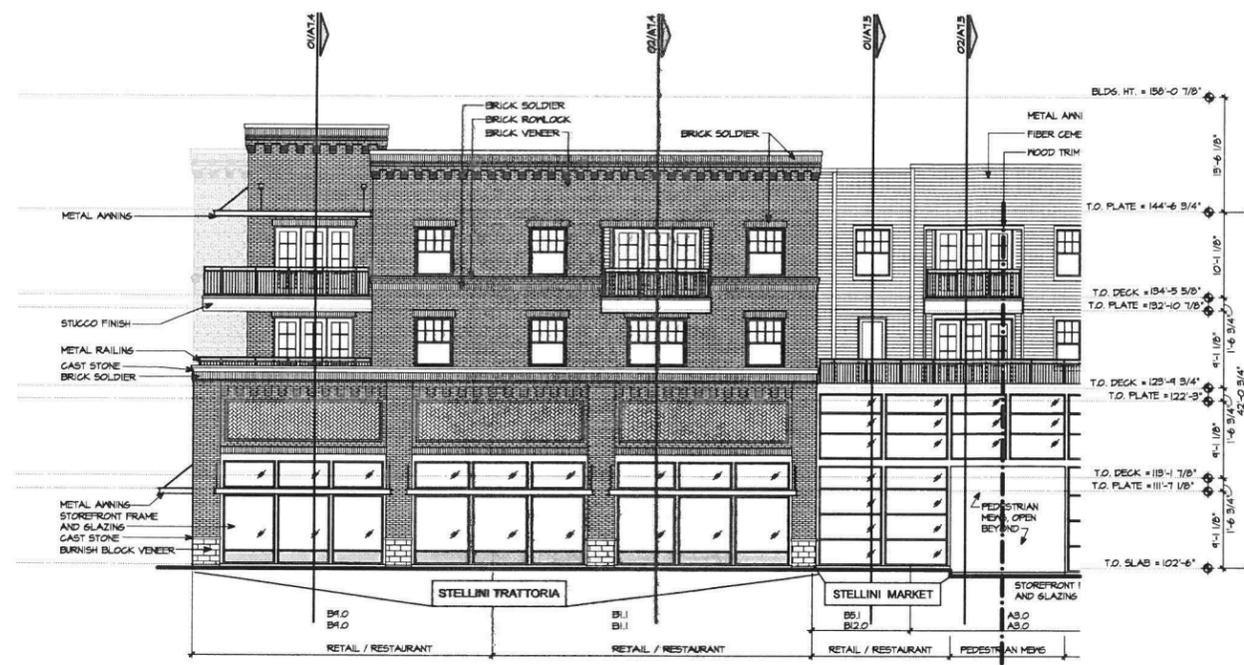
CHAIRMAN _____

DATE: _____

SHEET: _____ OF _____

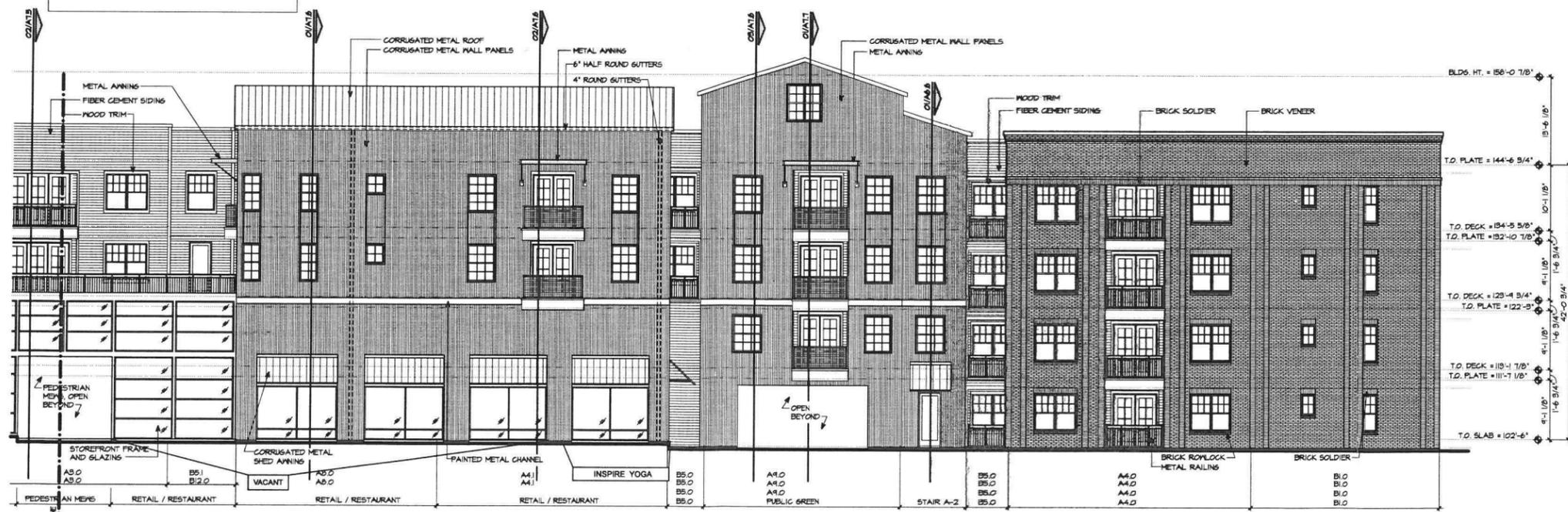
APPROVAL DOES NOT AUTHORIZE ANY WORK
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ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES



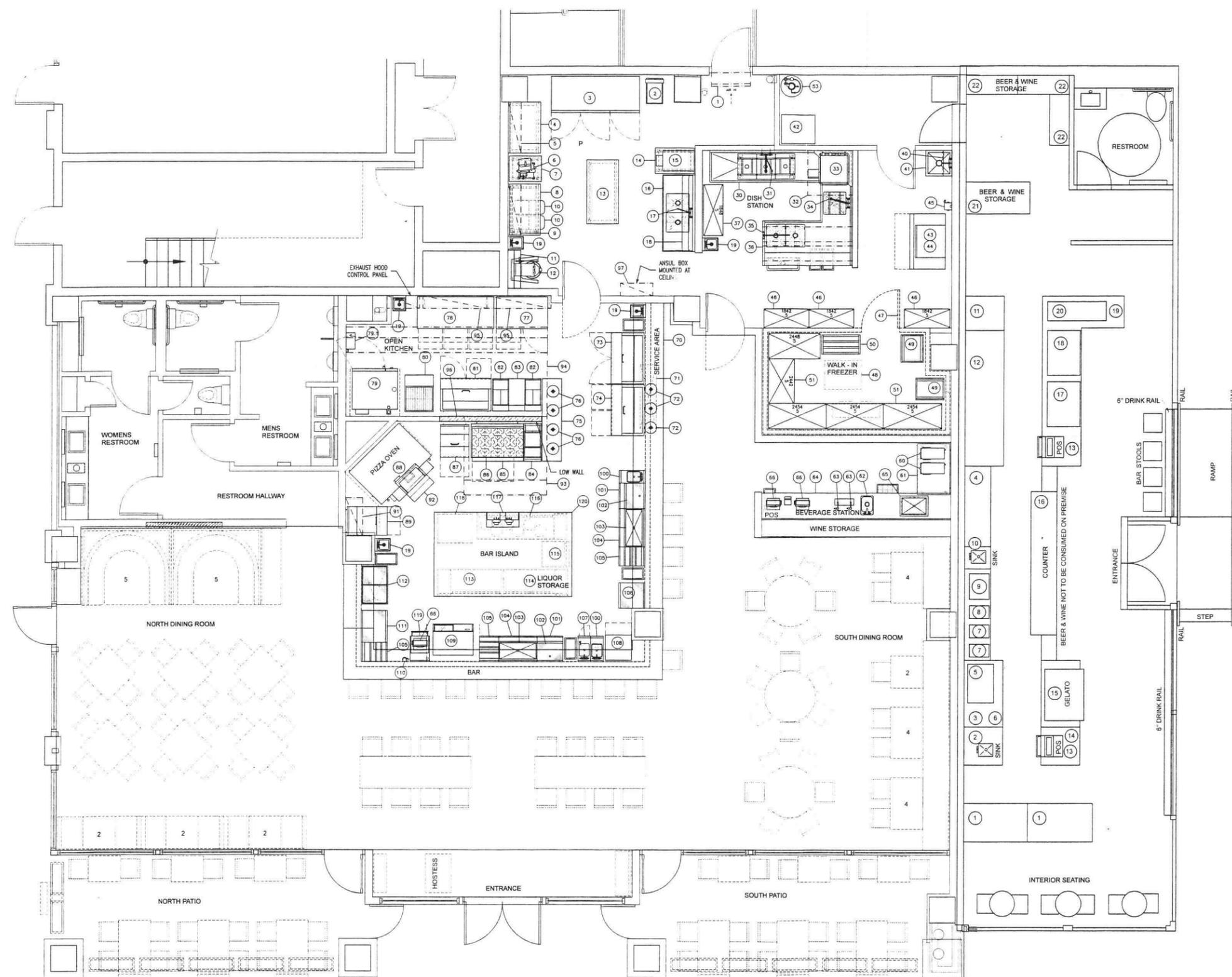
WEST ELEVATION MATERIAL PERCENTAGES		
MATERIAL	AREA	PERCENTAGE
BRICK VENEER	44463 SQ. FT.	45.2%
METAL PANEL	53594 SQ. FT.	50.8%
SIDING	1392 SQ. FT.	1.0%
TOTAL	100049 SQ. FT.	100%

02 WEST ELEVATION
BUILDING A
SCALE: 1/8"=1'-0"



01 WEST ELEVATION
BUILDING A
SCALE: 1/8"=1'-0"

PLOT DATE: 10/19/2016 PLOT TIME: 10:51 AM PATHNAME: H:\4000\4033 Auro Dwg\wma\CON\A4.15.dwg



MARKET EQUIPMENT SCHEDULE

1	DISPLAY CASE, REFRIGERATED
2	STAINLESS STEEL CABINET
3	STAINLESS STEEL CABINET
4	STAINLESS STEEL CABINET WITH MARBLE TOP
5	ESPRESSO MACHINE
6	REFRIGERATOR, UNDER COUNTER
7	ESPRESSO GRINDER
8	COFFEE GRINDER
9	COFFEE MAKER
10	STAINLESS STEEL CABINET WITH HAND SINK
11	REFRIGERATOR, UNDER COUNTER
12	STAINLESS STEEL CABINET WITH MARBLE TOP
13	POS UNIT
14	MILLWORK COUNTER WITH MARBLE TOP
15	GELATO DISPLAY CASE, FREEZER
16	MILLWORK COUNTER WITH MARBLE TOP
17	DISPLAY CASE, SELF SERVE, REFRIGERATED
18	DISPLAY CASE, REFRIGERATED
19	MILLWORK COUNTER WITH MARBLE TOP
20	DROP-IN HEATED SHELF
21	DISPLAY CASE, REFRIGERATED
22	DRY STORAGE SHELVING UNIT

MARKET SEATING

BARSTOOLS	4
INTERIOR TABLES	3 X 2 = 6
TOTAL	10

RESTAURANT OCCUPANT LOAD

RESTAURANT INTERIOR	112
RESTAURANT PATIOS	27
COMMERCIAL KITCHEN	6
TOTAL OCCUPANT LOAD	145

RESTAURANT SEATING

BAR	15
2 TOP X 10 =	20
4 TOP X 15 =	60
6 TOP X 3 =	18
8 TOP X 2 =	16
(5) ROUND BOOTH X 2 =	10
TOTAL SEATING	139

CASE NAME: Stellini Trattoria
CASE NUMBER: CU 19-10
LOCATION: 400 East Dallas Rd., #100 & #200,
Lot 1R, Block 2, Hilltop Addition

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: _____

SHEET: _____ OF _____

APPROVAL DOES NOT AUTHORIZE ANY WORK
IN CONFLICT WITH ANY CODES OR
ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

SCALE
1/4" = 1' - 0"

Conditional use request CU19-10 is a request to amend the previously approved site plan of PD16-01 (Ord. 2016-36) specifically to allow the possession, storage, retail sales and on-premise consumption of alcoholic beverages (beer, wine, and mixed beverages) in conjunction with a restaurant and the possession, storage, retail sales, and off-premise consumption of alcoholic beverages (beer and wine only) in conjunction with a market.

STELLINI TRATTORIA

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ARCHITECTS
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Dallas, Texas 75243
Tel: (214) 998-8888
www.magellanarchitects.com
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**STELLINI RESTAURANT
TENANT IMPROVEMENT**
444 EAST DALLAS ROAD
GRAPEVINE, TX 76051

REVISIONS

NO.	DATE	BY
1	5/10/19	DITY REQ.
2		
3		
4		
5		
6		

ISSUE DATES

DESIGN APPROVAL:

PERMIT SUBMITTAL: 03-04-19

PERMIT RECEIVED:

BID DOCS:

CONSTR. DOCS:

24"x36" SCALE: AS NOTED

PLOT DATE: 2019-05-15

CAD FILE:

JOB NUMBER: 19-001

CHECKED:

DRAWN: EW

STATUS: PERMIT

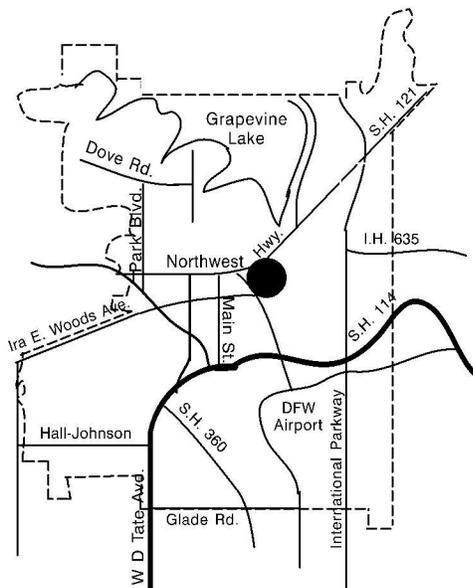
FURNITURE
FLOOR PLAN
A2.3

TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER **BR**
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: MAY 21, 2019

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF
CONDITIONAL USE APPLICATION CU19-13, SPECIAL USE
APPLICATION SU19-01 GREAT WOLF LODGE



APPLICANT: Phillip Cunningham

PROPERTY LOCATION AND SIZE:

The subject property is located at 100 Great Wolf Drive, and is platted as Lot 1R, Block 1R, Great Wolf Addition of Grapevine. The addition contains a total of 51.275 acres and has approximately 1,633 feet of frontage along State Highway 121, 528 feet of frontage along Texan Trail, and 1,811 feet of frontage along Coppell Road.

REQUESTED CONDITIONAL USE, SPECIAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to amend the previously approved site plan of CU14-18 (Ord. 2014-28) for a planned commercial center in conjunction with a hotel and water park, specifically to allow for a gated entry and security guard building. The applicant is also requesting a Special Use Permit to allow for paid parking in the "CC" Community Commercial District.

With this request, the applicant intends to establish a gated entry and a manned 24-hour security guard booth to provide increased security for the resort. The gated entry will provide controlled access for all vehicular traffic. Three inbound lanes are proposed for incoming traffic and two outbound lanes are proposed for departing vehicles. Of the three inbound lanes, two will be dedicated for newly arriving guests and the other for deliveries,

returning guests, emergency vehicles and employees. Two shade structures approximately 5,050 square feet with a 14-foot in height clearance are proposed atop the guard building and gated access area. A Special Use Permit is also requested to allow for paid parking on the subject site. New hotel guests and other visitors will receive a ticket from a ticket dispenser at the entry lanes. Entry ticket dispensers are not designed to accept payments for parking. Payment for parking for new hotel guests will be a function of the resort check-in process. When other resort visitors are ready to leave the facility, an automatic cashier at the outbound lanes will accept payment for parking. A proximity card reader will allow employees to gain access. Delivery trucks gain access through a high vehicle presence sensor. The applicant has agreed to disable the controlled access device in the event that vehicular traffic is observed backing onto State Highway 26. Please see the attached letter.

