



CITY OF GRAPEVINE, TEXAS
REGULAR JOINT MEETING OF
CITY COUNCIL AND PLANNING AND ZONING COMMISSION
TUESDAY, FEBRUARY 19, 2019

GRAPEVINE CITY HALL, SECOND FLOOR
200 SOUTH MAIN STREET
GRAPEVINE, TEXAS

6:15 p.m. Dinner – City Council Conference Room
6:45 p.m. Call to Order of City Council Meeting – City Council Chambers
6:45 p.m. Executive Session – City Council Conference Room
7:30 p.m. Joint Regular Meeting – City Council Chambers

CALL TO ORDER: 6:45 p.m. – City Council Chambers

EXECUTIVE SESSION:

1. City Council to recess to the City Council Conference Room to conduct a closed session relative to:
 - A. Consultation with and legal advice from the City Attorney regarding pending litigation (Morrissey, et al. v. Grapevine – Cause No. 348-303736-18), pursuant to Section 551.071, Texas Government Code.
 - B. Real property relative to deliberation to the purchase, exchange, lease, sale or value of real property (City facilities, Public Works, and the 185 acres) pursuant to Section 551.072, Texas Government Code.
 - C. Conference with City Manager and Staff to discuss and deliberate commercial and financial information received from business prospects the City seeks to have locate, stay, or expand in the City; deliberate the offer of a financial or other incentive; with which businesses the City is conducting economic development negotiations pursuant to Section 551.087, Texas Government Code.

City Council to reconvene in open session in the City Council Chambers and take any necessary action relative to items discussed in Executive Session.

REGULAR MEETING: 7:30 p.m. – City Council Chambers

2. Invocation and Pledge of Allegiance: Commissioner Jim Fechter

JOINT PUBLIC HEARINGS

3. Conditional Use Permit **CU18-21** (Grapevine Soccer Complex) and **Final Plat** of Lot 1, Block 1, Grapevine Soccer Complex – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Holtman Designworks, Inc. requesting a conditional use permit to allow for the development of a soccer field complex with stadium lighting. The subject property is located at 3451 Foxfire Lane and is currently zoned “RA” Recreational Amusement District.
4. Conditional Use Permit **CU19-01** (The Novus Academy) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by T. Howard and Associates requesting a conditional use permit to allow a private school. The subject property is located at 3400 William D. Tate Avenue and is currently zoned “CC” Community Commercial District. **The applicant has requested to table this item to the March 19, 2019 meeting.**
5. Conditional Use Permit **CU19-02** (The Shops at Grapevine Crossing) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Billingsley Company requesting to amend the previously approved site plan of CU18-08 (Ordinance No. 2018-37) for a master site development plan specifically to amend the square footage and elevations of the previously approved retail space, provide for additional on-premise signage, and allow for gasoline sales and off-premise consumption of alcoholic beverages (beer and wine only) in conjunction with a convenience store. The subject property is located at 3540, 3550 and 3580 North Grapevine Mills Boulevard and is currently zoned “CC” Community Commercial District.
6. Special Use Permit **SU18-04** (Oncor Vineyard Switching Station) and **Preliminary Plat** for Lot 1R, Block 1 and Lots 1 and 2, Block 2, Airport Crossing JV Wells (Vineyard Switch Addition) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Oncor requesting a special use permit to allow a public utility distribution and equipment facility. The subject property is located at 1057 Texan Trail and is currently zoned “CC” Community Commercial District.
7. **AM19-01** Amendments to Comprehensive Zoning Ordinance No. 82-73 – City Council and Planning and Zoning Commission to conduct a public hearing to consider amendments and changes to the Comprehensive Zoning Ordinance, No. 82-73, same being Appendix D regarding the addition of Section 41B Transit District Overlay and any other additions, deletions, or changes to various sections, articles and provisions contained in said Ordinance No. 82-73.
8. **Final Plat** of Lots 1-5, Block 1R, Kimball Glen – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Briar Pointe, LP requesting to replat Lots 1 and 2, Block 1, Kimball Glen and

0.546 acres of unplatted land. The subject property is located at 2114, 2310 and 2316 North Kimball Road and is currently zoned "R-7.5" Single Family District.

Planning and Zoning Commission to recess to Planning and Zoning Commission Conference Room, Second Floor, to consider published agenda items.

City Council to remain in session in the Council Chambers to consider published business.

CITIZEN COMMENTS

9. Any person who is not scheduled on the agenda may address the City Council under Citizen Comments by completing a Citizen Appearance Request form with the City Secretary. In accordance with the Texas Open Meetings Act, the City Council is restricted in discussing or taking action during Citizen Comments.

NEW BUSINESS

10. Consider **Resolution No. 2019-010** authorizing the City Manager to submit the Cotton Belt Trail Corridor project in response to the 2019 NCTCOG Transportation Alternatives Set-Aside Program, **Ordinance No. 2019-009** appropriating funds, and take any necessary action.

CONSENT AGENDA

Consent items are deemed to need little Council deliberation and will be acted upon as one business item. Any member of the City Council or member of the audience may request that an item be withdrawn from the consent agenda and placed before the City Council for full discussion. Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations.

11. Consider the renewal of an annual contract for the purchase of office supplies with Office Depot, Inc. Chief Financial Officer recommends approval.
12. Consider **Resolution No. 2019-011** authorizing an Interlocal Agreement with the Region 14 Education Service Center to purchase various goods and services. Chief Financial Officer recommends approval.
13. Consider **Resolution No. 2019-012** authorizing the purchase of Meraki security licenses from General Datatech, L.P. Chief Technology Officer recommends approval.
14. Consider **Resolution No. 2019-013** authorizing the purchase of VMware support services from SHI Government Solutions. Chief Technology Officer recommends approval.

15. Consider the renewals of the annual contracts for masonry services with Chibli Stone Works, Inc.; Caststone Solutions Co.; and Austin Masonry Construction. Parks and Recreation Director recommends approval.
16. Consider **Resolution No. 2019-014** authorizing the purchase and installation of new gym flooring for The REC from Ponder Company, Inc. Parks and Recreation Director and Public Works Director recommend approval.
17. Consider **Resolution No. 2019-015** authorizing the purchase of two Ford trucks from Sam Pack's Five Star Ford for the Fire Department. Public Works Director and Fire Chief recommend approval.
18. Consider **Resolution No. 2019-016** authorizing the purchase of a Ford Escape from Sam Pack's Five Star Ford for the Police Department. Public Works Director and Police Chief recommend approval.
19. Consider the purchase of Performo asset performance and maintenance software for the Facility Services Department from Wizard Software Solutions. Public Works Director recommends approval.
20. Consider the award of an informal request for quote for a gate valve from Legacy Contracting, L.P. Public Works Director recommends approval.
21. Consider the minutes of the February 5, 2019 Regular City Council meeting. City Secretary recommends approval.

Pursuant to the Texas Open Meetings Act, Texas Government Code, Chapter 551.001 et seq, one or more of the above items may be considered in Executive Session closed to the public. Any decision held on such matter will be taken or conducted in open session following conclusion of the executive session.