PRESENT ZONING AND USE:

The property is currently zoned "CC" Community Commercial District and is developed as the Great Wolf Resorts.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject property was rezoned from "I-1" Light Industrial to "LI" Light Industrial District in the 1984 City-wide rezoning. It was developed as Harris Graphics prior to the rezoning. Trencor took over this property in 1984. A variance request BZA94-08 approved the expansion of the existing building and allowed a variance to the City's masonry requirements. Conditional Use Request CU95-11 (Ordinance No. 95-34) allowed the development of a 120 foot by 200-foot concrete storage pad to the east of the existing building. Conditional Use Request CU97-66 was approved by Council at their January 20, 1998 meeting and allowed for a monument sign with changeable copy as well as a concrete storage area and testing pit. The property to the north was rezoned from "C-2" Community Business and "R-1" Single Family to "PCD" Planned Commerce Development District and "GU" Governmental Use District, respectively, in the 1984 City-wide rezoning. The property to the west was rezoned from "C-2" Community Business District to "HC" Highway Commercial District in the 1984 Citywide rezoning. At the January 18, 2005 meeting the property to the south was rezoned from "PID" Planned Industrial Development District to "CC" Community Commercial District for future development. The property to the west was rezoned from "SP" Site Plan District and "HC" Highway Commercial District to "CC" Community Commercial District at the May 17, 2005 meeting. At the February 21, 2006 meeting a zone change (Z06-01), conditional use permit (CU06-01) and a special use permit (SU06-01) was approved on the subject site for the Great Wolf Lodge. Approximately 51.6 acres was rezoned from "LI" Light Industrial District to "CC" Community Commercial District to accommodate the initial phase (400 rooms) of a 600 room hotel and water park project with a minimum of 20,000 square feet of conference center space. Consideration was also given to establish a restaurant with on-premise alcoholic beverage sales, video games and to exceed the height maximum within the district. At the June 19,

2007 meeting Council considered and approved CU07-14 (Ord. 07-34) for an amendment to the site plan for the Great Wolf Lodge which included the addition of 200 rooms, a 20,000 square foot meeting space expansion, a 35,000 square foot future expansion to the water parking and the future addition of a miniature golf course. Conditional use request CU07-43 (Ord. 2008-04) was approved at Council's January 15, 2008 meeting and allowed for the addition of a miniature golf course and a revision to the entry porte-cochere. Conditional use request CU08-20 (Ord. 2008-50) was approved at Council's September 16, 2008 meeting and allowed for the addition of a 289 space parking lot and allow exterior elevation changes to accommodate and elevator expansion. Conditional Use Permit CU10-21 was approved by the Site Plan Review Committee at the September 08, 2010 meeting which allowed for the addition of a 1,650 square foot accessory storage building to the subject site. Conditional Use Permit CU10-29 (Ord. 2010-66) approved at the November 16, 2010 meeting allowed for the addition of an outdoor pavilion. At the July 16, 2013 meeting a conditional use permit was approved (CU13-14) at the Great Wolf Resorts that allowed the conversion of a restaurant (Pizza Hut) inside the hotel to another restaurant concept and convert an outdoor covered patio into a 179 seat dining area with eight televisions exclusively for hotel patrons. The City Council on May 20, 2014 approved Conditional Use Permit CU14-18 (Ord. 2014-28) to allow for the addition of an outdoor ropes course attraction.

SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH: "GU" Governmental Use District and "PCD" Planned Commerce Development District—Corps of Engineers and undeveloped property
- SOUTH: "CC" Community Commercial District—undeveloped property
- EAST: D/FW International Airport
- WEST: "CC" Community Commercial District—Grapevine Station

AIRPORT IMPACT:

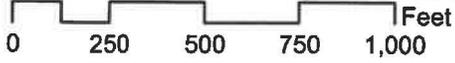
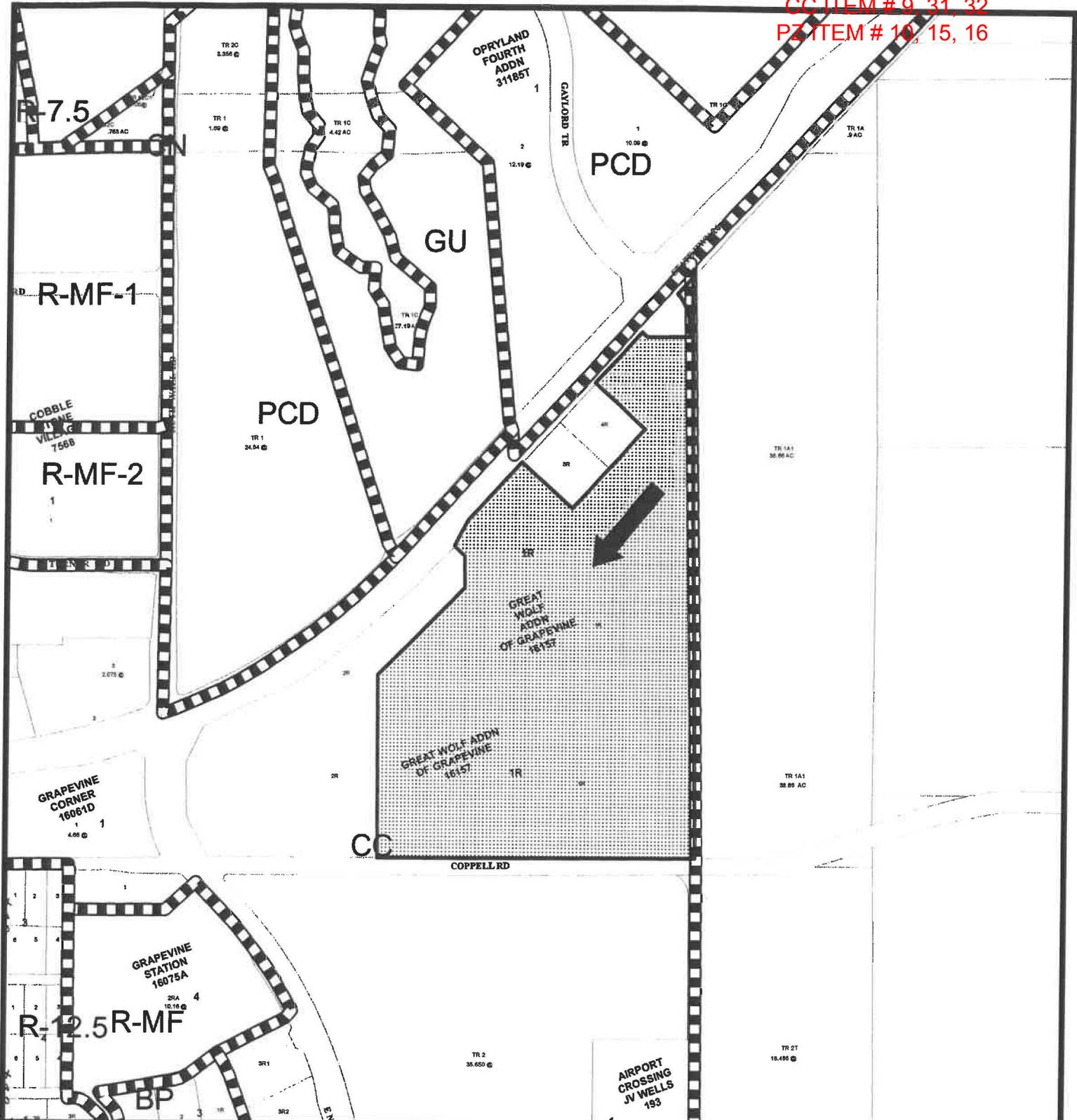
The subject tract is located within "Zone B" Middle Zone of Effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map. The following types of uses may generally be considered without any special sound treatment: agricultural uses, mining, fishing, wholesale commercial and some retail; industrial, manufacturing, transportation, communication and utilities; and cemeteries. The applicant's proposal is an appropriate use in this noise zone.

MASTER PLAN APPLICATION:

The Master Plan designates the subject property as a Commercial land use. The

applicant's proposal is in compliance with the Master Plan.

/at



**CU19-13, SU19-01
Great Wolf Resort**

Date Prepared: 5/8/2019

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

C419-13



CITY OF GRAPEVINE

CONDITIONAL USE APPLICATION

Form "A"

PART 1. APPLICANT INFORMATION

Name of applicant / agent / company / contact

GWR OP Lessee Tx, LLC DBA Great Wolf Lodge

Street address of applicant / agent:

100 Great Wolf Drive

City / State / Zip Code of applicant / agent:

GRAPEVINE, TX 76051

Telephone number of applicant / agent:

817-488-6510

Fax number of applicant / agent

817-488-6492

Mobile phone number of applicant / agent

704-773-3580

PART 2. PROPERTY INFORMATION

Street address of subject property

100 GREAT WOLF DRIVE

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot 1R Block 1R Addition GREAT WOLF ADDITION OF GRAPEVINE

Size of subject property

36.506

Acres

1,509,201 Square footage

Present zoning classification:

CC

Proposed use of the property:

HOTEL

Circle yes or no, if applies to this application

Outdoor speakers

Yes No

existing

Minimum / maximum district size for conditional use request:

Zoning ordinance provision requiring a conditional use:

SECTION 25 SUBSECTION C

PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:

Great Wolf Resorts Holdings, Inc.

Street address of property owner:

5350 N. ORLEANS ST.

City / State / Zip Code of property owner:

CHICAGO, IL 60654

Telephone number of property owner:

708-967-3300

Fax number of property owner:

817-488-6492



CUI9-13

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.

- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY

Phillip E. Cunningham
Print Applicant's Name:

Phillip E. Cunningham
Applicant's Signature:

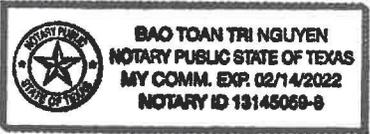
The State of Texas

County Of Tarrant

Before Me Bao Tuan Tri Nguyen (notary) on this day personally appeared Phillip Ellis Cunningham (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration herein expressed.

(Seal) Given under my hand and seal of office this 29 day of March, A.D. 2019



Bao Tuan Tri Nguyen
Notary In And For State Of Texas

Phillip E. Cunningham
Print Property Owners Name:

Phillip E. Cunningham
Property Owner's Signature:
as agent for Great Wolf Holdings Inc.

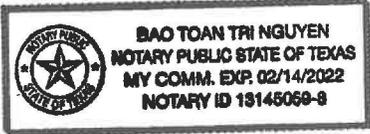
The State Of Texas

County Of Tarrant

Before Me Bao Tuan Tri Nguyen (notary) on this day personally appeared Phillip Ellis Cunningham (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 29 day of March, A.D. 2019



Bao Tuan Tri Nguyen
Notary In And For State Of Texas





CITY OF GRAPEVINE SPECIAL USE APPLICATION Form "A"

PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact

GWR DP Lessee Tx, LLC DBA GREAT WOLF LODGE

Street address of applicant / agent:

100 Great Wolf Drive

City / State / Zip Code of applicant / agent:

GRAPEVINE, TX 76031

Telephone number of applicant / agent:

817-488-6510

Fax number of applicant / agent:

817-488-6492

Email address of applicant / agent:

Mobile phone number of applicant / agent

704-773-3580

Applicant's interest in subject property:

OWNER

PART 2. PROPERTY INFORMATION

Street address of subject property

100 Great Wolf Drive

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot IR Block IR Addition Great Wolf Addition of Grapevine

Size of subject property

26.506

Acres

1,509,201

Square footage

Present zoning classification:

CC

Proposed use of the property:

Hotel

Minimum / maximum district size for special use request:

CHARGE FOR SELF PARKING (DAY : overnight guests)

Zoning ordinance provision requiring a special use:

Section 49 subsection 13

PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:

Great Wolf Resorts Holdings, Inc.

Street address of property owner:

350 N. Orleans St.

City / State / Zip Code of property owner:

Chicago, IL 60654

Telephone number of property owner:

708-967-3300

Fax number of property owner:

817-488-6492

- Attach a final plat, or replat, of the approved subdivision by city council showing property boundary lines, dimensions, easements, roadways, rail lines, and public rights-of way crossing and adjacent to the tract (1 blue line copy)
- If a master development plan is required, attach a statement showing the proposed use substantially conforms to the master development plan.
- Submit a site plan showing all information required by Section 47.E., Site Plan review requirements (see attached requirements).
- Provide all required information demonstrating compliance with all conditions imposed on any conditional use, site plan zoning, or special use zoning.
- All site plans must conform to the approved concept plan. Any changes to a site plan, approved with a conditional use or a special use, can only be approved by city council through the public hearing process.

PART 4. SIGNATURE TO AUTHORIZE FILING OF A FINAL SITE PLAN

Phillip E. Cunningham
Print Applicant's Name:

Phillip E. Cunningham
Applicant's Signature:

The State Of Texas
County Of Tarrant

Before Me Bao Toan Tri Nguyen (notary) on this day personally appeared Phillip Ellis Cunningham (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 04 day of April, A.D. 2019.



BAO TOAN TRI NGUYEN
NOTARY PUBLIC STATE OF TEXAS
MY COMM. EXP. 02/14/2022
NOTARY ID 13145059-8

Bao Toan Tri Nguyen
Notary In And For State Of Texas

Phillip E. Cunningham
Print Property Owners Name

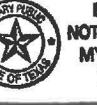
Phillip E. Cunningham
Property Owner's Signature

The State Of Texas
County Of Tarrant

Before Me Bao Toan Tri Nguyen (notary) on this day personally appeared Phillip Ellis Cunningham (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 04 day of April, A.D. 2019.



BAO TOAN TRI NGUYEN
NOTARY PUBLIC STATE OF TEXAS
MY COMM. EXP. 02/14/2022
NOTARY ID 13145059-8

Bao Toan Tri Nguyen
Notary In And For State Of Texas

C119-13

ACKNOWLEDGEMENT

All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant Phillip E. Cunningham, General Manager

Date: 3/29/19

Signature of Owner Phillip E. Cunningham as agent for
Great Wolf Resorts
Holdings, Inc

Date: 3/29/19



HUITT-ZOLLARS

HUITT-ZOLLARS, INC. • 500 West 7th St. • Suite 300 • Mail Unit 23 • Fort Worth, TX 76102-4773 • 817.335.3000 phone • 817.335.1025 fax • huitt-zollars.com

May 13, 2019

Mr. Ron Stombaugh
City of Grapevine
200 S. Main St.
Grapevine, TX 76099

VIA EMAIL & HARD COPY
rons@ci.grapevine.tx.us

**Reference: Great Wolf Lodge – Gate Entry Addition
Grapevine, TX**

Dear Mr. Stombaugh,

This conditional use request is for the addition of a gated main entry at the Great Wolf Lodge. The improvements include security gates, attendant booth, and paving improvements to provide increased security for the resort. The attendant booth outlined in the drawings will be a prefabricated building. The site plan shows the general dimensions and location for the new entry & exit gates, and the booth location. The entrance gate will have three lanes while the exist gate will have two lanes. The two left-most entrance lanes are intended to be for new guests. The right-most entrance is sized at 24' to permit firetrucks, delivery vehicle access and a dedicated lane for returning guests. The right-most exit is also sized at 24' to permit firetrucks, delivery vehicles and has a dedicated lane for guests leaving the resort. In addition to the attendant booth, a canopy is also being proposed over the parking equipment to protect the driver when it is rain. The portal operations of the new gate entry addition are intended to be for greeting only. Attendants at the booth will be primarily for security, greet, and assistance with access and exit. The security booth will be manned 24 hours a day. A portal capacity analysis has been provided assuming this approach along with a memo. In the event of vehicular traffic is observed backing onto State Highway 26, the controlled access at the gated entry will be disabled.

This addition requires a conditional use permit because the gated entry improvements are an addition to the existing Great Wolf Lodge hotel, in which the improvements amend the previously approved site plan of CU14-18. Since its intended use is for added security for the guests of the hotel, no additional parking is expected. A special use permit is also required as part of this submittal.

If you have any questions please give me a call at 817.335.3000.

Sincerely,
Huitt-Zollars



Jordan V. Marlia, P.E.

ORDINANCE NO. 2019-028

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ISSUING CONDITIONAL USE CU19-13 TO AMEND THE PREVIOUSLY APPROVED SITE PLAN CU14-18 (ORDINANCE NO. 2014-28) FOR A PLANNED COMMERCIAL CENTER IN CONJUNCTION WITH A HOTEL AND WATER PARK FOR LOT 1R, BLOCK 1R, GREAT WOLF ADDITION OF GRAPEVINE (100 GREAT WOLF DRIVE) SPECIFICALLY TO ALLOW FOR A GATED ENTRY AND SECURITY GUARD BUILDING IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking

facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU19-13 to amend the previously site plan CU14-18 (Ordinance No. 2014-28) for a planned commercial center in conjunction with a hotel and water park specifically to allow for a gated entry and security guard building in a district zoned "CC" Community Commercial District within the following described property: Lot 1R, Block 1R, Great Wolf Addition of Grapevine (100 Great Wolf Drive) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of

land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 21st day of May, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

ORDINANCE NO. 2019-029

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ISSUING SPECIAL USE PERMIT SU19-01 TO ALLOW FOR PAID PARKING FOR LOT 1R, BLOCK 1R, GREAT WOLF ADDITION OF GRAPEVINE (100 GREAT WOLF DRIVE) IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT REGULATIONS ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the

overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a special use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Special Use Permit No. SU19-01 to allow for paid parking (Great Wolf Lodge) in a district zoned "CC" Community Commercial District within the following described property: Lot 1R, Block 1R, Great Wolf Addition of Grapevine (100 Great Wolf Drive) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to

exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 21st day of May, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

GREAT WOLF LODGE GATE ENTRY ADDITION

AMENDED CUP SITE PLAN
GRAPEVINE, TX
APRIL 01, 2019



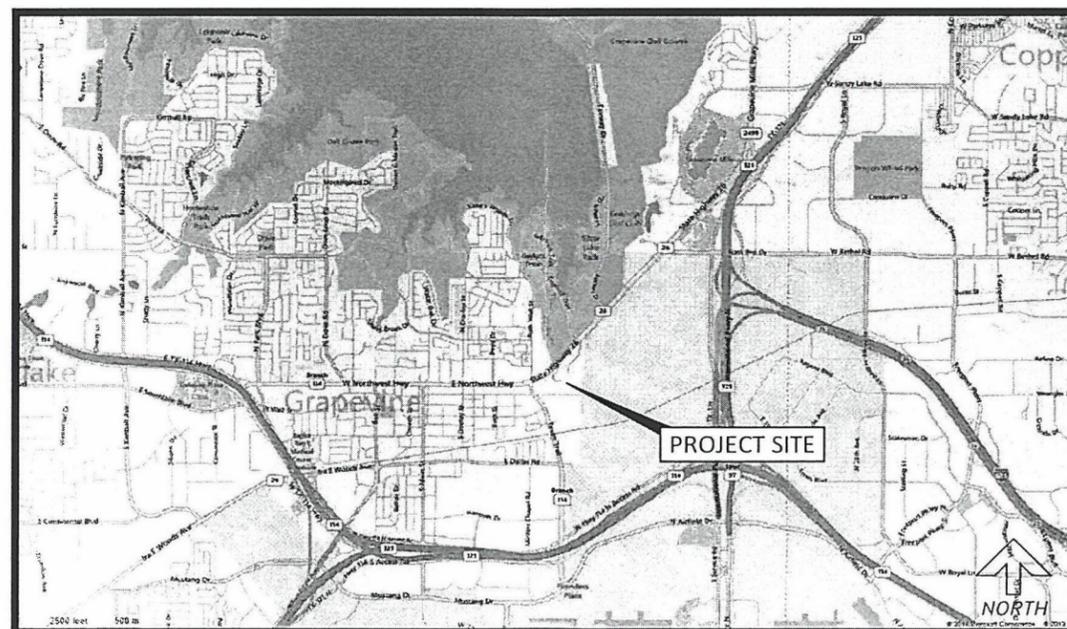
OWNER



Great Wolf Resorts

GREAT WOLF LODGE
122 W WASHINGTON AVE,
SIXTH FLOOR
MADISON, WI 53703

PHONE: (817) 722-3878
FAX: (817) 488-6492
CONTACT: PHILLIP CUNNINGHAM
EMAIL: PCUNNINGHAM@GREATWOLF.COM



VICINITY MAP
NTS

CIVIL ENGINEER / SURVEYOR:

HUITT-ZOLIARS
Huitt-Zollars, Inc. Engineering / Architecture
500 W. 7th St. Ste. 300 Fort Worth, Texas 76102
Phone (817)335-3000 Fax (817)335-1025
CONTACT: JORDAN V. MARLIA, P.E.

SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET / VICINITY MAP
2	DIMENSIONAL CONTROL SITE PLAN
3	ENLARGED GATE ENTRY ADDITION
4	FOCUS LANDSCAPE PLAN
5	ARCHITECTURAL ELEVATIONS

MAY 15 2019

NOTES:

1. CONDITIONAL USE REQUEST CU19-13 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU14-18 (ORD. 2014-28) FOR A PLANNED COMMERCIAL CENTER WITH A HOTEL AND WATER PARK, SPECIFICALLY TO ALLOW FOR A GATED ENTRY AND SECURITY GUARD BUILDING. SPECIAL USE PERMIT SU19-01 IS TO ALLOW FOR A PAYMENT FOR PARKING IN THE "CC" COMMUNITY COMMERCIAL DISTRICT.
2. THE SECURITY BUILDING WILL BE MANNED 24 HOURS A DAY.
3. CONTROLLED ACCESS AT GATED ENTRY WILL BE DISABLED ONCE VEHICULAR TRAFFIC IS OBSERVED BACKING ONTO STATE HIGHWAY 26

CASE NAME: GREAT WOLF LODGE
CASE NUMBER: CU19-13 & SU19-01
LOCATION: 100 GREAT WOLF DRIVE
LOT 1-R BLOCK 1R, GREAT WOLF GRAPEVINE

MAYOR SECRETARY

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN

DATE: _____

SHEET: 1 OF 5

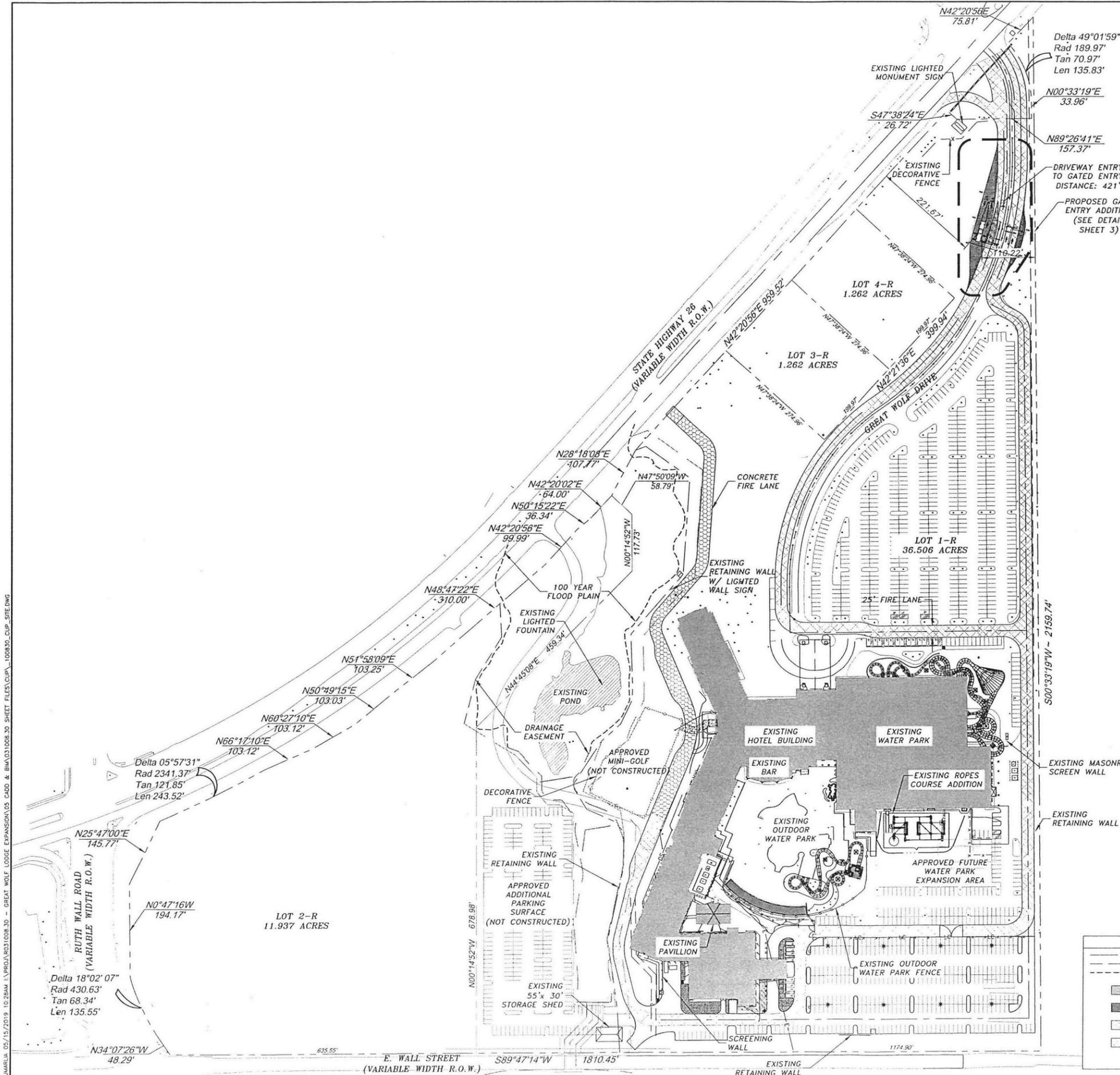
APPROVAL DOES NOT AUTHORIZE ANY WORK
IN CONFLICT WITH ANY CODES OR
ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

NOT FOR CONSTRUCTION



Huitt-Zollars, Inc.
Firm Registration No. F-761



Tabulations

LOT #	SQUARE FOOTAGE	ACRES	ZONING DESIGNATION
LOT 1-R	1,590,201	36.506	COMMUNITY COMMERCIAL

LOT 1-R EXISTING DEVELOPMENT

BUILDING HEIGHT	NUMBER OF STORIES
105'-0"	8

GROSS BUILDING AREA TABULATIONS		TOTAL
BUILDING AREA		
HOTEL	600,546 S.F.	
GUEST ROOMS	605	
CONFERENCE CENTER	23,586 S.F.	
TOTAL BUILDING AREA	624,132 S.F.	
TOTAL 1ST FLOOR AREA	193,114 S.F.	
TOTAL ELEVATOR EXPANSION AREA	4,987 S.F.	
TOTAL 1ST FLOOR ELEVATOR EXPANSION AREA	655 S.F.	
TOTAL STORAGE BUILDING AREA	1,650 S.F.	
TOTAL PAVILION AREA	2,800 S.F.	

PARKING TABULATIONS			
LOT 1-R		REQUIRED	
HOTEL / 605 ROOMS	1.5 PER ROOM	908	
FOOD & BEVERAGE OCCUPANCY	450 SEATS / 3	150	
TOTAL		1058	

LOT 1-R PROPOSED DEVELOPMENT

GROSS BUILDING AREA TABULATIONS		TOTAL
BUILDING AREA		
GUARD SHACK ADDITION	70 S.F.	

LOT 1-R TOTAL DEVELOPMENT

FLOOR AREA RATIO	LOT SIZE	F.A.R.
BLDG. SF. / 623,022 SF	1,590,201	1.255

LOT AREA	OPEN SPACE REQ'D	OPEN SPACE PROVIDED
1,590,201	318,040 SF (20%)	771,748 SF (48.5%)

*PERVIOUS AREA PROVIDED EQUALS TOTAL UNPAVED OPEN SPACE (LANDSCAPED AREA)
 IMPERVIOUS AREA: 818,453 SF (51.5%)
 *TOTAL IMPERVIOUS AREA EQUALS THE TOTAL OF BUILDING AND PAVED AREAS.

PARKING TABULATIONS		
TOTAL PARKING	REQUIRED	PROVIDED
1058	1058	
TOTAL ADA	24	24

NOTES:

- ALL THE REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.
- ALL ON-SITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.
- CONDITIONAL USE REQUEST CU19-13 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU14-18 (ORD. 2014-28) FOR A PLANNED COMMERCIAL CENTER WITH A HOTEL AND WATER PARK, SPECIFICALLY TO ALLOW FOR A GATED ENTRY AND SECURITY GUARD BUILDING. SPECIAL USE PERMIT SU19-01 IS TO ALLOW FOR A PAYMENT FOR PARKING IN THE "CC" COMMUNITY COMMERCIAL DISTRICT.
- THE SECURITY BUILDING WILL BE MANNED 24 HOURS A DAY.
- TABULATIONS TABLE HAVE BEEN UPDATED TO NOT INCLUDE THE PREVIOUSLY APPROVED PARKING IN THE PROVIDED PARKING TOTAL AS SHOWN PREVIOUSLY APPROVED SITE PLAN OF CU14-18
- CONTROLLED ACCESS AT GATED ENTRY WILL BE DISABLED ONCE VEHICULAR TRAFFIC IS OBSERVED BACKING ONTO STATE HIGHWAY 26

LEGEND

	PROPERTY LINE
	DRAINAGE EASEMENT
	100 YEAR FLOOD PLAIN
	EXISTING BUILDING
	PROPOSED PAVEMENT
	CONCRETE FIRE LANE
	FIRE LANE
	EXISTING LIGHTPOLE

CASE NAME: GREAT WOLF LODGE
 CASE NUMBER: CU19-13 & SU19-01
 LOCATION: 100 GREAT WOLF DRIVE
 LOT 1-R BLOCK 1R, GREAT WOLF GRAPEVINE

MAYOR _____ SECRETARY _____

DATE: _____
 PLANNING AND ZONING COMMISSION

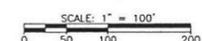
CHAIRMAN _____

DATE: _____
 SHEET: 2 OF 5

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

NOT FOR CONSTRUCTION

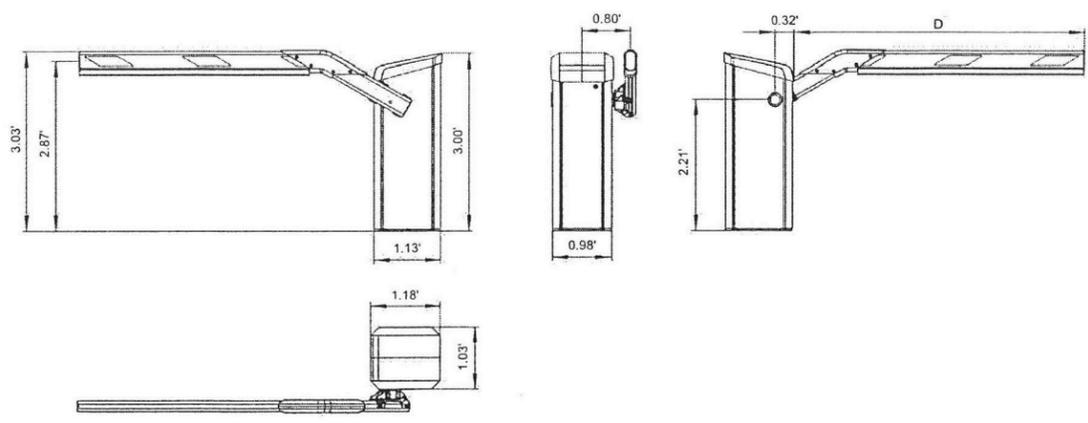


REVISIONS			
NO.	DESCRIPTION	DATE	BY
0	CUP SUBMITTAL	04/01/19	HZI

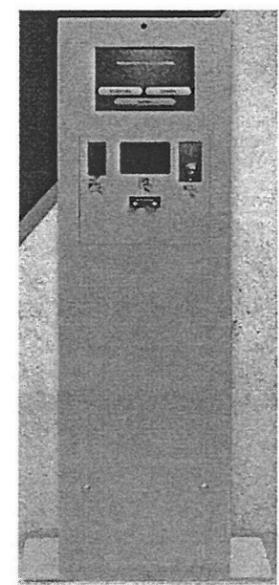
GREAT WOLF LODGE ENTRY GATE IMPR.
 DIMENSIONAL CONTROL SITE PLAN

Great Wolf Resorts.
HUITT-ZOLLARS
 Huitt-Zollars, Inc. Engineering / Architecture
 500 W. 7th St. Ste. 300 Fort Worth, Texas 76102
 Phone (817)335-3000 Fax (817)335-1025

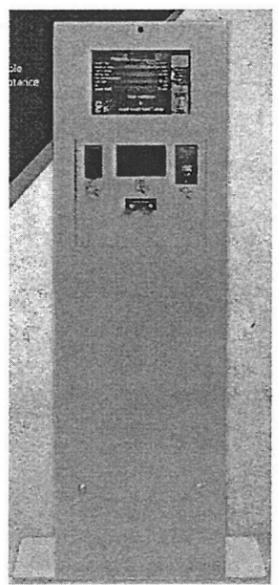
DESIGNED: HZI	SCALE	DATE	SHEET
DRAWN: HZI	AS SHOWN	04/01/2019	02 OF 05
CHECKED: HZI			



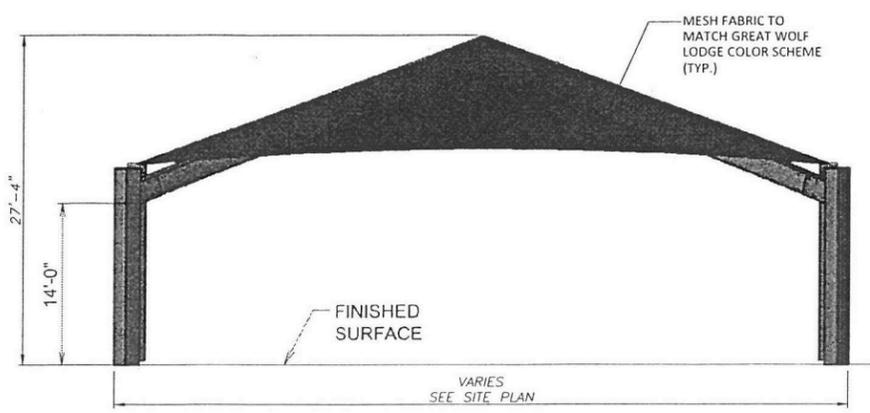
02 ARM GATE DETAIL
N.T.S.