PLANNING AND ZONING COMMISSION RECOMMENDATIONS

22. **Preliminary Plat** of Lots 1-5 Block 1, and Lots 1-5, Block 2, Grapevine Hill Addition – Consider the application submitted by ANA Consultants, LLC requesting to plat ten residential lots. The subject property is located at 409 North Dooley Street and is zoned “R-5.0” Zero Lot Line District. **This item was tabled from the January 15, 2019 meeting.**
23. **Final Plat** of Lots 1-5, Block 1 and Lots 1-5, Block 2, Grapevine Hill Addition – Consider the application submitted by ANA Consultants, LLC requesting to plat ten residential lots. The subject property is located at 409 North Dooley Street and is zoned “R-5.0” Zero Lot Line District. **This item was tabled from the January 15, 2019 meeting.**

24. Conditional Use Permit **CU18-21** (Grapevine Soccer Complex) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2019-004**, if applicable, and take any necessary action.
25. **Final Plat** of Lot 1, Block 1, Grapevine Soccer Complex – Consider the recommendation of the Planning and Zoning Commission and take any necessary action.
26. Conditional Use Permit **CU19-01** (The Novus Academy) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2019-005**, if applicable, and take any necessary action. **The applicant has requested to table this item to the March 19, 2019 meeting.**
27. Conditional Use Permit **CU19-02** (The Shops at Grapevine Crossing) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2019-006**, if applicable, and take any necessary action.
28. Special Use Permit **SU18-04** (Oncor Vineyard Switching Station) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2019-007**, if applicable, and take any necessary action.
29. **Preliminary Plat** for Lot 1R, Block 1 and Lots 1 and 2, Block 2, Airport Crossing JV Wells (Vineyard Switch Addition) – Consider the recommendation of the Planning and Zoning Commission and take any necessary action.
30. **AM19-01** Amendments to Comprehensive Zoning Ordinance No. 82-73 – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2019-008**, if applicable, and take any necessary action.
31. **Final Plat** of Lots 1-5, Block 1R, Kimball Glen – Consider the recommendation of the Planning and Zoning Commission and take any necessary action.
32. **Preliminary Plat** of Lots 1-8, Block 1, Statham Estates – Consider the application submitted by Steve Homeyer requesting to plat eight residential lots. The subject property is located at 315 North Main Street and is zoned “R-5.0” Zero Lot Line District.
33. **Final Plat** of Lots 1-8, Block 1, Statham Estates – Consider the application submitted by Steve Homeyer requesting to plat eight residential lots. The subject property is located at 315 North Main Street and is zoned “R-5.0” Zero Lot Line District.

ADJOURNMENT

In accordance with the Open Meetings Law, Texas Government Code, Chapter 551, I hereby certify that the above agenda was posted on the official bulletin boards at Grapevine City Hall, 200 South Main Street and on the City's website on February 15, 2019 by 5:00 p.m.

Tara Brooks

Tara Brooks
City Secretary



If you plan to attend this public meeting and you have a disability that requires special arrangements at the meeting, please contact the City Secretary's Office at 817.410.3182 at least 24 hours in advance of the meeting. Reasonable accommodations will be made to assist your needs.



CITY OF GRAPEVINE, TEXAS
REGULAR PLANNING AND ZONING COMMISSION MEETING
TUESDAY, FEBRUARY 19, 2019

GRAPEVINE CITY HALL, SECOND FLOOR
200 SOUTH MAIN STREET
GRAPEVINE, TEXAS 76051

-
- 7:00 p.m. Briefing Session - Planning and Zoning Commission Conference Room
7:30 p.m. Joint Meeting with City Council - City Council Chambers
7:30 p.m. Regular Session - Planning and Zoning Commission Conference Room
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CALL TO ORDER: 7:00 p.m. - Planning and Zoning Commission Conference Room

BRIEFING SESSION

1. Planning and Zoning Commission to conduct a briefing session to discuss all items scheduled on tonight's agenda. No action will be taken. Each item will be considered during the Regular Session which immediately follows the Joint Public Hearings.

JOINT MEETING WITH CITY COUNCIL: 7:30 p.m. - City Council Chambers

2. Invocation and Pledge of Allegiance: Commissioner Jim Fechter

JOINT PUBLIC HEARINGS

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the previously approved retail space, provide for additional on-premise signage, and allow for gasoline sales and off-premise consumption of alcoholic beverages (beer and wine only) in conjunction with a convenience store. The subject property is located at 3540, 3550 and 3580 North Grapevine Mills Boulevard and is currently zoned "CC" Community Commercial District.

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Planning and Zoning Commission to recess to Planning and Zoning Commission Conference Room, Second Floor, to consider published agenda items.

REGULAR SESSION: 7:30 p.m. (Immediately following Joint Public Hearings) – Planning and Zoning Commission Conference Room

OLD BUSINESS

9. **Preliminary Plat** of Lots 1-5, Block 1 and Lots 1-5, Block 2, Grapevine Hill Addition – Consider the application and make a recommendation to City Council regarding the request submitted by Osama Nashed with ANA Consultants, LLC requesting to plat ten residential lots. The subject property is located at 409 North Dooley Street and is zoned "R-5.0" Zero Lot Line District. **This item was tabled from the January 15, 2019 meeting.**
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NEW BUSINESS

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21. Consider the minutes of the January 15, 2019 Regular Planning and Zoning Commission meeting.

NOTE: Following the adjournment of the Planning and Zoning Commission meeting, a representative will present the recommendations of the Planning and Zoning Commission to the City Council for consideration in the City Council Chambers.

ADJOURNMENT

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Tara Brooks

Tara Brooks
City Secretary



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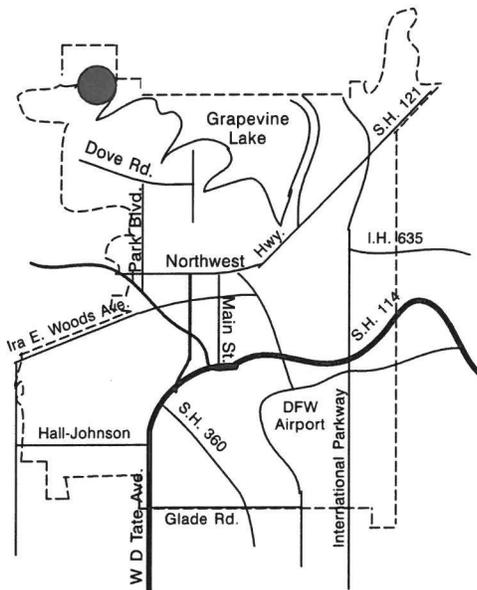
TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: FEBRUARY 19, 2019

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF
CONDITIONAL USE APPLICATION CU18-21, GRAPEVINE
SOCCER COMPLEX

APPLICANT: Matthew Holtman



PROPERTY LOCATION AND SIZE:

The subject property is addressed as 3451 Foxfire Lane and is proposed to be platted Lot 1, Block 1, Grapevine Soccer Complex. The site contains approximately 18.929 acres and has approximately 1,752 feet of frontage along Foxfire Lane.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to allow for the development of a soccer field complex with stadium lighting on approximately 18.929 acres.

The City Council at the January 19, 2016 meeting approved Conditional Use Request CU15-47 (Ord. 2016-004) to allow for stadium lighting and to exceed the maximum permitted height for a tent/canopy in conjunction with an outdoor cricket facility which included three cricket fields, a wicket practice area, a 1,600 square foot men's/women's dressing room and storage building and covered viewing area. The request was approved with the condition that the outdoor field lighting be limited to 9:00 p.m. Sunday through Thursday and 10:00 p.m. Friday and Saturday. The cricket fields never developed.

With this request the applicant proposes a multi-phased development of a total eight soccer fields. The first phase includes five soccer fields illuminated with 13 stadium lights: three lights 90-feet in height, three lights 70-feet in height and seven lights 30-feet in height. Lighting shut off times are 9:30 p.m. Sunday through Saturday. In addition to the soccer fields a 1,600 square foot men's/women's dressing room and storage building, ten low rise spectator bleachers, and associated parking are proposed. The total parking provided is 97 spaces—95 spaces are required. During the second phase, three non-illuminated soccer fields and 92 additional parking spaces providing a total of 189 on site spaces, are proposed. No-parking signs will be permanently installed along Foxfire Lane to prohibit parking on the street. Lighting levels at the southwest, west and northwest property lines adjacent to the residential zoning meet the allowed lighting levels of 0.2 footcandles.

A Traffic Impact Analysis (TIA) was required in conjunction with the proposed use. The Transportation Manager concluded the following intersection improvements are necessary during phase one to account for vehicle delay and congestion: westbound turn lane at the intersection of Foxfire Lane and Lonesome Dove Road, southbound left turn lane at the intersection of Lonesome Dove Road and East Dove Road and the eastbound left turn lane at Lonesome Dove and East Dove Road. The applicant has agreed to work with all relevant parties to make the improvements as suggested. See the applicant's response letter to the Transportation Manager's assessment.

PRESENT ZONING AND USE:

The property is currently zoned "RA" Recreational Amusement District and is undeveloped.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject property was annexed into the City of Grapevine as part of an approximate 300 acre annexation from the City of Southlake and the Corps of Engineers which was approved by Council on November 2, 1993 (Ord. 1993-49). This property received the "R-20" Single Family Designation upon annexation. Some of the property is unplatted and vacant with some single-family homes and Lonesome Dove Ranch. Property to the northwest received Zone Change Case Z01-01 (Ord. 2001-13) approved on February 20, 2001, changing the site zoning to "R-5.0" Zero Lot Line District with deed restrictions requiring all on site development to comply with the regulations of "R-7.5" Single Family District. Zone Change Z99-22 (Ord. 2000-113) and Conditional Use Permit CU00-54 (Ord. 2000-121) were approved on November 7, 2000, changing the zoning on the subject property to from "R-20", Single Family District to "RA" Recreation/Amusement District and approving a conditional use permit for on-premise consumption of alcoholic beverages (beer, wine and mixed drinks) in conjunction with the operation of an existing recreation/amusement based business (Ranch of Lonesome Dove). The City Council at the January 19, 2006 meeting approved Conditional Use Request CU15-47 (Ord. 2016-004) to allow for stadium lighting and to exceed the maximum permitted height for a tent/canopy for a cricket field complex which never developed. The request was approved

with the condition that the outdoor field lighting be limited to 9:00 p.m. Sunday through Thursday and 10:00 p.m. Friday and Saturday.

SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH: "RA", Recreational/Amusement District and "R-7.5" Single Family District, Lonesome Dove and Lakeview Estates
- SOUTH: "RA", Recreational/Amusement District and "R-12.5" Single Family District undeveloped and Cannon Homestead
- EAST: "RA", Recreation/Amusement District – Ranch of Lonesome Dove
- WEST: "R-20", Single Family District – unplatted single family homes

AIRPORT IMPACT:

The subject tract is not located within any of the noise zones as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map.

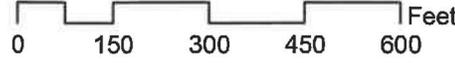
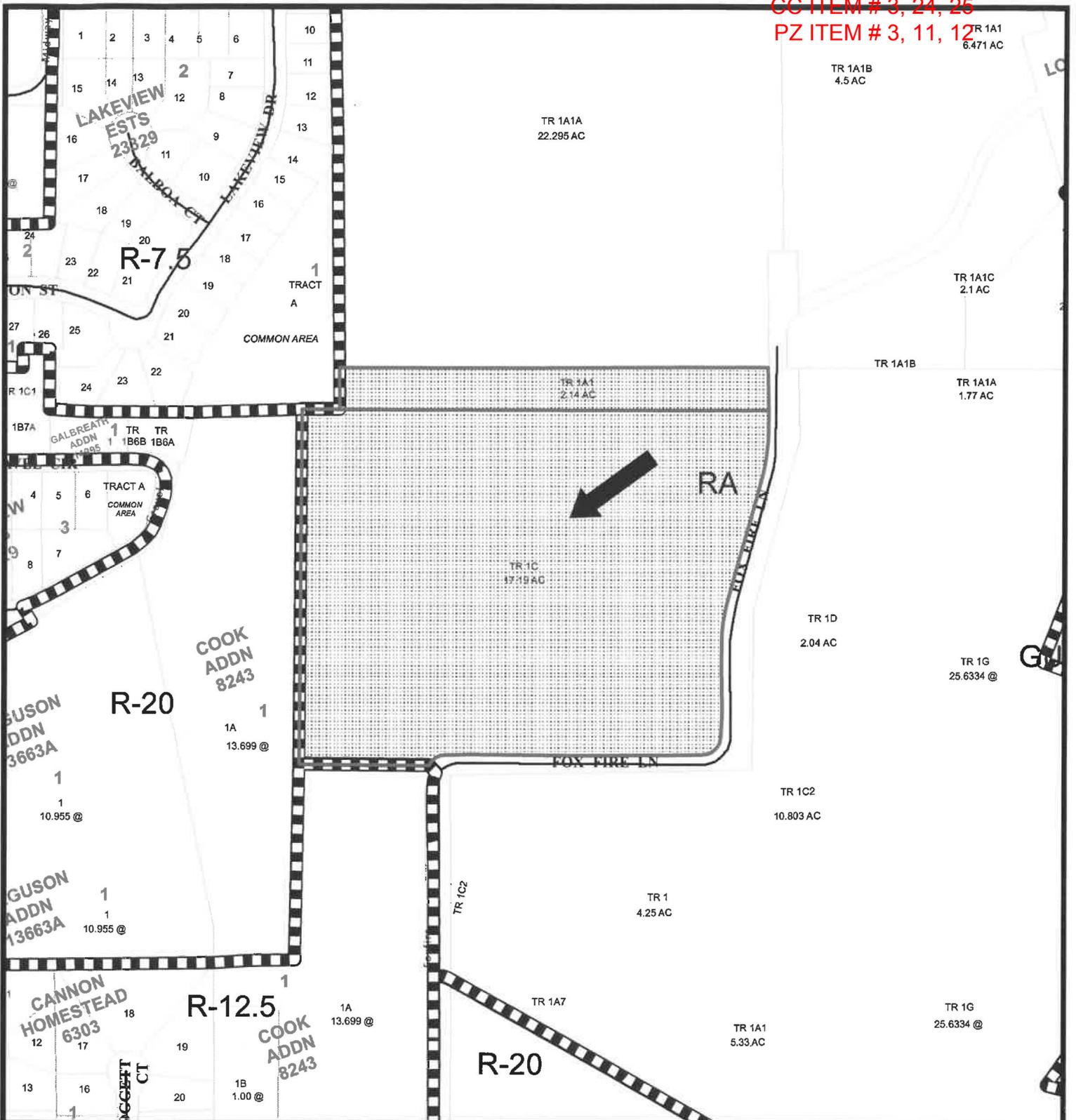
MASTER PLAN APPLICATION:

The Master Plan designates the subject site as Recreational Amusement. The proposed development does comply with the Recreational/Amusement designation.

THOROUGHFARE PLAN APPLICATION:

Foxfire Lane is not listed on the Thoroughfare Plan.