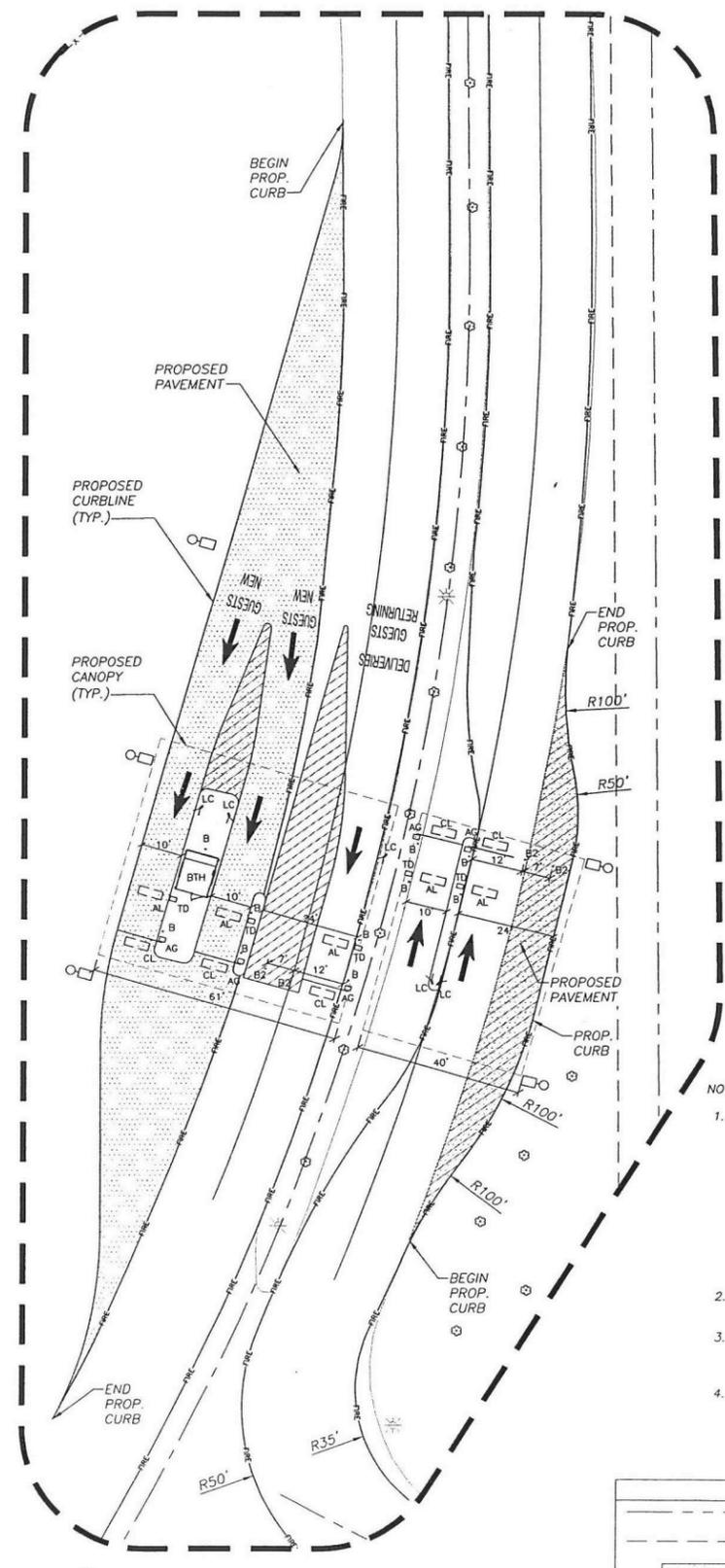
03 ENTRY/EXIT SMART STATION
16" W x 12" D x 55" H



04 PAY-ON-FOOT SMART STATION
16" W x 12" D x 55" H



05 CANOPY ELEVATIONS
N.T.S.



01 ENLARGED GATE ENTRY ADDITION
1:20

GATE ENTRY KEYNOTE LEGEND

- AL ARMING LOOP
- CL CLOSING LOOP
- AG ARM GATE (SEE DETAIL 02 THIS SHEET)
- TD TICKET DISPENSER (ENTRY) STATION (SEE DETAIL 03 THIS SHEET)
- PS PAY-IN-LANE (EXIT) STATION (SEE DETAIL 04 THIS SHEET)
- LC LICENSE PLATE RECOGNITION CAMERA
- B 6" BOLLARD
- B2 7" REMOVABLE BOLLARD
- BTH SECURITY BOOTH
-PORTA-KING DURASTEEL 108DCSL-SW
-SEE ARCH ELEV. (SHEET 5)

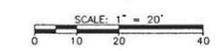
CASE NAME: GREAT WOLF LODGE
CASE NUMBER: CU19-13 & SU19-01
LOCATION: 100 GREAT WOLF DRIVE
LOT 1-R BLOCK 1R, GREAT WOLF GRAPEVINE

MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION
CHAIRMAN _____
DATE: _____
SHEET: 3 OF 5
APPROVAL DOES NOT AUTHORIZE ANY WORK
IN CONFLICT WITH ANY CODES OR
ORDINANCES.
DEPARTMENT OF DEVELOPMENT SERVICES

NOT FOR CONSTRUCTION



- NOTES:
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 - THE SECURITY BUILDING WILL BE MANNED 24 HOURS A DAY.
 - OPTICOM SYSTEM AND BACKUP KNOX BOX TO BE PROVIDED AS PART OF THE GUARD/ATTENDANT BOOTH.
 - CONTROLLED ACCESS AT GATED ENTRY WILL BE DISABLED ONCE VEHICULAR TRAFFIC IS OBSERVED BACKING ONTO STATE HIGHWAY 26

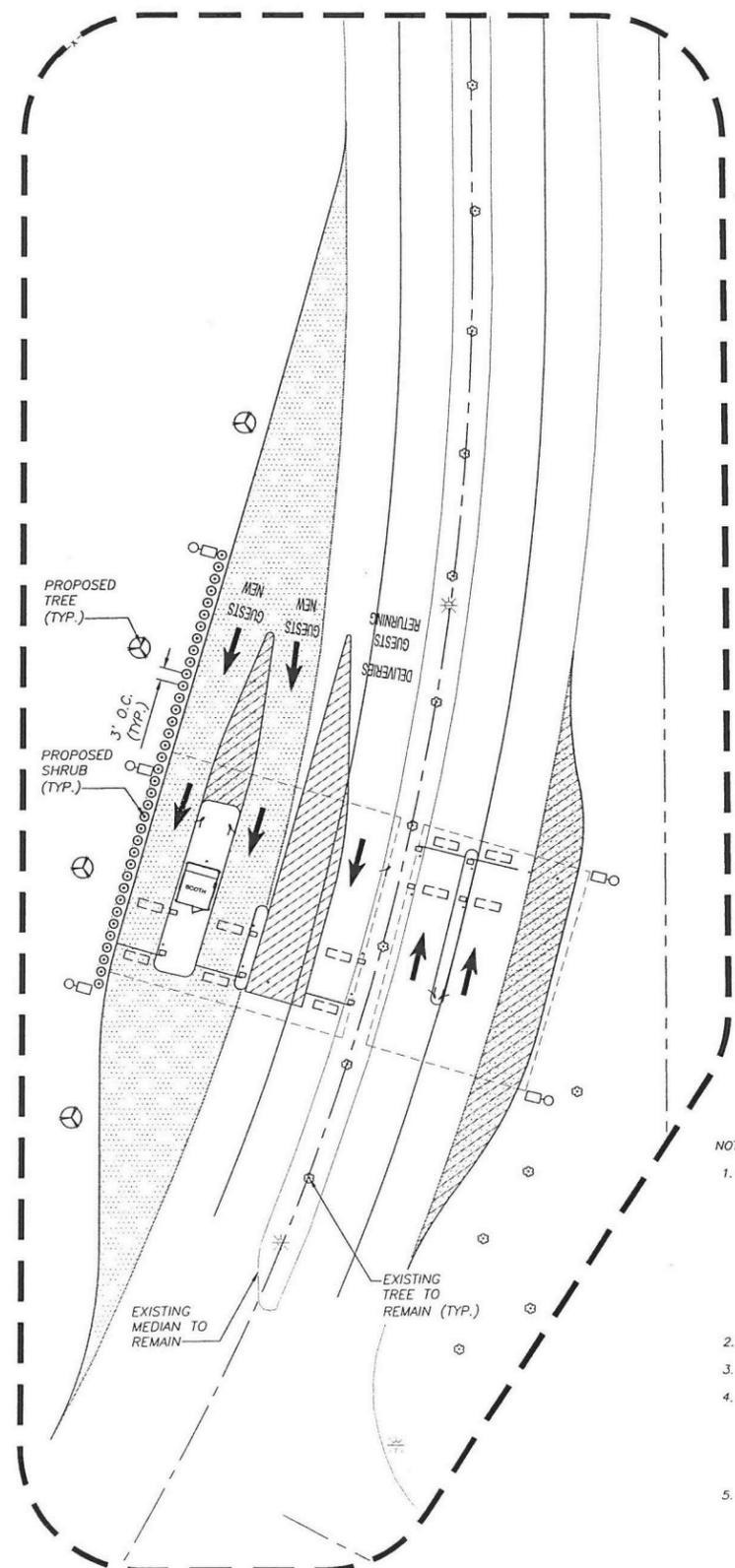


REVISIONS			
NO.	DESCRIPTION	DATE	BY
0	CUP SUBMITTAL	04/01/19	HZI

GREAT WOLF LODGE ENTRY GATE IMPR.
ENLARGED GATE ENTRY ADDITION

Great Wolf Resorts.
HUITT-ZOLLARS
Huitt-Zollars, Inc. Engineering / Architecture
500 W. 7th St. Ste. 300 Fort Worth, Texas 76102
Phone (817)335-3000 Fax (817)335-1025

DESIGNED: HZI	SCALE	DATE	SHEET
DRAWN: HZI	AS SHOWN	04/01/2019	03 OF 05
CHECKED: HZI			



LANDSCAPE NOTES:

OPEN SPACE:
TOTAL SITE AREA: 1,590,201 SF
REQUIRED: 318,040 SF (20% MIN.)
PROVIDED: 771,748 SF (48.5%)

INTERIOR LANDSCAPING:
LANDSCAPE 10% OF THE GROSS PARKING AREA INCLUDING DRIVES, PARKING AND SIDEWALKS
NEW IMPERVIOUS SURFACE AREA: 6,753 SF
REQUIRED LANDSCAPING: 675 SF

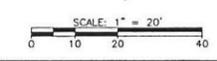
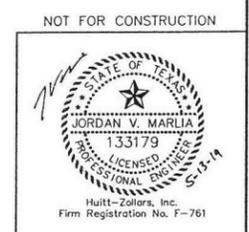
(1) TREE FOR EVERY 400 SF OF INTERIOR LANDSCAPE AREA
REQUIRED: 675/400 = 1.69 = 2 TREES
PROVIDED: 4 PROPOSED TREES

CASE NAME: GREAT WOLF LODGE
CASE NUMBER: CU19-13 & SU19-01
LOCATION: 100 GREAT WOLF DRIVE
LOT 1-R BLOCK 1R, GREAT WOLF GRAPEVINE

MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION
CHAIRMAN _____
DATE: _____
SHEET: 4 OF 5

APPROVAL DOES NOT AUTHORIZE ANY WORK
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DEPARTMENT OF DEVELOPMENT SERVICES



- NOTES:**
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 2. THE SECURITY BUILDING WILL BE MANNED 24 HOURS A DAY.
 3. NO EXISTING TREES ARE TO BE DISTURBED DURING CONSTRUCTION.
 4. PROPOSED SHRUBS SHALL BE DWARF BURFORD HOLLY. LIVING BARRIERS SHALL BE AT LEAST 30 INCHES HIGH AT THE TIME OF PLANTING AND BE OF THE TYPE THAT WILL ATTAIN A HEIGHT OF THREE (3) FEET ONE YEAR AFTER PLANTING.
 5. PROPOSED TREES SHALL BE CEDAR ELM AND SHALL BE A MINIMUM OF THREE CALIPER INCHES AT THE TIME OF PLANTING.

REVISIONS			
NO.	DESCRIPTION	DATE	BY
0	CUP SUBMITTAL	04/01/19	HZI

GREAT WOLF LODGE ENTRY GATE IMPR.
FOCUS LANDSCAPE PLAN

Great Wolf Resorts.
HUITT-ZOLLARS
Engineering / Architecture
500 W. 7th St. Ste. 300 Fort Worth, Texas 76102
Phone (817)335-3000 Fax (817)335-1025

DESIGNED: HZI	SCALE	DATE	SHEET
DRAWN: HZI	AS SHOWN	04/01/2019	04 OF 05
CHECKED: HZI			

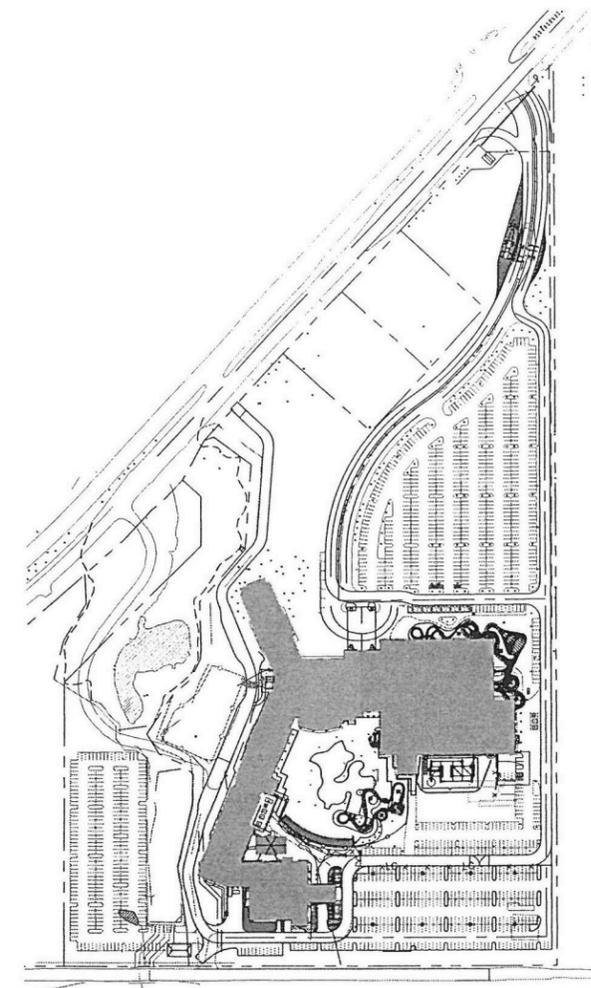
01 FOCUSED LANDSCAPE PLAN
1/20

PLANT TYPE	LANDSCAPE TYPE	SCIENTIFIC NAME
TREE	CEDAR ELM	ULMUS CRASSIFOLIA
SHRUB	DWARF BURFORD HOLLY	ILEX CORNUTA BURFORDII