/at



CU18-21 Grapevine Soccer Complex

Date Prepared: 2/1/2019

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

C118-21



CITY OF GRAPEVINE

CONDITIONAL USE APPLICATION

Form "A"

PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact

Matthew Holtman, Holtman Designworks Inc.

Street address of applicant / agent:

403 US 377 S

City / State / Zip Code of applicant / agent:

Argyle, Texas, 76226

Telephone number of applicant / agent:

940-240-0491

Fax number of applicant/agent

Email address of applicant/agent

[Redacted]

Mobile phone number of applicant/agent

214-455-5623

PART 2. PROPERTY INFORMATION

Street address of subject property

3451 Foxfire Lane, Grapevine, TX 76092

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot 1 Block 1 Addition

Size of subject property

18.93 (Net)

824,548 (Net)

20 (Gross)

Acres

871,200 (Gross) Square footage

Present zoning classification:

RA

Proposed use of the property:

Soccer Complex (Recreational / Amusement)

Circle yes or no, if applies to this application

Outdoor speakers Yes No

Minimum / maximum district size for conditional use request:

Minimum lot size 8,000 ~~sq~~ sq-ft.

Zoning ordinance provision requiring a conditional use:

(Section 30) Use of Sports / Field Lighting

PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:

Mezas Capital Group Attn: Simon Bozas

Street address of property owner:

2911 Turtle Creek Boulevard, Suite 1000

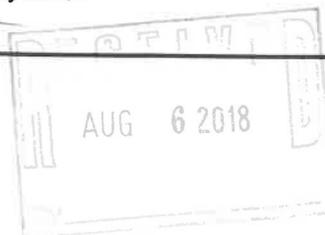
City / State / Zip Code of property owner:

Dallas, Texas 75219

Telephone number of property owner:

(972) - 977-6888

Fax number of property owner:



CU18-21

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.

- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY

Matthew Holtman

Matthew R Holtman X

Print Applicant's Name:

Applicant's Signature:

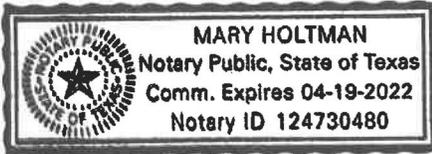
The State of Texas

County Of Denton

Before Me Mary Holtman (notary) on this day personally appeared Matthew Holtman (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 1 day of August, A.D. 2018.



Mary Holtman
Notary In And For State Of Texas

Simon Bozas

Simon Bozas
Property Owner's Signature:

Print Property Owners Name:

The State Of Texas

County Of Collin

Before Me Attalie Morgan (notary) on this day personally appeared Simon Bozas (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 6 day of August, A.D. 2018.



Attalie Morgan
Notary In And For State Of Texas



CUL8-21

ACKNOWLEDGEMENT

All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant Matthew R. Helton X

Date: 8/1/18

Signature of Owner Aaron J. Jordan for Sivan Boyatz

Date: _____



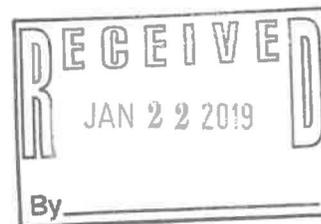


Proposed Conditional Use of the property at 3451 Foxfire Lane: The development of a soccer complex with accompanying stadium lighting.

With this request of conditional use, the property owner, Mezas Capitol Group, proposes to illuminate the five main fields with eleven light poles, seven of which are 30 ft. in height, thus meeting the 30 ft. maximum, whereas the remaining four are 90 ft. in height. Lighting levels at the southwest, west, and northwest property lines adjacent to the residential zoning meet the allowed lighting levels of 0.2 footcandles. The total parking provided is 97 spaces—95 spaces are required. At some point in the future the owner plans to add an additional 16 spaces, bringing the expected total to 113. "No Parking" signs will be permanently installed along Foxfire Lane to discourage parking along the street.

The addition of the soccer complex with accompanying stadium lighting will not cause substantial harm to the value, use, or enjoyment of the surrounding property. For the topic of illumination imposition, refer to the photometric report of the site, which demonstrates the absence of lumen interference with the surrounding properties.

Owner Signature: *Andrew L. Johnson* *
Date: *Jan Simon Boyes*



Ron Stombaugh

From: Scott Williams
Sent: Friday, February 15, 2019 8:52 AM
To: Ron Stombaugh
Subject: FW: 3420 Foxfire Lane in Grapevine

J. Scott Williams
Development Director
City of Grapevine
200 S. Main Street
Grapevine Texas 76051
(817) 410-3158

From: Matthew R. Holtman [mailto: [REDACTED]]
Sent: Thursday, February 14, 2019 2:40 PM
To: Ron Stombaugh <rons@grapevinetexas.gov>
Cc: Carol Marchant <cmarchant@grapevinetexas.gov>; Clinton Coultas [REDACTED]; Aaron Gordon [REDACTED]; Simon Bozas [REDACTED]; Scott Williams <scottw@grapevinetexas.gov>
Subject: Re: 3420 Foxfire Lane in Grapevine

Ron - I was talking with Scott Williams this morning and we are scheduled to be on the February 19th, 2019 P and Z agenda and I after reading back through the comment response sheet I wanted to revise the comments with regards to the public works and TIA. Understanding that this meeting meeting is to allow the fields to be installed not to permit the plans HDW and PIT Grapevine look to work with the City and Public works to satisfy the needs of the site and surrounding community.

Per City Request - Additional Comment Responses below from email dated 1/10/19 Regarding Traffic Study.

Richard Larkins - I am recommending that the following intersection improvements be required with Phase 1 construction:

1. WB left turn on Foxfire at Lonesome Dove - Holtman Designworks and the owners of Performance Indoor Training shall coordinate with the City of Grapevine public works in order to provide and install the necessary improvements.
2. SB left turn on Lonesome Dove at Dove – City of Southlake - Reached out to Southlake. Scheduled a meeting with Dennis Keller to discuss further direction of installing turn lanes and shall coordinate the the City of Grapevine public works to finalize requirements and controls.
3. EB left turn on Dove at Lonesome Dove – City of Southlake - Reached out to Southlake. Scheduled a meeting with Dennis Keller to discuss further direction of installing turn lanes and shall coordinate the the City of Grapevine public works to finalize requirements and controls.

Please confirm receipt and let me know if there needs to be a further formal adjustment.



Matthew Holtman, RA

Address:
403 US 377 S

Argyle, Texas 76226

Phone:
940.240.0491

Cell:
214.455.5623

Email:

<https://www.facebook.com/holtmanDesignworks>

*** External email communication – Please use caution before clicking links and/or opening attachments ***

0418-21



11/15/18

Grapevine Soccer Complex
Grapevine, TX

Subject: Grapevine Soccer Complex – Soccer Fields

Dear Sir or Madame:

We are pleased to offer our Universal Series lighting system, to light your soccer fields. Our (103) 1500 Watt Metal Halide Fixtures will use a total of 167.4 KW and will light your fields per the layouts provided.

Qualite Sports Lighting hereby guarantees the light levels specified (30 FCC), given proper input voltage, installation and maintenance for a period of 30 years.

Sincerely,

QUALITE SPORTS LIGHTING, LLC.

Troy Tyler

Troy Tyler
Project Management Director

ORDINANCE NO. 2019-004

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ISSUING CONDITIONAL USE PERMIT CU18-21 TO ALLOW FOR THE DEVELOPMENT OF A SOCCER FIELD COMPLEX WITH STADIUM LIGHTING IN A DISTRICT ZONED "RA" RECREATION/AMUSEMENT DISTRICT FOR LOT 1, BLOCK 1, GRAPEVINE SOCCER COMPLEX (3451 FOXFIRE LANE) ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the

overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU18-21 to allow for development of a soccer field complex with stadium lighting on approximately 18.929 acres (Grapevine Soccer Complex) in a district zoned "RA" Recreation/Amusement District within the following described property: proposed to be platted as Lot 1, Block 1, Grapevine Soccer Complex (3451 Foxfire Lane) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. That the City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safely from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. That this ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. That any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of February, 2019.

APPROVED:

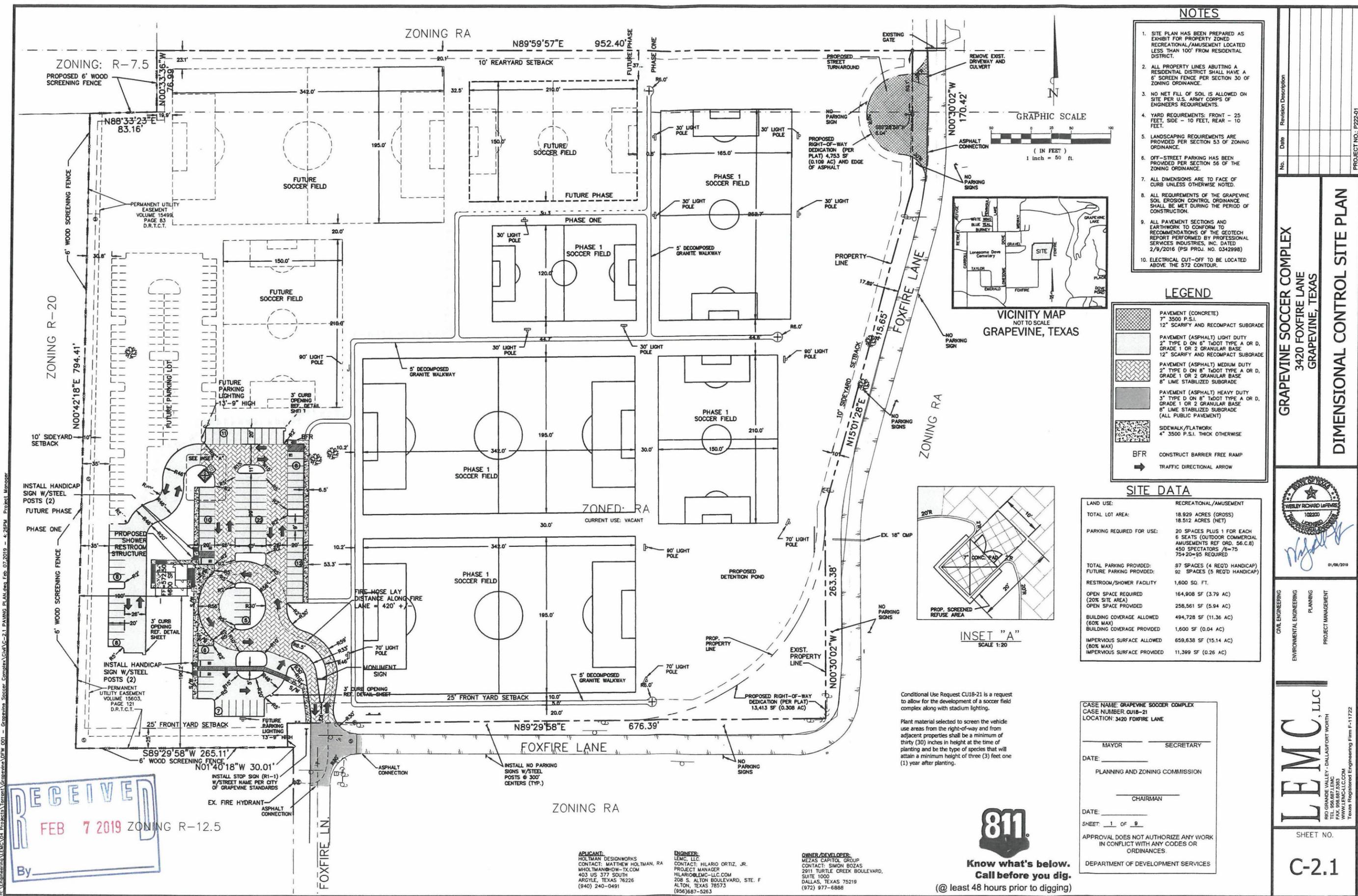
William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney



NOTES

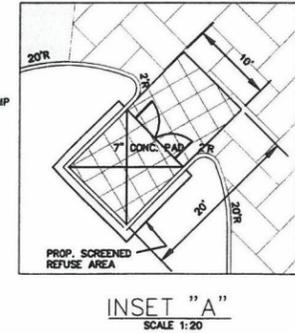
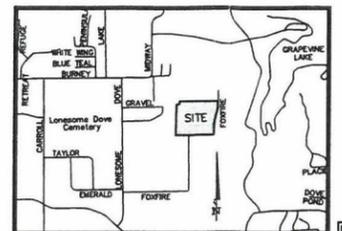
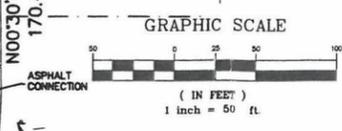
1. SITE PLAN HAS BEEN PREPARED AS EXHIBIT FOR PROPERTY ZONED RECREATIONAL/AMUSEMENT LOCATED LESS THAN 100' FROM RESIDENTIAL DISTRICT.
2. ALL PROPERTY LINES ABUTTING A RESIDENTIAL DISTRICT SHALL HAVE A 6' SCREEN FENCE PER SECTION 30 OF ZONING ORDINANCE.
3. NO NET FILL OF SOIL IS ALLOWED ON SITE PER U.S. ARMY CORPS OF ENGINEERS REQUIREMENTS.
4. YARD REQUIREMENTS: FRONT - 25 FEET, SIDE - 10 FEET, REAR - 10 FEET.
5. LANDSCAPING REQUIREMENTS ARE PROVIDED PER SECTION 53 OF ZONING ORDINANCE.
6. OFF-STREET PARKING HAS BEEN PROVIDED PER SECTION 56 OF THE ZONING ORDINANCE.
7. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
8. ALL REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.
9. ALL PAVEMENT SECTIONS AND EARTHWORK TO CONFORM TO RECOMMENDATIONS OF THE GEOTECH REPORT PERFORMED BY PROFESSIONAL SERVICES INDUSTRIES, INC. DATED 2/9/2016 (PSI PROJ. NO. 0342998)
10. ELECTRICAL CUT-OFF TO BE LOCATED ABOVE THE 572 CONTOUR.