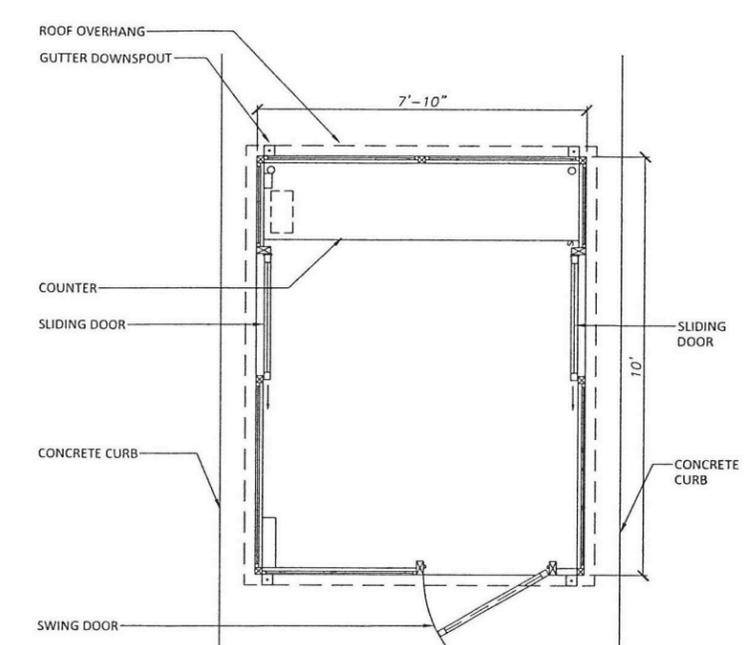
LEGEND

---	PROPERTY LINE
⊕	PROPOSED TREE (CEDAR ELM)
⊙	PROPOSED SHRUB (DWARF BURFORD HOLLY)
*	EXISTING LIGHTPOLE
⊗	EXISTING TREE

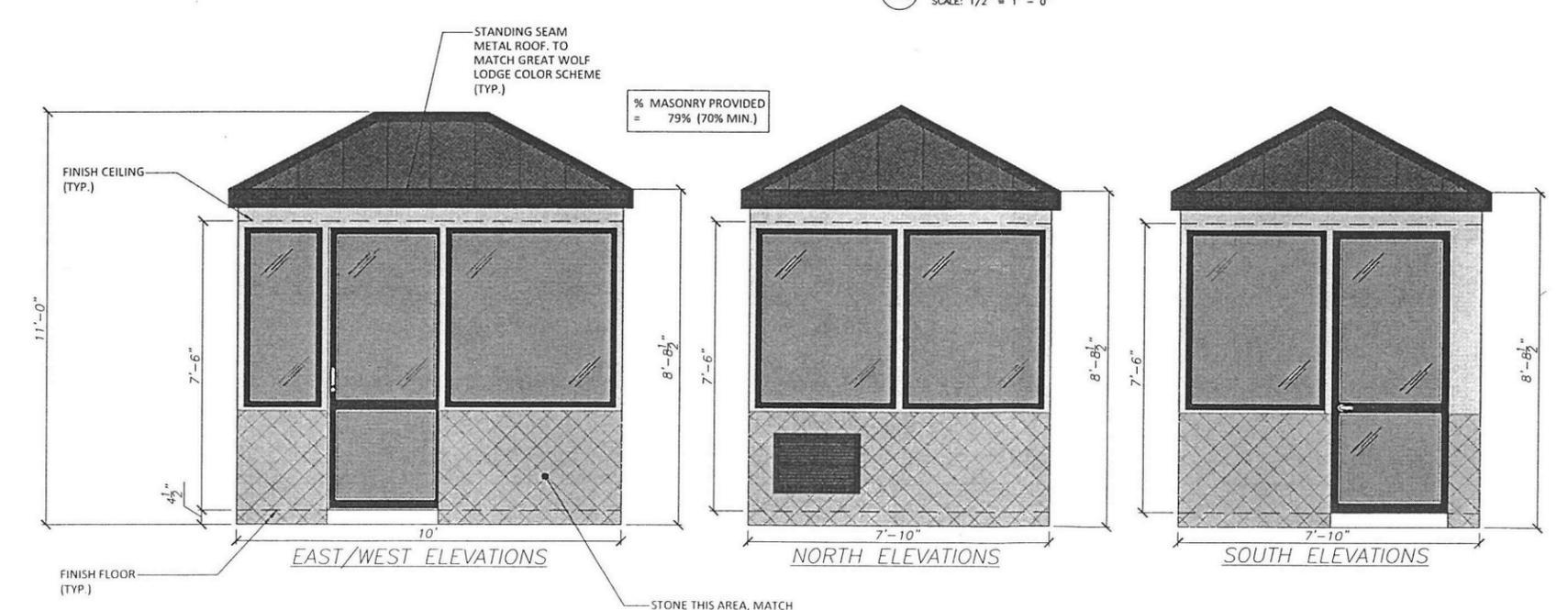
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01 OVERALL SITE PLAN
NOT TO SCALE



02 ENLARGED PLAN - SECURITY BOOTH
SCALE: 1/2" = 1' - 0"



03 ELEVATIONS
SCALE: 1/2" = 1' - 0"

NOTES:

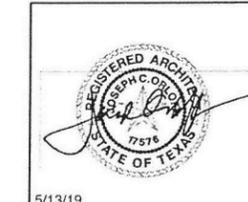
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CASE NAME: GREAT WOLF LODGE
CASE NUMBER: CU19-13 & SU19-01
LOCATION: 100 GREAT WOLF DRIVE
LOT 1-R BLOCK 1R, GREAT WOLF GRAPEVINE

MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION
CHAIRMAN _____
DATE: _____
SHEET: 5 OF 5
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

NOT FOR CONSTRUCTION



REVISIONS			
NO.	DESCRIPTION	DATE	BY
0	CUP SUBMITTAL	04/01/19	HZI

GREAT WOLF LODGE ENTRY GATE IMPR.

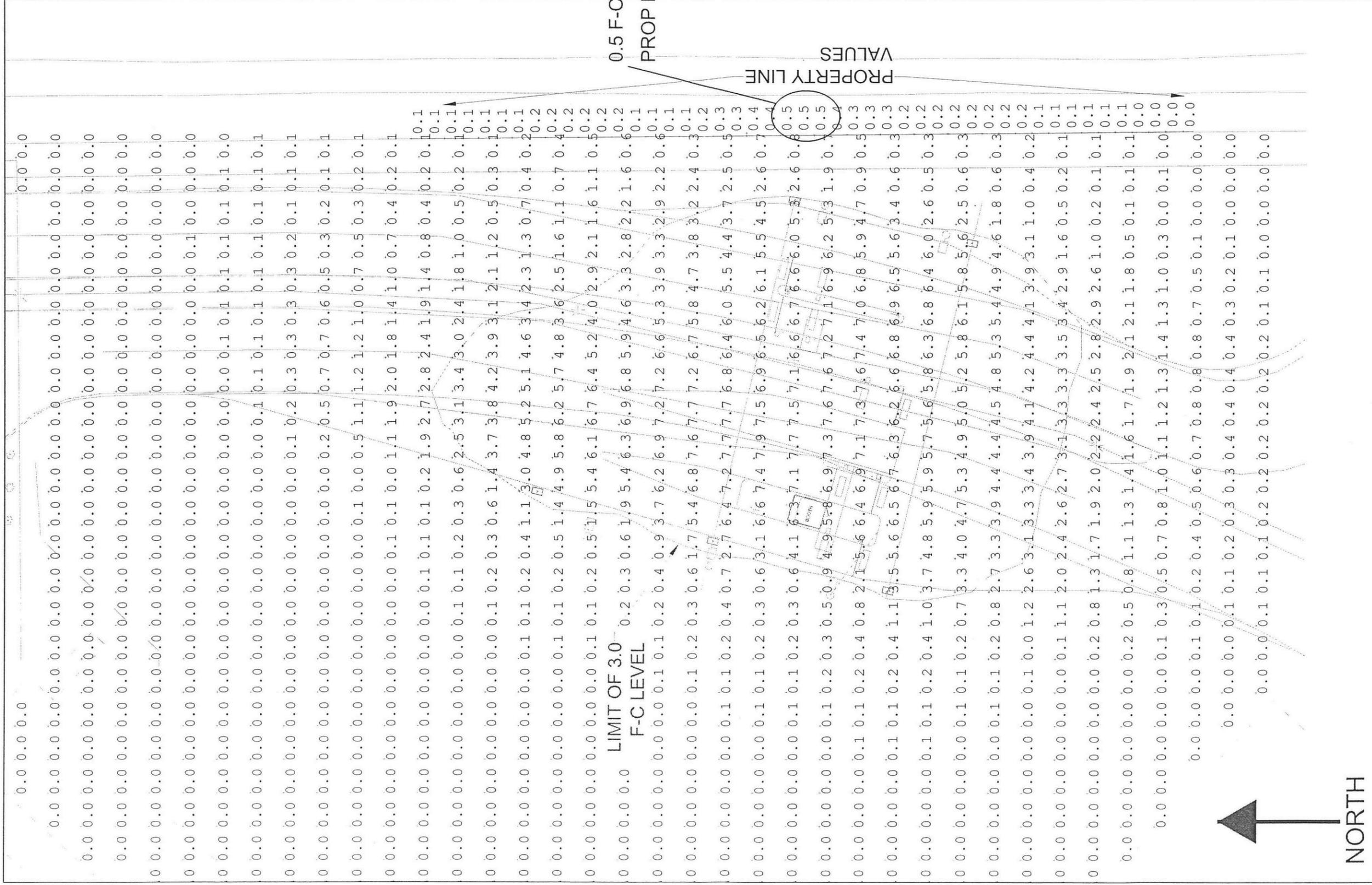
ARCHITECTURAL ELEVATIONS

Great Wolf Resorts.
HUITT-ZOLLARS
Huitt-Zollars, Inc. Engineering / Architecture
500 W. 7th St. Ste. 300 Fort Worth, Texas 76102
Phone (817)335-3000 Fax (817)335-1025

DESIGNED: SPPZ	SCALE	DATE	SHEET
DRAWN: SPPHZ	AS SHOWN	04/01/2019	05 OF 05
CHECKED: JHZ			

R03-1008.30 GREAT WOLF LODGE ENTRY GATE IMPROVEMENTS

GREAT WOLF LODGE GATE ENTRY ADDITION



PHOTOMETRIC CALCULATIONS

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: MAY 21, 2019

SUBJECT: DENIAL OF ONCOR'S DISTRIBUTION COST RECOVERY FACTOR (DCRF) FILING

RECOMMENDATION: City Council to consider a resolution denying the DCRF application proposed by Oncor.

FUNDING SOURCE:

BACKGROUND: On April 8, 2019, Oncor Electric Delivery Company LLC filed an Application for Approval of a Distribution Cost Recover Factor ("DCRF") to Increase Distribution Rates with each of the cities in their service area. In the filing, the Company asserts that it is seeking an increase in distribution revenues of \$29,433,804.

The resolution authorizes the City to join with the Steering Committee of Cities served by Oncor ("OCSC") to evaluate the filing, determine whether the filing complies with law, and if lawful, to determine what further strategy, including settlement, to pursue.

The resolution denies the increase so it won't go into effect until there is resolution from OCSC regarding whether an increase is justified and, if so, what it should be.

Oncor is required to reimburse for any reasonable expenses required to review the application.

City Council Utility Committee and City staff recommend approval.

RESOLUTION NO. 2019-025

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, FINDING THAT ONCOR ELECTRIC DELIVERY COMPANY LLC'S APPLICATION FOR APPROVAL TO AMEND ITS DISTRIBUTION COST RECOVERY FACTOR PURSUANT TO 16 TEX. ADMIN. CODE § 25.243 TO INCREASE DISTRIBUTION RATES WITHIN THE CITY SHOULD BE DENIED; FINDING THAT THE CITY'S REASONABLE RATE CASE EXPENSES SHALL BE REIMBURSED BY THE COMPANY; FINDING THAT THE MEETING AT WHICH THIS RESOLUTION IS PASSED IS OPEN TO THE PUBLIC AS REQUIRED BY LAW; REQUIRING NOTICE OF THIS RESOLUTION TO THE COMPANY AND LEGAL COUNSEL

WHEREAS, the City of Grapevine, Texas ("City") is an electric utility customer of Oncor Electric Delivery Company LLC ("Oncor" or "Company"), and a regulatory authority with an interest in the rates and charges of Oncor; and

WHEREAS, the City is a member of the Steering Committee of Cities Served by Oncor ("OCSC" or "Cities"), a membership of similarly situated cities served by Oncor that have joined together to efficiently and cost effectively review and respond to electric issues affecting rates charged in Oncor's service area; and

WHEREAS, on or about April 8, 2019 Oncor filed with the City an Application for Approval to Amend its Distribution Cost Recovery Factor ("DCRF"), PUC Docket No. 49427, seeking to increase electric distribution rates by approximately \$29,433,804; and

WHEREAS, all electric utility customers residing in the City will be impacted by this ratemaking proceeding if it is granted; and

WHEREAS, Cities are coordinating its review of Oncor's DCRF filing with designated attorneys and consultants to resolve issues in the Company's application; and

WHEREAS, Cities' members and attorneys recommend that members deny the DCRF; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein as by reference as if copied in their entirety.

Section 2. That the City is authorized to participate with OCSC in PUC Docket No. 49427.

Section 3. That subject to the right to terminate employment at any time, the City of Grapevine hereby authorizes the hiring of the law firm of Lloyd Gosselink Rochelle & Townsend, P.C. and consultants to negotiate with the Company, make recommendations to the City regarding reasonable rates, and to direct any necessary administrative proceedings or court litigation associated with an appeal of this application filed with the PUC.

Section 4. That the rates proposed by Oncor to be recovered through its DCRF charged to customers located within the City limits, are hereby found to be unreasonable and shall be denied.

Section 5. That the Company shall continue to charge its existing rates to customers within the City.

Section 6. That the City's reasonable rate case expenses shall be reimbursed in full by Oncor within 30 days of presentation of an invoice to Oncor.

Section 7. That it is hereby officially found and determined that the meeting at which this Resolution is passed is open to the public as required by law and the public notice of the time, place, and purpose of said meeting was given as required.

Section 8. That a copy of this Resolution shall be sent to Matthew C. Henry, 1616 Woodall Rodgers Freeway, Dallas, Texas 75202 and to Thomas Brocato, Legal Counsel to OCSC, at Lloyd Gosselink Rochelle & Townsend, P.C., P.O. Box 1725, Austin, Texas 78767-1725.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 21st day of May, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: MAY 21, 2019

SUBJECT: APPROVAL FOR THE AWARD OF AN ANNUAL CONTRACT FOR RFP 482-2019 FOR DEPOSITORY BANKING SERVICES

RECOMMENDATION: City Council to consider the approval for the award of an annual contract for RFP 482-2019 for Depository Banking Services with JP Morgan Chase Bank for the Fiscal Services Department.

FUNDING SOURCE: Funding is not required as expected earnings exceed monthly fees.

BACKGROUND: The purpose of this contract is to establish pricing for depository banking services.

Bids were taken in accordance with Local Government Code Chapter 252, Subchapter B, Section 252.021 (a) and Section 252.041 (a). The bid advertisement was posted in the Fort Worth Star Telegram on March 7, 2019 and March 14, 2019. The Request for Proposal was issued through the City eBid system with 75 invitations sent out through the eBid procurement system. Five proposals were received. The proposals were opened publicly on April 4, 2019 at 2 pm.

The City of Grapevine solicited proposals for banking services to serve the City with efficient and cost effective banking services. The City intended for its banking partner to provide state-of-the-art technology to assure that its current banking needs would be met and be able to incorporate technological changes and improvements into its operations over the period of the contract.

The proposals were made by JP Morgan Chase Bank, First Financial Bank, Frost Bank, Legacy Texas Bank and Southside Bank. All banks can fulfill the simple basic needs of the City for banking services but material additional services and technologies are available at JP Morgan Chase and Frost.

Based on the evaluation of the bid by the Fiscal Services and Purchasing staff, it was determined the award be made to JP Morgan Chase Bank. An analysis of the Depository Banking service proposals was conducted by Patterson & Associates which reviewed and evaluated all five proposals based on the City's requirements and the services offered and ranked them accordingly. An evaluation team made up of Finance representatives reviewed the report submitted by Patterson & Associates and concurred with the recommendation of the report.

It is recommended that the City award the contract for banking services to JP Morgan Chase. Due to the very high costs of safekeeping services, it is recommended that the City award the contract for five years to take advantage of the free safekeeping services that JP Morgan Chase has proposed.

Staff recommends approval.