LEGEND

- PAVEMENT (CONCRETE)
7" 3500 P.S.I.
12" SCARIFY AND RECOMPACT SUBGRADE
- PAVEMENT (ASPHALT) LIGHT DUTY
2" TYPE D ON 8" 1/200 TYPE A OR D, GRADE 1 OR 2 GRANULAR BASE
12" SCARIFY AND RECOMPACT SUBGRADE
- PAVEMENT (ASPHALT) MEDIUM DUTY
3" TYPE D ON 8" 1/200 TYPE A OR D, GRADE 1 OR 2 GRANULAR BASE
8" LIME STABILIZED SUBGRADE
- PAVEMENT (ASPHALT) HEAVY DUTY
3" TYPE D ON 8" 1/200 TYPE A OR D, GRADE 1 OR 2 GRANULAR BASE
8" LIME STABILIZED SUBGRADE (ALL PUBLIC PAVEMENT)
- SIDEWALK/FLATWORK
4" 3500 P.S.I. THICK OTHERWISE
- BFR CONSTRUCT BARRIER FREE RAMP
- TRAFFIC DIRECTIONAL ARROW

SITE DATA

LAND USE:	RECREATIONAL/AMUSEMENT
TOTAL LOT AREA:	18.929 ACRES (GROSS) 18.512 ACRES (NET)
PARKING REQUIRED FOR USE:	20 SPACES PLUS 1 FOR EACH 6 SEATS (OUTDOOR COMMERCIAL AMUSEMENTS REF. ORD. 56.C.8) 450 SPECTATORS / 6-75 75+20=95 REQUIRED
TOTAL PARKING PROVIDED:	97 SPACES (4 REQ'D HANDICAP) 92 SPACES (5 REQ'D HANDICAP)
RESTROOM/SHOWER FACILITY:	1,600 SQ. FT.
OPEN SPACE REQUIRED (20% SITE AREA):	164,908 SF (3.79 AC)
OPEN SPACE PROVIDED:	258,561 SF (5.94 AC)
BUILDING COVERAGE ALLOWED (60% MAX):	494,728 SF (11.36 AC)
BUILDING COVERAGE PROVIDED:	1,600 SF (0.04 AC)
IMPERVIOUS SURFACE ALLOWED (60% MAX):	659,638 SF (15.14 AC)
IMPERVIOUS SURFACE PROVIDED:	11,399 SF (0.26 AC)



Conditional Use Request CU18-21 is a request to allow for the development of a soccer field complex along with stadium lighting.

Plant material selected to screen the vehicle use areas from the right-of-way and from adjacent properties shall be a minimum of thirty (30) inches in height at the time of planting and be the type of species that will attain a minimum height of three (3) feet one (1) year after planting.



Know what's below. Call before you dig.
(@ least 48 hours prior to digging)

RECEIVED
FEB 7 2019 ZONING R-12.5
By _____

APPLICANT:
HOLTMAN DESIGNWORKS
CONTACT: MATTHEW HOLTMAN, RA
MHOLTMAN@HDW-TX.COM
403 US 377 SOUTH
ARVILLE, TEXAS 76226
(940) 240-0491

ENGINEER:
LEMC, LLC
CONTACT: HILARIO ORTIZ, JR.
CONTACT: HILARIO@LEMC-LLC.COM
2911 TURTLE CREEK BOULEVARD,
SUITE 1000
DALLAS, TEXAS 75219
(972) 977-6886

OWNER/DEVELOPER:
MEZAS CAPITOL GROUP
CONTACT: SIMON BOZAS
208 S. ALTON BOULEVARD, STE. F
ALTON, TEXAS 75273
(972) 977-6886

GRAPEVINE SOCCER COMPLEX
3420 FOXFIRE LANE
GRAPEVINE, TEXAS

DIMENSIONAL CONTROL SITE PLAN



CIVIL ENGINEERING
ENVIRONMENTAL ENGINEERING
PLANNING
PROJECT MANAGEMENT

LEMC, LLC
180 GRANDE VALLEY - DALLAS/FORT WORTH
P.O. BOX 897,5383
WWW.LEMC-LLC.COM
Texas Registered Engineering Firm F-11722

SHEET NO.
C-2.1

CASE NAME: GRAPEVINE SOCCER COMPLEX
CASE NUMBER: CU18-21
LOCATION: 3420 FOXFIRE LANE

MAYOR SECRETARY

DATE: _____
PLANNING AND ZONING COMMISSION

CHAIRMAN

DATE: _____
SHEET: 1 OF 9

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

DEPARTMENT OF DEVELOPMENT SERVICES



201 GROVETON | SATX 78210
210.314.5582 | MPSTUD.IO

STATUS



PROJECT

GRAPEVINE
SOCCER COMPLEX

PROJECT ADDRESS
3420 FOXFIRE LANE
GRAPEVINE, TX 76092

OWNER'S REPRESENTATIVE
PEDRO AYALA
307 SOUTH MAIN STREET
DONNA, TX 78537

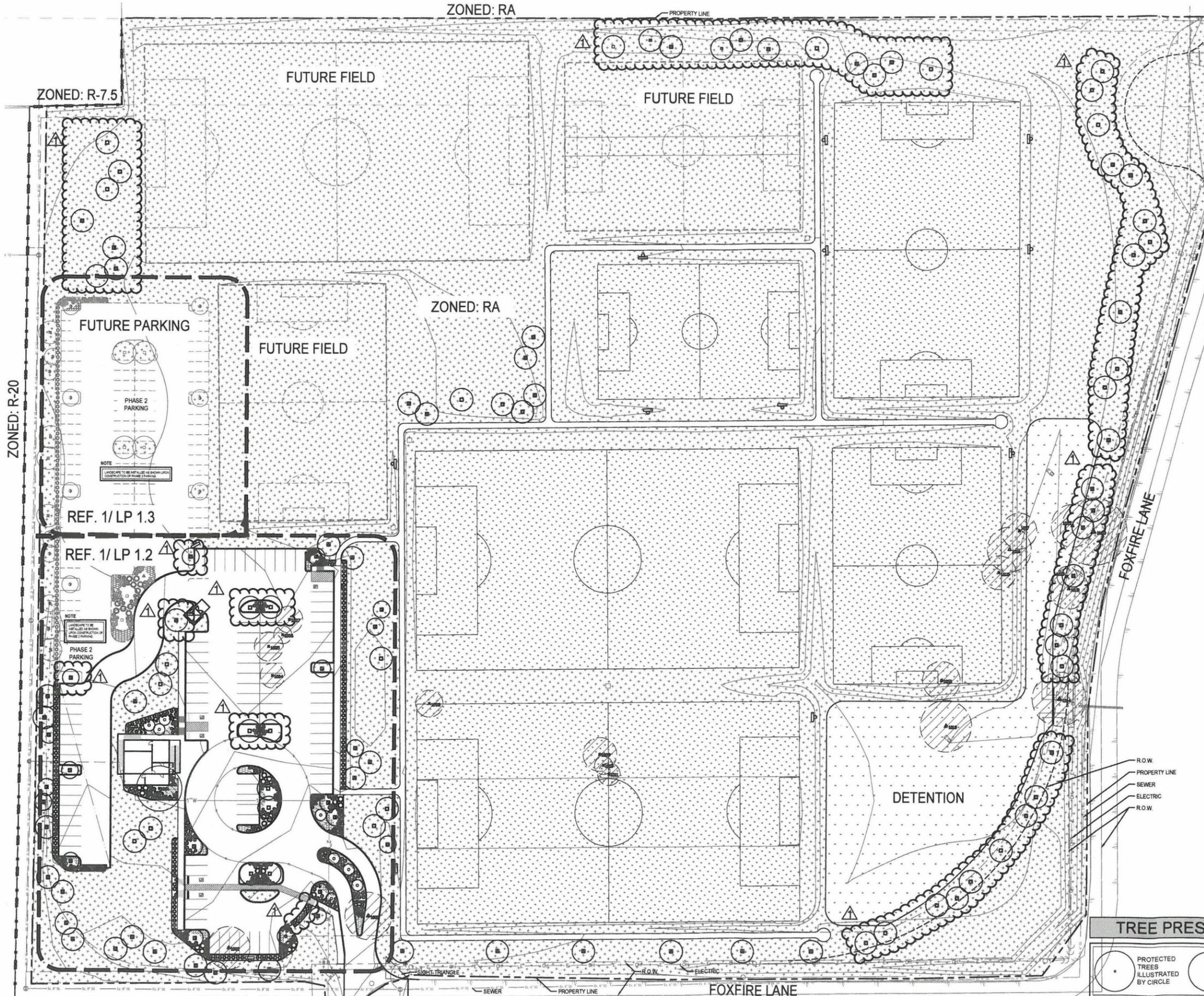
CASE NAME: GRAPEVINE SOCCER COMPLEX
CASE NUMBER: CU18-21
LOCATION: 3420 FOXFIRE LANE

MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION

CHAIRMAN _____
DATE: _____
SHEET: _____ OF _____

APPROVAL DOES NOT AUTHORIZE ANY WORK
IN CONFLICT WITH ANY CODES OR
ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES



TURF LEGEND

- TURF INSTALLATION BY OWNER, 229,908 SF
- TIFWAY 419 BERMUDA GRASS, 481,101 SF
- NATIVE AMERICAN SEED DRAINFIELD MIX, 40,420 SF

TREE LEGEND

- ELДАРICA PINE, 3" CAL
- CHINESE PISTACHE, 3" CAL
- LEYLAND CYPRESS, 3" CAL
- JAPANESE BLACK PINE, 3" CAL
- BUR OAK, 3" CAL
- PECAN, 3" CAL
- LIVE OAK, 3" CAL
- PURPLE PLUM, 8' HT

- R.O.W.
- PROPERTY LINE
- SEWER
- ELECTRIC
- R.O.W.

TREE PRESERVATION LEGEND

- PROTECTED TREES ILLUSTRATED BY CIRCLE
- REPLACEMENT TREES ILLUSTRATED BY SQUARE
- REMOVED TREES ILLUSTRATED BY TRIANGLE

REVISIONS

NO.	DATE	DESCRIPTION
1	1.08.19	CITY COMMENTS

ISSUE SETS

NO.	DATE	DESCRIPTION
1	1.08.19	CITY COMMENTS

SHEET INFORMATION

PROJECT NO.
18056

DATE ISSUED
JANUARY 09, 2019

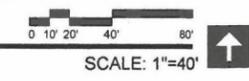
SHEET NAME

LANDSCAPE PLANTING PLAN

SHEET NUMBER

LP 1.1

1 PLANTING PLAN
PLAN





201 GROVETON | SATX 78210
210.314.5582 | MPSTUD.IO



01-09-2018
PROJECT

GRAPEVINE
SOCCER COMPLEX

PROJECT ADDRESS
3420 FOXFIRE LANE
GRAPEVINE, TX 76092

OWNER'S REPRESENTATIVE
PEDRO AYALA
307 SOUTH MAIN STREET
DONNA, TX 78537

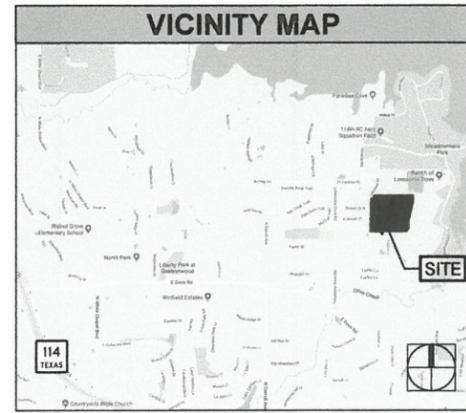
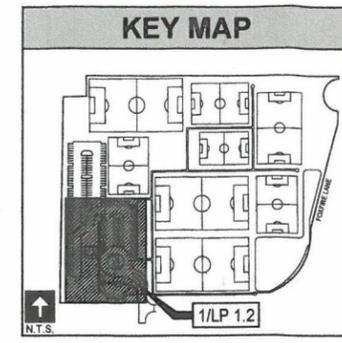
CASE NAME: GRAPEVINE SOCCER COMPLEX
CASE NUMBER: CU18-21
LOCATION: 3420 FOXFIRE LANE

MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION

CHAIRMAN _____
DATE: _____
SHEET: _____ OF _____

APPROVAL DOES NOT AUTHORIZE ANY WORK
IN CONFLICT WITH ANY CODES OR
ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES



PLANT LEGEND

- BUTTONBUSH
- LOROPETALUM
- LINDHEIMER'S MUHLY
- AZALEA 'ALLURE'
- PITTOSPORUM
- MEALY BLUE SAGE
- PEACH DRIFT ROSE
- LYRE LEAVED SAGE
- CEDAR SEDEGE
- TEXAS FROGFRUIT

TURF LEGEND

- TURF INSTALLATION BY OWNER, 229,908 SF
- TIFWAY 419 BERMUDA GRASS, 481,101 SF
- NATIVE AMERICAN SEED DRAINFIELD MIX, 40,420 SF

TREE LEGEND

- ELДАРICA PINE, 3" CAL
- CHINESE PISTACHE, 3" CAL
- LEYLAND CYPRESS, 3" CAL
- JAPANESE BLACK PINE, 3" CAL
- BUR OAK, 3" CAL
- PECAN, 3" CAL
- LIVE OAK, 3" CAL
- PURPLE PLUM, 8" HT

TREE PRESERVATION - SEC. 52

LOT INFORMATION

SITE AREA =	18.929 ACRES (GROSS)
EXISTING TREES TO REMAIN = 1 TREE	20 CAL. IN
EXISTING TREES TO BE REMOVED = 83 TREES	330 CAL. IN
REPLACEMENT TREES REQUIRED: 1 TREE @ 3 CAL. IN	110 TREES

LANDSCAPE REGULATIONS - SEC. 53

H. OFF-STREET PARKING & VEHICULAR USE

PHASE 1

1. GROSS PARKING LOT AREA =	11,399 SF
PARKING LANDSCAPE AREA REQUIRED: 10% GROSS PARKING =	1,139.9 SF
LANDSCAPE AREA PROVIDED =	9,255 SF
MINIMUM TREES REQUIRED: 1 TREE / 400 SF =	3 TREES
TREES PROVIDED =	20 TREES
2. PERIMETER LANDSCAPE TREES REQUIRED: 1 TREE / 50 LF =	15 TREES
PERIMETER LANDSCAPE TREES PROVIDED =	16 TREES