JS/LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: MAY 21, 2019

SUBJECT: APPROVAL TO RENEW ANNUAL CONTRACTS FOR SAFETY SUPPLIES

RECOMMENDATION: City Council to consider the renewal of annual contracts for safety supplies with WW Grainger Industrial, Inc. and Safety Supply, Inc. for City departments.

FUNDING SOURCE: Funds for this purchase are available in various departmental funds for an annual estimated amount of \$30,000.

BACKGROUND: The purpose of this contract is to establish fixed annual pricing for various types of safety products and supplies to be purchased on an as-needed basis and stocked in the warehouse. These items are used by all departments. Examples of safety supplies include, but are not limited to, gloves, safety vests, rubber boots, first aid kits, coveralls, safety flags, safety goggles, fire extinguishers, ear plugs, dust mask and safety fencing.

Bids were taken in accordance with the City Purchasing Policy. Formal bids and advertisements are not required for purchases under \$50,000. The contracts were for an initial one-year period with four, one-year optional renewals. If approved, this will be for the second renewal available.

Staff recommends approval.

LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER **BR**

MEETING DATE: MAY 21, 2019

SUBJECT: APPROVAL FOR THE SOLE SOURCE PURCHASE OF A CHEST COMPRESSION SYSTEM, SERVICES AND TRAINING

RECOMMENDATION: City Council to consider approval for the sole source purchase of a chest compression system, services and training from Physio-Control, Inc. for the Fire Department.

FUNDING SOURCE: Upon approval funds are available in account 100-42225-210-006 (EMS Expenses & Supplies) for an amount not to exceed \$20,098.

BACKGROUND: During a cardiac arrest, proper and continuous CPR is a patient's best chance of survival. Cardiac medications are administered to a patient during resuscitative efforts and circulation throughout the body has to take place for the cardiac medications to be effective. The use of the Lucas device improves the circulatory rate by approximately 60% over manual CPR methods, which can greatly increase survivability rates. Due to the length, height and/or distance of many hotels, apartments, commercial buildings and trails within our city, many times effective CPR is impossible while moving a patient. This device will allow proper CPR to be performed while traveling the distance to the MICU and during transport to the hospital. Therefore, giving patients the very best chance to survive a sudden cardiac arrest.

The department is specifying this particular device since we currently have four devices in service and it is the only device that will communicate with our cardiac monitors (Life-Pak 15). This device also matches the unit that will be at Baylor Baylor Scott & White - Grapevine which will allow the MICU's to transfer the patient to the same device.

This procurement will be made as a sole source in accordance with Local Government Code Chapter 252, Subchapter B, § 252.022. General Exemptions (a)(7)(A).

Staff recommends approval.

JS/LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: MAY 21, 2019

SUBJECT: APPROVAL TO RENEW AN ANNUAL CONTRACT FOR EMS BILLING SERVICES

RECOMMENDATION: City Council to consider the renewal of an annual contract for EMS billing services with Emergicon, LLC for the Fire Department.

FUNDING SOURCE: Funds for this purchase are available in account 100-44530-210-006 (EMS Professional Fees) in the annual estimated amount of \$75,000.

BACKGROUND: Last year the Fire Department evaluated EMS billing services. After careful evaluation, we found Emergicon to be the best option. Emergicon is a Texas based company operating only in Texas. They have local offices, a history of working with smaller departments and are known for their customer service.

Purchases will be made in accordance with an existing interlocal cooperative agreement with College Station, Texas as allowed by Texas Local Government Code, Section 271 and Texas Government Code, Section 791.

College Station, Texas solicited proposals on RFP No. 18-028, Automated Ambulance Billing, Accounts Receivable and Delinquent Account Collection Services. Eight proposals were submitted and evaluated from which they awarded a contract to Emergicon, LLC. The contract was for an initial one-year period with four optional, one-year renewals. If approved, this will be for the first renewal available.

Staff recommends approval.

JS/LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: MAY 21, 2019

SUBJECT: APPROVAL FOR THE PURCHASE OF RADIO COMMUNICATION EQUIPMENT

RECOMMENDATION: City Council to consider the approval for radio communication equipment from Motorola Solutions for the Police and Fire Departments.

FUNDING SOURCE: Funds for this purchase are available in accounts 325-48860-210-003 (Machinery and Equipment) and 325-48860-209-004 (Machinery and Equipment) for a total amount not to exceed \$261,672.06.

BACKGROUND: This purchase is for 26 portable radios and 33 mobile radios for the Fire Department and five mobile radios for the Police Department. These radios will replace older radios used by fire and police personnel. The older radios are at end of life as determined by the manufacturer and will no longer be supported after December 2019. Additionally these new radios provide easier interoperable communications with neighboring agencies.

Purchases will be made in accordance with an existing interlocal agreement with Houston-Galveston Area Council (H-GAC) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to Motorola Solutions. The Police and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

Staff recommends approval.

MB/LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER **BR**

MEETING DATE: MAY 21, 2019

SUBJECT: APPROVAL FOR THE PURCHASE OF PARK AMENITIES

RECOMMENDATION: City Council to consider the approval for the purchase of park amenities from Landscape Forms, Inc. for the Parks and Recreation Department.

FUNDING SOURCE: Funds for this purchase are available in account 174-74015-312-066 (Small Park Amenities) for a total amount not to exceed \$38,931.

BACKGROUND: This purchase is for park benches, picnic tables and trash receptacles for the Botanical Garden.

This purchase will be made in accordance with an existing interlocal agreement with the State of Texas Term Contracts Program as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the cooperative and a contract was awarded to Landscape Forms, Inc. The Parks and Recreation and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

Staff recommends approval.

TS/LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER **BR**

MEETING DATE: MAY 21, 2019

SUBJECT: APPROVAL FOR THE PURCHASE OF A CHEVROLET TAHOE FOR THE POLICE DEPARTMENT AND APPROPRIATION OF FUNDS

RECOMMENDATION: City Council to consider the approval for the purchase of a Chevrolet Tahoe from Caldwell County Chevrolet for the Police Department and an ordinance to appropriate funds.

FUNDING SOURCE: Upon approval, funds will be available in the Capital Equipment Fund for an amount not to exceed \$34,935.

BACKGROUND: This purchase is for one stock 2019 Police PPV Tahoe to replace a wrecked unit. The vehicle meets all requirements and specifications.

Upon approval, funds for the acquisition will be available in the capital equipment fund, 325-48910-209-002.

This purchase will be made in accordance with an existing interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the cooperative and a contract was awarded to Caldwell County Chevrolet. The Fleet Services and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

Staff recommends approval.

PH/LW

ORDINANCE NO. 2019-021

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE APPROPRIATION OF \$34,935 IN THE ENTERPRISE CAPITAL EQUIPMENT FUND; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City Council of the City of Grapevine desires to purchase a police vehicle to replace unit 94218; and

WHEREAS, funding for the acquisition is available in the capital equipment fund; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act and Chapter 211 of the Local Government Code; and

WHEREAS, the City Council deems the adoption of this ordinance to be in the best interests of the health, safety, and welfare of the public.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council hereby authorizes an amount of \$34,935 be appropriated in the Capital Equipment Fund for the acquisition of a police vehicle.

Section 3. That the terms and provisions of this ordinance shall be deemed to be severable, and that if the validity of any section, subsection, word, sentence or phrase shall be held to be invalid, it shall not affect the remaining part of this ordinance.

Section 4. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 21st day of May, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: MAY 21, 2019

SUBJECT: APPROVAL OF RIGHT OF WAY ABANDONMENT AT 231 NORTH STARNES STREET

RECOMMENDATION: City Council consider adopting an ordinance abandoning North Starnes Street right-of-way and authorizing the City Manager to execute a Quit Claim Deed to the abutting property owner, and take any necessary action.

FUNDING SOURCE:

BACKGROUND: The owner of Lot F, JJ Hall Addition (platted in 1947) has requested the City to abandon and vacate a 680 square foot parcel of Starnes Street right-of-way. This parcel of land is a portion of a platted cul-de-sac in Starnes Street that was never built. Starnes Street north of J.J. Hall Addition, was platted, dedicated, and constructed, eliminating the need for the cul-de-sac.

The franchise utility companies have no facilities in the area to be abandoned, and have all signed off on the request.

Staff has reviewed the request and has no objections.

Staff recommends approval.

ORDINANCE NO. 2019-022

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ABANDONING AND VACATING A RIGHT OF WAY ON LOT F, J.J. HALL'S REVISION OF LOTS 11 TO 22, INCLUSIVE STARNES ADDITION IN THE CITY OF GRAPEVINE, TEXAS AS HEREINAFTER DESCRIBED; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the property owner of Lot F, J.J. Hall's revision of Lots 11 to 22, Inclusive Starnes Addition located at 231 North Starnes Street, City of Grapevine, Tarrant County, Texas has requested that a right of way of said lot, as herein after described, be abandoned and vacated; and

WHEREAS, the right of way is not needed for public use, will not be needed in the future for public use and has been signed off by franchise utility companies; and

WHEREAS, abandoning and vacating the said right of way will relieve the City of Grapevine and utility franchise companies, from the cost and expense of maintaining said property; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act and Chapter 211 of the Local Government Code; and

WHEREAS, the City Council deems the adoption of this ordinance to be in the best interests of the health, safety, and welfare of the public.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the 680 square foot right of way located on Lot F, J.J. Hall's Revision of Lots 11 to 22, Inclusive Starnes Addition described in Exhibits "A" and "B", attached hereto and incorporated herein for all purposes, is hereby abandoned and vacated for public use and the same is hereby abandoned and vacated insofar as all public right, title, interest in and to said right of way is concerned.

Section 3. That the terms and provisions of this ordinance shall be deemed to be severable, and that if the validity of any section, subsection, word, sentence or phrase shall be held to be invalid, it shall not affect the remaining part of this ordinance.

Section 4. The fact that the right of way is no longer needed by the public for public usage and would create a hardship or burden upon the City of Grapevine and franchise utility companies to keep open and maintain such easement creates an urgency and an emergency for the immediate preservation of the public health, safety, and general welfare which requires that this ordinance shall take effect immediately from and after its passage and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 21st day of May, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

CC ITEM # 20

**EXHIBIT NO. 1
RIGHT-OF-WAY ABANDONMENT
STARNES STREET
GRAPEVINE, TEXAS
680 SQ. FT. OR 0.016 ACRE**

BEING all that certain 0.016 acre tract of land situated in the A. F. Leonard Survey, Abstract No. 946, Tarrant County, Texas, and being a portion of Starnes Street per plat recorded in Volume 1997, Page 448, same being a portion of that certain tract of land conveyed to Janet Rodriguez, by deed recorded under Instrument Number D218050702, Official Public Records, Tarrant County, Texas, and being that certain tract of land conveyed to N. B. Greer, by deed recorded in Volume 4744, Page 447, Deed Records, Tarrant County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod set with "PEISER & MANKIN SURV" red plastic cap for the northeast corner of said Rodriguez tract, same being the southeast corner of that certain tract of land to The Housing Authority of The City of Grapevine, Texas, by deed recorded in Volume 4569, Page 491, said Official Public Records, same being in the projection of the west right-of-way line of said Starnes Street;

THENCE South 00 deg. 00 min. 00 sec. East, along the common line of said Rodriguez tract, and through the interior of Starnes Street (a 50 foot right-of-way), a distance of 39.79 feet to a point for the south corner of the herein described tract, same being the most easterly northeast corner of Lot F, J.J. Hall's Revision of Lots 11 to 22, Inclusive Starnes Addition, an addition to the City of Grapevine, Tarrant County Texas, according to the plat thereof recorded in Volume 1997, Page 448, Plat Records, Tarrant County, Texas, same being the beginning of a non-tangent curve to the right, having a radius of 50.00 feet and a central angle of 55 deg. 58 min. 08 sec;

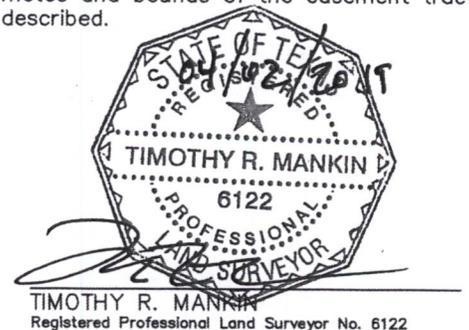
THENCE along the common line of said Lot F and said Starnes Street, and through the interior of said Rodriguez tract, along said non-tangent curve to the right, an arc distance of 48.84 feet and a chord bearing and distance of North 32 deg. 00 min. 56 sec. West, 46.92 feet to a point for the northwest corner of the herein described tract, same being the most northerly northeast corner of said Lot F, same being the most southerly southeast corner of Lot G, said J.J. Hall's Revision of Lots 11 to 22, Inclusive Starnes Addition;

THENCE North 90 deg. 00 min. 00 sec. East, through the interior of said Starnes Street and along the north line of said Rodriguez tract, a distance of 24.88 feet to the POINT OF BEGINNING and containing 680 square feet or 0.016 acre of computed land, more or less.

NOTES

1. Basis of Bearing - Based on the East line (South 00 deg. 00 min. 00 sec. East) of Lot F, J.J. Hall's Revision, Vol. 1997, Pg. 448, Deed Records, Tarrant County Records.
2. This is an above-ground survey. The underground utilities, if shown, are based on information provided by the various utility companies and these locations should be considered approximate. There may be additional underground utilities not shown on this drawing.

The undersigned, Registered Professional Land Surveyor, hereby certifies that this legal description accurately sets out the metes and bounds of the easement tract described.



JOB NO.: 19-0202

DATE: 3/26/2019

REVISION 4/2/2019

TO SCALE

DRAWN: J.B.W.

**PEISER & MANKIN
SURVEYING, LLC**

www.peisersurveying.com
FIRM NO. 100999-00

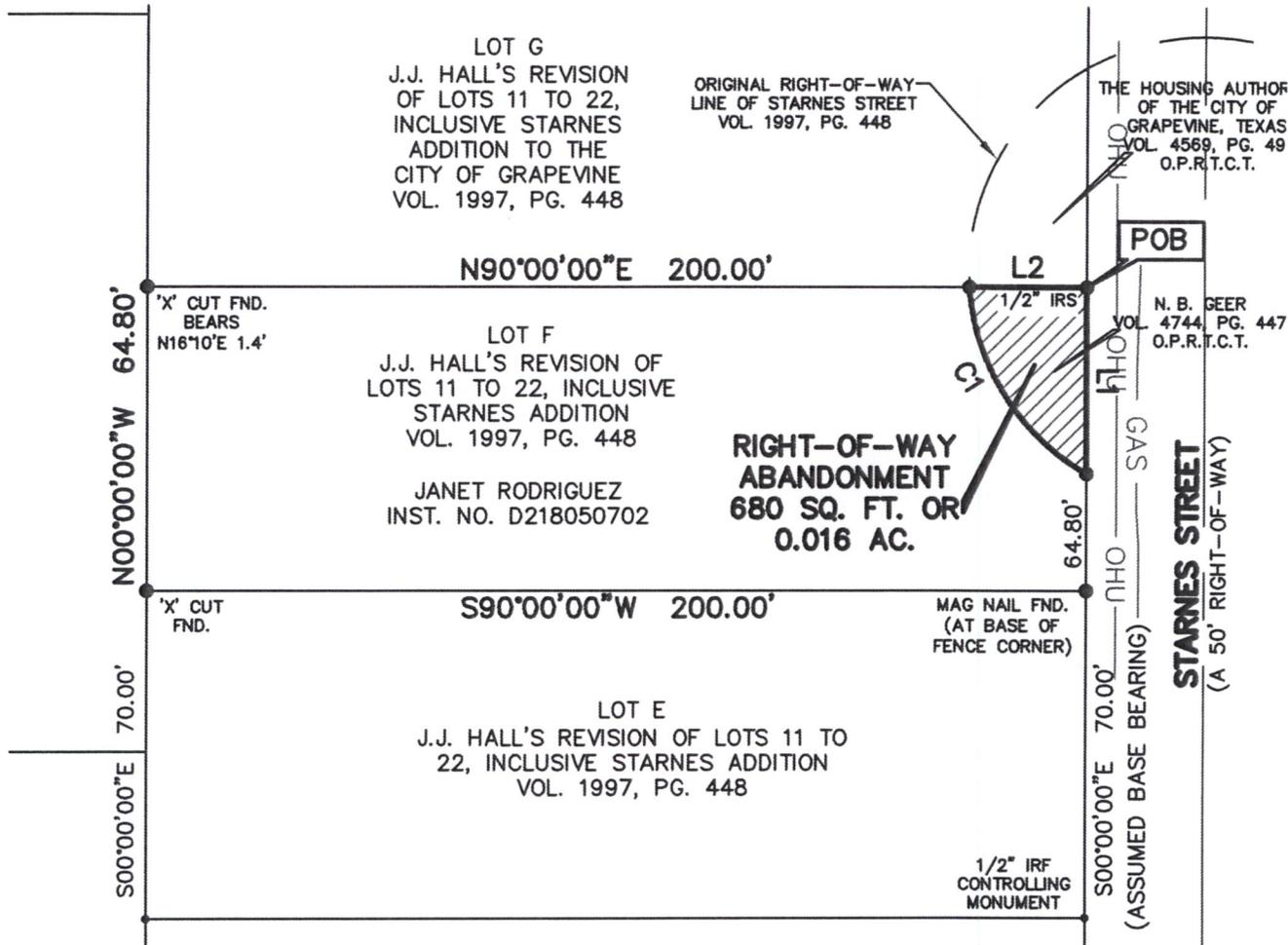
623 E. DALLAS ROAD
GRAPEVINE, TEXAS 76051
817-481-1806 (O)
817-481-1809 (F)



COMMERCIAL • RESIDENTIAL
BOUNDARIES • TOPOGRAPHY
MORTGAGE

**EXHIBIT NO. 2
RIGHT-OF-WAY ABANDONMENT
STARNES STREET
GRAPEVINE, TEXAS
680 SQ. FT. OR 0.016 ACRE**

CC ITEM # 20



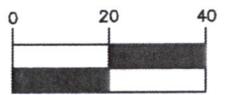
The undersigned, Registered Professional Land Surveyor, hereby certifies that this plat of survey accurately sets out the metes and bounds of the easement tract described.

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	48.84'	50.00'	55°58'08"	N 32°00'56" W	46.92'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 00°00'00" E	39.79'
L2	N 90°00'00" E	24.88'

LINETYPE TABLE	
— OHU —	OVERHEAD SERVICE LINE
— GAS —	GAS LINE

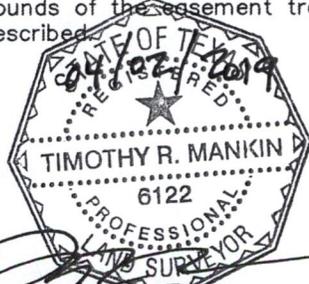
GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

LEGEND	
IRF	— Iron Rod Found
INST. NO.	— Instrument Number
VOL.	— Volume
PG.	— Page
POB	— Point of Beginning

Basis of Bearing — Based on the East line (South 00 deg. 00 min. 00 sec. East) of Lot F, J.J. Hall's Revision, Vol. 1997, Pg. 448, Deed Records, Tarrant County Records.



TIMOTHY R. MANKIN
Registered Professional Land Surveyor No. 6122

JOB NO.:	19-0202
DATE:	3/26/2019
REVISION	4/2/2019
SCALE:	1" = 40'
DRAWN:	J.B.W.

**PEISER & MANKIN
SURVEYING, LLC**

www.peisersurveying.com
FIRM NO. 100999-00

1604 HART STREET
SOUTHLAKE, TEXAS 76092
817-481-1806 (O)
817-481-1809 (F)



**COMMERCIAL • RESIDENTIAL
BOUNDARIES • TOPOGRAPHY
MORTGAGE**

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: MAY 21, 2019

SUBJECT: APPROVAL FOR THE AWARD OF AN INFORMAL REQUEST FOR QUOTE FOR AN ANNUAL CONTRACT FOR GENERATOR MAINTENANCE

RECOMMENDATION: City Council to consider the approval for an informal request for quote for an annual contract for generator maintenance with Loftin Equipment Company for the Public Works Department.

FUNDING SOURCE: Funds for this purchase are available in account 200-43370-534-000(W/W Treatment Infrast. Maint) for an annual estimated amount of \$18,200.

BACKGROUND: The purpose of this contract is to establish fixed annual pricing for required load bank testing and quarterly maintenance plan for the City's 10 lift station generators.

Bids were taken in accordance with the City Purchasing Policy. Formal bids and advertisements are not required for purchases under \$50,000. The contract will be for an initial one-year period with five optional, one-year renewals.

Loftin Equipment Company - \$18,200
Carlisle Power Systems, Inc. - \$25,133
Clifford Power - \$32,597

Staff recommends approval.

DR/LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: MAY 21, 2019

SUBJECT: APPROVAL FOR AN ANNUAL CONTRACT FOR A PREVENTATIVE ROOF MAINTENANCE PROGRAM

RECOMMENDATION: City Council to consider approval for an annual contract for a preventative roof maintenance program with Tremco/Weatherproofing Technologies, Inc. for the Facility Services Department.

FUNDING SOURCE: Funds for this purchase are available in the participating departments for an annual estimated amount of \$30,861.

BACKGROUND: This contract will provide a preventative maintenance program to extend the life of the roofs before a complete replacement is required. A comprehensive roof program is designed to maximize the life of the roof, decrease repair expenses, and accurately forecast capital needs for roof replacements. The preventative maintenance program will include initial inspection and evaluation to identify maintenance, and repair or replacement requirements. The program includes a database reporting system allowing City staff to accurately forecast and budget for current and future repair and replacement needs.

Purchases will be made in accordance with an existing interlocal agreement with Omnia Partners, Public Sector, formally National IPA, as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791. This contract is for an initial one-year period with four, one-year renewals available.

A Request for Proposal was issued by the National Cooperative for roofing products, services and job-order-contracting services and six proposals were received. A multiple award contract was established with Tremco/Weatherproofing Technologies, Inc.

The Facility Services Department and Purchasing staff reviewed the contract for specification compliance and pricing and determined that the contract would provide the best service and pricing for meeting the needs of the City. The City has successfully used this vendor in the past.

Staff recommends approval.

CH/LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: MAY 21, 2019

SUBJECT: APPROVAL OF WATER AND WASTEWATER SYSTEM ON-CALL CONTRACT

RECOMMENDATION: City Council to consider the water and wastewater system on-call contract with Provenance Engineering, LLC for the Public Works Department.

FUNDING SOURCE: Funds are available in the Utility Enterprise Fund in an amount not to exceed \$145,600.

BACKGROUND: This contract is for general consultation services including engineering, planning studies, design, inspection services and construction management specifically for the water and sewer plants. However, staff expects the bulk of this contract to assess and prioritize future capital improvements in both the water and wastewater treatment plants.

This contract will be on a task order basis. As the need arises, staff will request a task order from Provenance Engineering, LLC. for fees associated with the design or recommendation in question. Based on the complexity of the improvements designed, staff may elect to construct with their own forces or retain an outside contractor through a competitive bid process.

Kent Riker, P.E., the Principal at Provenance Engineering, LLC has provided design services for several years at both plants and, as such, is familiar with the condition of the plants and their operational needs.

Staff recommends approval.

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER ^{BR}

MEETING DATE: MAY 21, 2019

SUBJECT: APPROVAL OF CONSTRUCTION CONTRACT FOR THE INSTALLATION OF AN ULTRAVIOLET LIGHT DISINFECTION SYSTEM AND APPROPRIATION ORDINANCE

RECOMMENDATION: City Council to consider a construction contract for installing the ultraviolet Tight disinfection system improvement at the Wastewater Treatment Plant with Alltech Engineering Corporation and adopt an appropriation ordinance.

FUNDING SOURCE: Upon approval, funds in an estimated amount of \$930,000 will be available in the Utility Enterprise Capital Fund 201.

BACKGROUND: On December 19, 2017, an engineering contract was awarded to Parkhill, Smith & Cooper, Inc. to design the ultraviolet light disinfection system improvement project at the Wastewater Treatment Plant in the amount of \$120,000. At that time, a staff approved contract with Parkhill, Smith & Cooper, Inc. in the amount of \$14,950 for the preliminary study of the ultraviolet light disinfection system improvements was also ratified by City Council.

On October 2, 2018, City Council awarded a procurement contract with Enviro-line Company to provide the ultraviolet light disinfection equipment. The purpose of this procurement was to select a manufacturer of the ultraviolet (UV) system based on set criteria and a scoring system that was part of the bid package. The selection criteria was based on items such as price, service capability, design features/layout and O&M considerations. The bid was awarded to Enviro-line Company, Inc. in the amount of \$297,100. Once the procurement contract was awarded, Parkhill, Smith & Cooper, Inc. designed the UV construction replacement project around the selected Enviro-line ultraviolet light disinfection system.

Parkhill, Smith & Cooper, Inc. completed the plans and bids were opened on April 25, 2019 with three bids received as follows:

Alltech Engineering Corporation - \$799,747
Red River Construction Co. - \$852,400
Archer Western Construction - \$888,100

Parkhill, Smith & Cooper, Inc. has reviewed the bids and concurs with staffs recommendation to award to Alltech Engineering Corporation in the amount of \$799,747 with a 10% contingency, 4% contingency for inspection and a 2% contingency for testing for a total amount of \$927,706.52 (rounded to \$930,000). The contractor has 180 days to complete the projects after notice to proceed.

The City has had good experience with Alltech Engineering Corporation as they have recently installed two new clarifiers at the Wastewater Treatment Plant.

Staff recommends approval.

ORDINANCE NO. 2019-023

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE APPROPRIATION OF \$930,000 IN THE UTILITY ENTERPRISE CAPITAL FUND; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City Council of the City of Grapevine desires to install an ultraviolet light disinfection system at the Wastewater Treatment Plant; and

WHEREAS, funding for the construction phase of the ultraviolet light disinfection system improvements is available in the Utility Enterprise Capital Fund; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act and Chapter 211 of the Local Government Code; and

WHEREAS, the City Council deems the adoption of this ordinance to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council hereby authorizes an estimated amount of \$930,000 be appropriated from the Utility Enterprise Capital Fund for the installation of the ultraviolet light disinfection system at the Wastewater Treatment Plant.

Section 3. That the terms and provisions of this ordinance shall be deemed to be severable, and that if the validity of any section, subsection, word, sentence or phrase shall be held to be invalid, it shall not affect the remaining part of this ordinance.

Section 4. That the fact that the present ordinances and regulations of the City of Grapevine, Texas are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety, and general welfare which requires that this ordinance shall take effect immediately from and after its passage and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 21st day of May, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: MAY 21, 2019

SUBJECT: APPROVAL OF ENGINEERING SERVICES CONTRACT AMENDMENT NO. 3 – HILTON LIFT STATION IMPROVEMENTS AND APPROPRIATION ORDINANCE

RECOMMENDATION: City Council to consider Amendment No. 3 to the Engineering Services Contract related to the installation of a liquid oxygen injection system at the Hilton Lift Station with Garver LLC and consider an ordinance appropriating funds for engineering services.

FUNDING SOURCE: Upon approval, funds in the amount of \$66,904.00 will be available in the Utility Enterprise Capital Fund 201.

BACKGROUND: On November 7, 2017 the City Council authorized an engineering services agreement with Garver LLC, to design a new dewatering screw press and retain the existing belt filter press as an emergency backup.

Amendment No. 1 for design of a second dewatering screw press was approved July 3, 2018. Amendment No. 2 for additional plant modifications was approved March 19, 2019.

Amendment No. 3 will provide for the engineering design services for the installation of a liquid oxygen injection system within the existing footprint of the Hilton Lift Station with the intent to use the system to increase dissolved oxygen concentrations in the force main to reduce corrosion and odor issues downstream as well as assist the WWTP process. Amendment No. 3 is in the amount of \$66,904.00.

Staff expects to bring a construction contract to the City Council in late 2019 for consideration, with the project to be operational in the summer of 2020.

Staff recommends approval.

ORDINANCE NO. 2019-024

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE APPROPRIATION OF \$70,000 IN THE UTILITY ENTERPRISE CAPITAL FUND; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City Council of the City of Grapevine desires to install a liquid oxygen injection system at the Hilton Lift Station; and

WHEREAS, funding for the design phase services for the liquid oxygen injection system at the Hilton Lift Station is available in the Utility Enterprise Capital Fund; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act and Chapter 211 of the Local Government Code; and

WHEREAS, the City Council deems the adoption of this ordinance to be in the best interests of the health, safety, and welfare of the public.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council hereby authorizes an estimated amount of \$70,000 be appropriated from the Utility Enterprise Capital Fund for the design services associated with the installation of a liquid oxygen injection system at the Hilton Lift Station.

Section 3. That the terms and provisions of this ordinance shall be deemed to be severable, and that if the validity of any section, subsection, word, sentence or phrase shall be held to be invalid, it shall not affect the remaining part of this ordinance.

Section 4. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 21st day of May, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

STATE OF TEXAS
COUNTY OF TARRANT
CITY OF GRAPEVINE

The City Council of the City of Grapevine, Texas met in Regular Session on this the 7th day of May, 2019 in the City Council Chambers, Second Floor, 200 South Main Street, with the following members present:

Darlene Freed	Mayor Pro Tem
Sharron Rogers	Council Member
Mike Lease	Council Member
Chris Coy	Council Member
Duff O'Dell	Council Member
Paul Slechta	Council Member

constituting a quorum, with Mayor William D. Tate being absent and with the following members of the City Staff:

Bruno Rumbelow	City Manager
Jennifer Hibbs	Assistant City Manager
John F. Boyle, Jr.	City Attorney
Matthew C.G. Boyle	Assistant City Attorney
Tara Brooks	City Secretary

Call to Order

Mayor Pro Tem Freed called the meeting to order at 7:00 p.m.

Item 1. Executive Session

Mayor Pro Tem Freed announced the City Council would recess to the City Council Conference Room to conduct a closed session regarding:

- A. Consultation with and legal advice from the City Attorney regarding pending litigation (Morrissey, et al. v. Grapevine – Cause No. 348-303736-18), pursuant to Section 551.071, Texas Government Code.
- B. Real property relative to deliberation to the purchase, exchange, lease, sale or value of real property (City property, Public Works, the 185 acres and Lonesome Dove Exchange) pursuant to Section 551.072, Texas Government Code.
- C. Conference with City Manager and Staff to discuss and deliberate commercial and financial information received from business prospects the City seeks to have locate, stay, or expand in the City; deliberate the offer of a financial or other incentive; with which businesses the City is conducting

economic development negotiations pursuant to Section 551.087, Texas Government Code.

The City Council recessed to the City Council Conference Room and began the closed session at 7:02 p.m. Council Member Rogers joined the meeting at 7:02 p.m. Council Member Rogers left the closed session at 7:15 p.m. The closed session ended at 7:39 p.m.

Upon reconvening in open session in the Council Chambers, Mayor Pro Tem Freed asked if there was any action necessary relative to Sections 551.071, 551.072 or 551.087.

City Manager Bruno Rumbelow requested approval of an Economic Development Performance and Incentive Agreement for the Bolder Adventure Park and authorize the City Manager to execute same and all associated documents and to take all other necessary action.

Motion was made to approve an Economic Development Performance and Incentive Agreement for the Bolder Adventure Park and authorize the City Manager to execute same and all associated documents and to take all other necessary action.

Motion: Slechta
 Second: Lease
 Ayes: Freed, Lease, Coy, O'Dell, and Slechta
 Nays: None
 Abstains: Rogers
 Approved: 5-0-1

Council Member Rogers abstained from this item and filed an Affidavit of Conflict of Interest with the City Secretary.

NOTE: City Council continued with the Regular portion of the Agenda in open session in the City Council Chambers.

Mayor Pro Tem Freed called the regular meeting to order at 7:44 p.m.

REGULAR MEETING

Mayor Pro Tem Freed recognized Council Member Lease for his work with the City since this is his last meeting, and recognized newly elected Council Member Leon Leal who will be sworn in on May 21.

Item 2. Invocation

Council Member Mike Lease delivered the invocation.

Item 3. Posting the Colors and the Pledges of Allegiance

Scout Troop 700 posted the Colors and lead the Pledges of Allegiance.

Item 4. Citizen Comments

There was no one wishing to speak during citizens comments.

PRESENTATIONSItem 5. Mayor Pro Tem Freed to present a proclamation in recognition of National Small Business Week.

Mayor Pro Tem Freed declared May 5-11 National Small Business Week and presented the proclamation to Amy Razor with the Better Business Bureau. Ms. Razor thanked the City for the proclamation and lauded small businesses.

Item 6. Mayor Pro Tem Freed to present a proclamation in recognition of Police Week and Peace Officers Memorial Day.

Mayor Pro Tem Freed declared May 12-18 Police Week and May 15 Peace Officers Memorial Day and presented the proclamation to Police Chief Mike Hamlin. Police Chief Hamlin stated an estimated 23,717 officers have lost their lives in the line of duty since counts were taken. Chief Hamlin requested everyone remember Grapevine Police Officer Darren Medlin who was killed in the line of duty on June 12, 2004.

Item 7. Mayor Pro Tem Freed to present a proclamation in recognition of National Travel and Tourism Week.

Mayor Pro Tem Freed declared May 5-May 11 as National Travel and Tourism Week and presented the proclamation to Convention and Visitors Bureau Advisory Board Vice-Chairman Mark Terpening. Mr. Terpening recognized the staff at the Convention and Visitors Bureau.

Item 8. Mayor Pro Tem Freed to present a proclamation in recognition of Grapevine Main Street Program Month.

Mayor Pro Tem Freed declared the month of May, Grapevine Main Street Program Month and presented the proclamation to Curtis Ratliff, Chairman of the Grapevine Heritage Foundation Advisory Board. Dr. Ratliff thanked Council for the recognition of Grapevine's program.

Item 9. Mayor Pro Tem Freed to present Grapevine Heritage Foundation's 2019 Preservation Advocacy Award Winners.

Mayor Pro Tem Freed and Dr. Ratliff presented the Grapevine Heritage Foundation's 2019 Preservation Advocacy Awards.

Katherine Brink was awarded the Sharing the Vision Award for her leadership on the Candlelight Tour of Homes project. Ms. Brink was out of town, but Council Member Lease and Melva Stanfield accepted the award on her behalf.

Mike Kellerman received the Grapevine Township Project Award for his renovation of the 1939 Hugh Lee and Lula Fa Higgins House located at 210 West Wall Street. Mr. Kellerman was out of town and could not receive the award in person but sent a message thanking the City for the award.

Phil Parker was awarded the 2019 Preservation/Conservation Award for the renovation of Willhoite's Restaurant located at 432 South Main Street. Mr. Parker stated he appreciated the award and thanked staff, family, contractors, and the patrons of the restaurant for their assistance in the project.

Item 10. Chairperson Brian Lucas to present Annual Main Street Fest information.

Brian Lucas updated Council on the events planned for the Annual Main Street Fest which will take place May 17-19.

This year's festival is celebrating its 35th year with the theme of "Back to 1985". The presenting sponsor is Bank of the West. This year's festival will include the Craft Brew Experience, Texas Market Place, wine, music, a DeLorean with Doc Brown and Marty McFly impersonators, a kid's zone, complimentary parking and shuttles. Mr. Lucas also thanked the festival volunteers.

NEW BUSINESS

Item 11. Consider **Resolution No. 2019-022** supporting the 2020 U.S. Census and take any necessary action.

Economic Development Director Bob Farley introduced Jennifer Pope with the U.S. Census Bureau.

Ms. Pope updated Council on the importance of an accurate census, the actions leading up to the census and the creation of a Complete Count Committee.

Motion was made to approve Resolution No. 2019-022 expressing support of the 2020 U.S. Census.

Motion: Lease
 Second: Coy
 Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta
 Nays: None
 Approved: 6-0

RESOLUTION NO. 2019-022

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
 GRAPEVINE, TEXAS, SUPPORTING THE U.S. CENSUS
 2020 AND PROVIDING AN EFFECTIVE DATE

Item 12. Consider **Resolution No. 2019-023** authorizing a boundary adjustment agreement with the City of Southlake for property located at 2311 Lonesome Dove Road, 2701 Lonesome Dove Road and 1556 North Gravel Circle, and take any necessary action.

Public Works Director Bryan Beck presented items 12 and 13 together. At the request of the landowners, the City of Grapevine and the City of Southlake will adjust their respective boundaries. 2311 Lonesome Dove Road will be subdivided into three lots, with two lots in Grapevine and one in Southlake. The current boundary lines split 2701 Lonesome Dove Road and 1556 North Gravel Circle. The boundary adjustment will square the lots to place 2701 Lonesome Dove Road entirely in Southlake and 1556 North Gravel Circle entirely in Grapevine.

Motion was made to approve Resolution No. 2019-023 authorizing the boundary adjustment agreement with the City of Southlake.

Motion: Slechta
 Second: Rogers
 Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta
 Nays: None
 Approved: 6-0

RESOLUTION NO. 2019-023

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, APPROVING A BOUNDARY ADJUSTMENT AGREEMENT WITH THE CITY OF SOUTHLAKE, TEXAS AND PROVIDING AN EFFECTIVE DATE

Item 13. Consider an Interlocal Agreement to provide sanitary sewer service to 2701 Lonesome Dove Road located in the City of Southlake and take any necessary action.

Public Works Director Beck presented items 12 and 13 together. With the approval of the boundary adjustment in item 12, this lot will be entirely in the City of Southlake, but they do not have sanitary sewer connections to the property. This interlocal agreement will allow the City of Grapevine to provide sanitary sewer to this lot.

Motion was made to approve the Interlocal Agreement to provide sanitary sewer service to 2701 Lonesome Dove Road.

Motion: Rogers
 Second: Coy
 Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta
 Nays: None
 Approved: 6-0

Consent Agenda

Consent items are deemed to need little Council deliberation and were acted upon as one business item. Any member of the City Council or member of the audience may request that an item be withdrawn from the consent agenda and placed before the City Council for full discussion. There were no requests to remove any items from the consent agenda.

Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations.

Item 14. Consider declaring certain items surplus property and authorizing their sale through public auction.

Chief Financial Officer Greg Jordan recommended approval to declare certain items surplus property and authorize their sale at public auction.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
 Second: Slechta
 Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta
 Nays: None
 Approved: 6-0

Item 15. Consider the renewal of an annual contract for Microsoft licenses from SHI Government Solutions, Inc.

Chief Technology Officer Tessa Allberg recommended approval of the renewal of the Microsoft Enterprise License Agreement for an amount not to exceed \$284,014.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
 Second: Slechta
 Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta
 Nays: None
 Approved: 6-0

Item 16. Consider the purchase of flooring installation from Ware Brothers.

Parks and Recreation Director Kevin Mitchell recommended approval of the purchase of flooring and installation for Pleasant Glade Pool for an amount not to exceed \$24,400.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
 Second: Slechta
 Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta
 Nays: None
 Approved: 6-0

Item 17. Consider the approval for the purchase and installation of a pavilion for the Botanical Gardens from Metro Site Source, Inc.

Parks and Recreation Director Mitchell recommended approval of the purchase and installation of a pavilion in the garden court at the Botanical Gardens for an amount not to exceed \$32,070.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
 Second: Slechta
 Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta
 Nays: None
 Approved: 6-0

Item 18. Consider the purchase of two Ford trucks from Sam Pack's Five Star Ford for the Convention and Visitors Bureau and Water Departments.

Convention and Visitors Bureau Director P.W. McCallum and Public Works Director Beck recommended approval of the purchase of one truck for the Convention and Visitors Bureau Festivals division and one for the Water department for a total of \$70,400.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
 Second: Slechta
 Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta
 Nays: None
 Approved: 6-0

Item 19. Consider the purchase of police equipment to up-fit four Police Ford Interceptors from Defender Supply.

Police Chief Hamlin and Public Works Director Beck recommended approval of the purchase of equipment to up-fit recently purchased Police vehicles. The purchase includes prisoner seats, partitions, gun locks, and consoles for a total amount not to exceed \$29,648.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
 Second: Slechta
 Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta
 Nays: None
 Approved: 6-0

Item 20. Consider the purchase and installation of fan powered electric heating VAV boxes from Entech Sales and Services.

Public Works Director Beck recommended approval of the purchase and installation of fan powered electric heating VAV boxes for City Hall for a total amount not to exceed \$20,188.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
Second: Slechta
Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta
Nays: None
Approved: 6-0

Item 21. Consider the purchase of a tandem dump truck from Grande Truck Center.

Public Works Director Beck recommended approval of the purchase of a tandem dump truck for the Street department for a total amount not to exceed \$149,791.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
Second: Slechta
Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta
Nays: None
Approved: 6-0

Item 22. Consider the renewal of an annual contract for water meters and registers with Zenner Performance Meters, Inc.

Public Works Director Beck recommended approval of the annual contract for the purchase of water meters and registers for an amount not to exceed \$100,000.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
Second: Slechta
Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta
Nays: None
Approved: 6-0

Item 23. Consider the renewal of annual contracts for ground based mosquito control services with Municipal Mosquito and Vector Disease Control International.

Public Works Director Beck recommended approval of the annual contracts for ground based mosquito control services for an estimated amount of \$35,641.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
Second: Slechta
Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta

Nays: None
Approved: 6-0

Item 24. Consider an agreement with Pacheco Koch Consulting Engineers, Inc. to review, update, and expand the City's survey monuments.

Public Works Director Beck recommended approval of the agreement to review, update and expand the City's survey monuments for an amount not to exceed \$60,000.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
Second: Slechta
Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta
Nays: None
Approved: 6-0

Item 25. Consider an agreement for general engineering consultation services with Pacheco Koch Consulting Engineers, Inc.

Public Works Director Beck recommended approval of the agreement for general engineering consultation services to include engineering, planning studies, design and inspection and surveying for water, sewer and storm drain replacement or improvements. The agreement will be on a task order basis for an estimated amount of \$300,000.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
Second: Slechta
Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta
Nays: None
Approved: 6-0

Item 26. Consider Amendment No. 1 to the construction contract for the Nash-Berry reconstruction and South Nolen Drive connection projects with Jeske Construction Company to add an additional left turn lane at the east bound Mustang Drive and William D. Tate Avenue intersection.

Public Works Director Beck recommended approval of the amendment to the construction contract to add an additional east bound Mustang Drive left turn lane at the William D. Tate Avenue intersection for an estimated amount of \$75,000 for the additional work.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
Second: Slechta
Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta
Nays: None
Approved: 6-0

Item 27. Consider **Ordinance No. 2019-019** abandoning a utility easement on Lot 3, Block 1, Beard Addition.

Public Works Director Beck recommended approval of the abandonment of the utility easement on Lot 3, Block 1, Beard Addition located at 3541 North Gravel Circle.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
Second: Slechta
Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta
Nays: None
Approved: 6-0

ORDINANCE NO. 2019-019

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ABANDONING AND VACATING A UTILITY EASEMENT ON LOT 3, BLOCK 1, BEARD ADDITION IN THE CITY OF GRAPEVINE, TEXAS AS HEREINAFTER DESCRIBED

Item 28. Consider **Ordinance No. 2019-020** abandoning a utility easement on Lot 16, Block 1, Lakeside Estates Four Addition.

Public Works Director Beck recommended approval of the abandonment of the utility easement on Lot 16, Block 1, Lakeside Estates Four Addition located at 2678 Pinehurst Drive.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
Second: Slechta
Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta
Nays: None
Approved: 6-0

ORDINANCE NO. 2019-020

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ABANDONING AND VACATING A UTILITY EASEMENT ON LOT 16, BLOCK 1, LAKESIDE ESTATES FOUR ADDITION IN THE CITY OF GRAPEVINE, TEXAS AS HEREINAFTER DESCRIBED

Item 29. Consider the minutes of the April 16, 2019 Regular City Council meeting.

City Secretary Tara Brooks recommended approval of the minutes as provided.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
Second: Slechta
Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta
Nays: None
Approved: 6-0

ADJOURNMENT

Motion was made to adjourn the meeting at 8:27 p.m.

Motion: Coy
Second: Lease
Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta
Nays: None
Approved: 6-0

Passed and approved by the City Council of the City of Grapevine, Texas on this the 21st day of May, 2019.

APPROVED:

Darlene Freed
Mayor Pro Tem

ATTEST:

Tara Brooks
City Secretary

STATE OF TEXAS
COUNTY OF TARRANT
CITY OF GRAPEVINE

The City Council of the City of Grapevine, Texas met in a Special Meeting on this the 15th day of May, 2019 in the City Council Chambers, Second Floor, 200 South Main Street, with the following members present:

Darlene Freed	Mayor Pro Tem
Duff O'Dell	Council Member
Paul Slechta	Council Member

constituting a quorum for canvassing, with Mayor William D. Tate, Council Members Sharron Rogers, Mike Lease and Chris Coy being absent and with the following members of the City Staff:

Jennifer Hibbs	Assistant City Manager
John F. Boyle, Jr.	City Attorney
Tara Brooks	City Secretary

Call to Order

Mayor Pro Tem Freed called the meeting to order at 1:15 p.m.

Item 1. Consider **Resolution No. 2019-024** canvassing the May 4, 2019 City Election for City Council Place 3 and City Council Place 4, declaring the results, and taking any necessary action.

City Secretary Tara Brooks reported the results of the May 4, 2019 City Election. For City Council Place 3, Leon Leal received 2,142 votes and Lemoine Wright received 1,103 votes. For City Council Place 4, Darlene Freed received 2,633 votes

Motion was made to approve Resolution No. 2019-024, declaring Leon Leal duly elected to City Council Place 3 and Darlene Freed duly elected to City Council Place 4.

Motion: O'Dell
Second: Slechta
Ayes: Freed, O'Dell, and Slechta
Nays: None
Approved: 3-0

ADJOURNMENT

Motion was made to adjourn the meeting at 1:17 p.m.

Motion: Slechta
Second: O'Dell
Ayes: Freed, O'Dell, and Slechta

Nays: None
Approved: 3-0

Passed and approved by the City Council of the City of Grapevine, Texas on this the 21st day of May, 2019.

APPROVED:

Darlene Freed
Mayor Pro Tem

ATTEST:

Tara Brooks
City Secretary

STATE OF TEXAS
COUNTY OF TARRANT
CITY OF GRAPEVINE

The Planning and Zoning Commission of the City of Grapevine, Texas met in Regular Session on this the 16th day of April 2019 in the Planning and Zoning Conference Room, 200 South Main Street, 2nd Floor, Grapevine, Texas with the following members present-to-wit:

Larry Oliver	Chairman
B J Wilson	Vice-Chairman
Monica Hotelling	Member
Jimmy Fechter	Member
Beth Tiggelaar	Member
Dennis Luers	Member
Robert Rainwater	Alternate
Traci Hutton	Alternate

constituting a quorum with Gary Martin absent and the following City Staff:

Ron Stombaugh	Development Services Assistant Director
John Robertson	Engineering Manager
Albert Triplett, Jr.	Planner II
Susan Batte	Planning Technician

CALL TO ORDER

Chairman Oliver called the meeting to order at 7:00 p.m.

BRIEFING SESSION

ITEM 1.

Chairman Oliver announced the Planning and Zoning Commission would conduct a work session relative to the following cases:

FINAL PLAT – COLLEGE HEIGHTS

Chairman Oliver closed the Briefing Session at 7:05 p.m.

JOINT PUBLIC HEARINGS

Mayor Tate called the meeting to order at 7:30 p.m. in the City Council Chambers. Items 2-3 of the Joint Public Hearings were held in the City Council Chambers. The

Planning and Zoning Commission recessed to the Planning and Zoning Conference Room, Second Floor to consider published agenda items.

PLANNING AND ZONING COMMISSION REGULAR SESSION

CALL TO ORDER

Chairman Oliver called the Planning and Zoning Commission deliberation session to order at 7:30 p.m.

ITEM 4. FINAL PLAT, LOTS 4R2 AND 5R1, BLOCK 102, COLLEGE HEIGHTS ADDITION

First for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Final Plat Application of Lots 4R2 & 5R1, Block 102, College Heights Addition. The applicant was final platting 0.482 acres for the development of two residential lots.

In the Commission's deliberation session, Dennis Luers moved to approve the Statement of Findings and Final Plat Application of Lots 4R2 and 5R1, block 102 College Heights Addition. B J Wilson seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Fechter, Tiggelaar, Luers and Rainwater
Nays: None

ITEM 5. CONSIDERATION OF MINUTES

Next for the Commission to consider were the minutes of the March 19, 2019, Planning and Zoning Public Hearing.

B J Wilson moved to approve the March 19, 2019 Planning and Zoning Public Hearing minutes as written. Monica Hotelling seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Tiggelaar, Luers and Rainwater
Nays: None
Abstain: Fechter

ADJOURNMENT

With no further business to discuss, B J Wilson moved to adjourn the meeting at 7:39 p.m. Monica Hotelling seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Fechter, Tiggelaar, Luers and Rainwater
Nays: None

PASSED AND APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE
CITY OF GRAPEVINE, TEXAS ON THIS THE 21ST DAY OF MAY 2019.

APPROVED:

CHAIRMAN

ATTEST:

PLANNING TECHNICIAN