I. NON-VEHICULAR OPEN SPACE

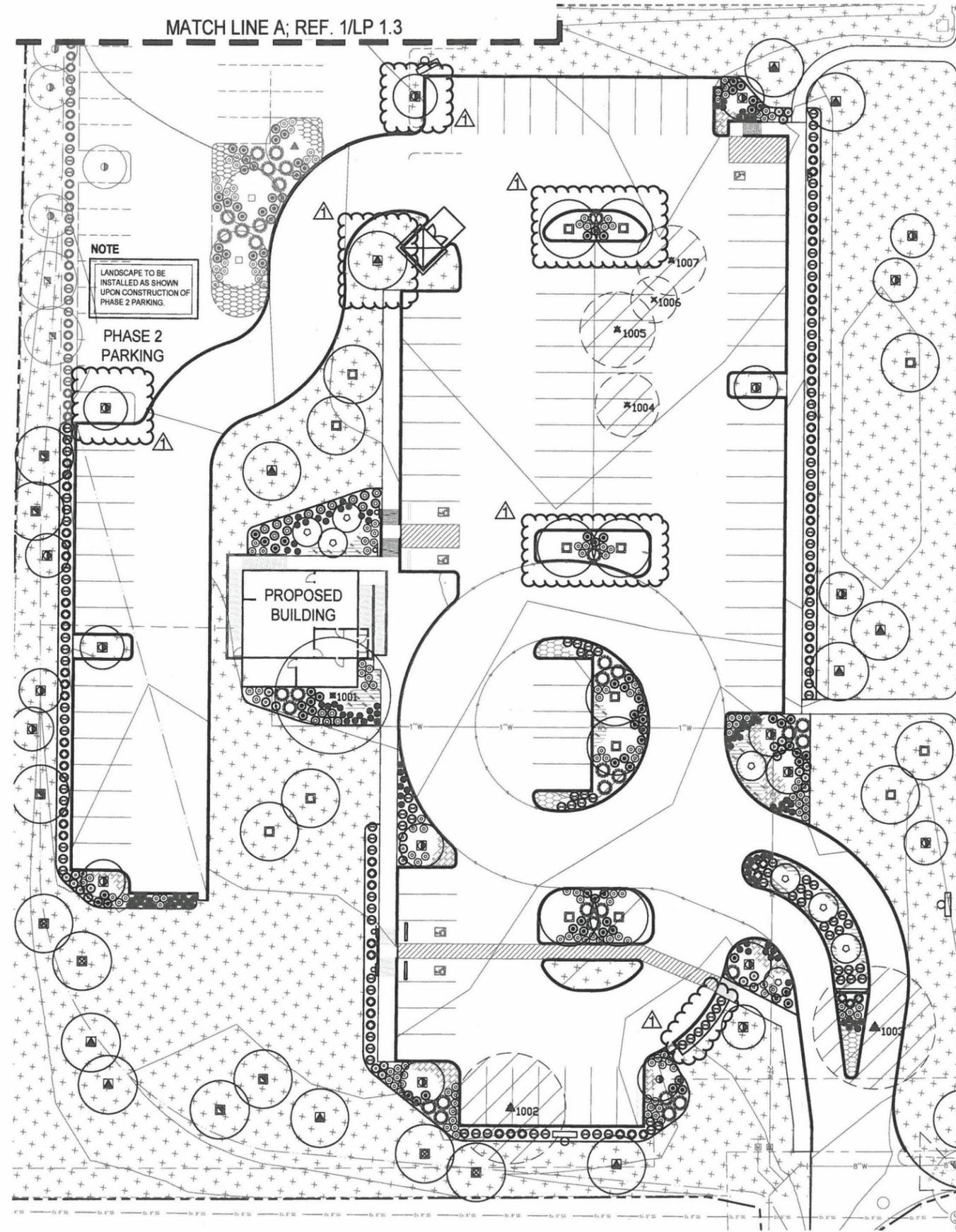
3. OPEN SPACE REQUIRED: 20% SITE AREA =	164,908 SF
OPEN SPACE PROVIDED =	258,561 SF
4. OPEN SPACE TREES REQUIRED: 1 TREE / 2500 SF =	65
OPEN SPACE TREES PROVIDED =	78

TOTAL TREES PROVIDED

EXISTING TREE	1 TREES
ORNAMENTAL TREES	8 TREES
SHADE TREES	114 TREES

TREE PRESERVATION LEGEND

- PROTECTED TREES ILLUSTRATED BY CIRCLE
- REPLACEMENT TREES ILLUSTRATED BY SQUARE
- REMOVED TREES ILLUSTRATED BY TRIANGLE



NOTE
LANDSCAPE TO BE INSTALLED AS SHOWN UPON CONSTRUCTION OF PHASE 2 PARKING.

PHASE 2 PARKING

PROPOSED BUILDING

1 PLANTING PLAN
PLAN

SCALE: 1"=20'

REVISIONS

NO.	DATE	DESCRIPTION

ISSUE SETS

NO.	DATE	DESCRIPTION
1	1.08.19	CITY COMMENTS

SHEET INFORMATION

PROJECT NO. 18056
DATE ISSUED JANUARY 09, 2019
SHEET NAME **LANDSCAPE PLANTING PLAN**
SHEET NUMBER

LP 1.2



201 GROVETON | SATX 78210
210.314.5582 | MPSTUD.IO

STATUS



01-09-2018

PROJECT

GRAPEVINE
SOCCER COMPLEX

PROJECT ADDRESS

3420 FOXFIRE LANE
GRAPEVINE, TX 76092

OWNER'S REPRESENTATIVE

PEDRO AYALA
307 SOUTH MAIN STREET
DONNA, TX 78537

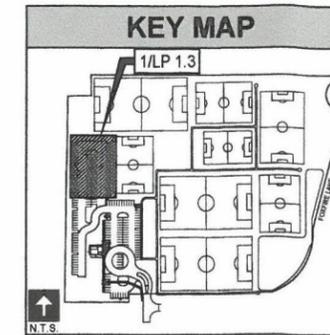
CASE NAME: GRAPEVINE SOCCER COMPLEX
CASE NUMBER: CU18-21
LOCATION: 3420 FOXFIRE LANE

MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION

CHAIRMAN _____
DATE: _____
SHEET: _____ OF _____

APPROVAL DOES NOT AUTHORIZE ANY WORK
IN CONFLICT WITH ANY CODES OR
ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES



PLANT LEGEND

- BUTTONBUSH
- LOROPETALUM
- LINDHEIMER'S MUHLY
- AZALEA 'ALLURE'
- PITTOSPORUM
- MEALY BLUE SAGE
- PEACH DRIFT ROSE
- LYRE LEAVED SAGE
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TURF LEGEND

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- BUR OAK, 3" CAL
- PECAN, 3" CAL
- LIVE OAK, 3" CAL
- PURPLE PLUM, 8' HT

PLANT LIST - PHASE 2 PARKING

TREES				
CALLOUT	QUANTITY	COMMON NAME BOTANICAL NAME	SIZE	REMARKS
▲	1	ELДАРICA PINE <i>PINUS ELДАРICA</i>	3" CAL; SINGLE TRUNK, MIN 7' HT, MIN 4' SPRD.	SINGLE TRUNK B&B; STRAIGHT TRUNK WITH FULL AND UNIFORM CANOPY; PARK GRADE NOT ACCEPTABLE
□	6	CHINESE PISTACHE <i>PISTACIA CHINENSIS</i>	3" CAL; MULTI-TRUNK, MIN 7' HT, MIN 4' SPRD.	MULTI TRUNK B&B; STRAIGHT TRUNK WITH FULL AND UNIFORM CANOPY; PARK GRADE NOT ACCEPTABLE
■	3	BUR OAK <i>QUERCUS MACROCARPA</i>	3" CAL; MIN 7' HT; MIN 4' SPRD.	SINGLE TRUNK B&B; STRAIGHT TRUNK WITH FULL AND UNIFORM CANOPY; PARK GRADE NOT ACCEPTABLE
▣	3	PECAN <i>CARYA ILLINOINENSIS</i>	3" CAL; MULTI-TRUNK, MIN 7' HT; MIN 4' SPRD.	SINGLE TRUNK B&B; STRAIGHT TRUNK WITH FULL AND UNIFORM CANOPY; PARK GRADE NOT ACCEPTABLE
○	7	LIVE OAK <i>QUERCUS VIRGINIANA</i>	3" CAL; MULTI-TRUNK, MIN 7' HT; MIN 4' SPRD.	SINGLE TRUNK B&B; STRAIGHT TRUNK WITH FULL AND UNIFORM CANOPY; PARK GRADE NOT ACCEPTABLE

SHRUBS

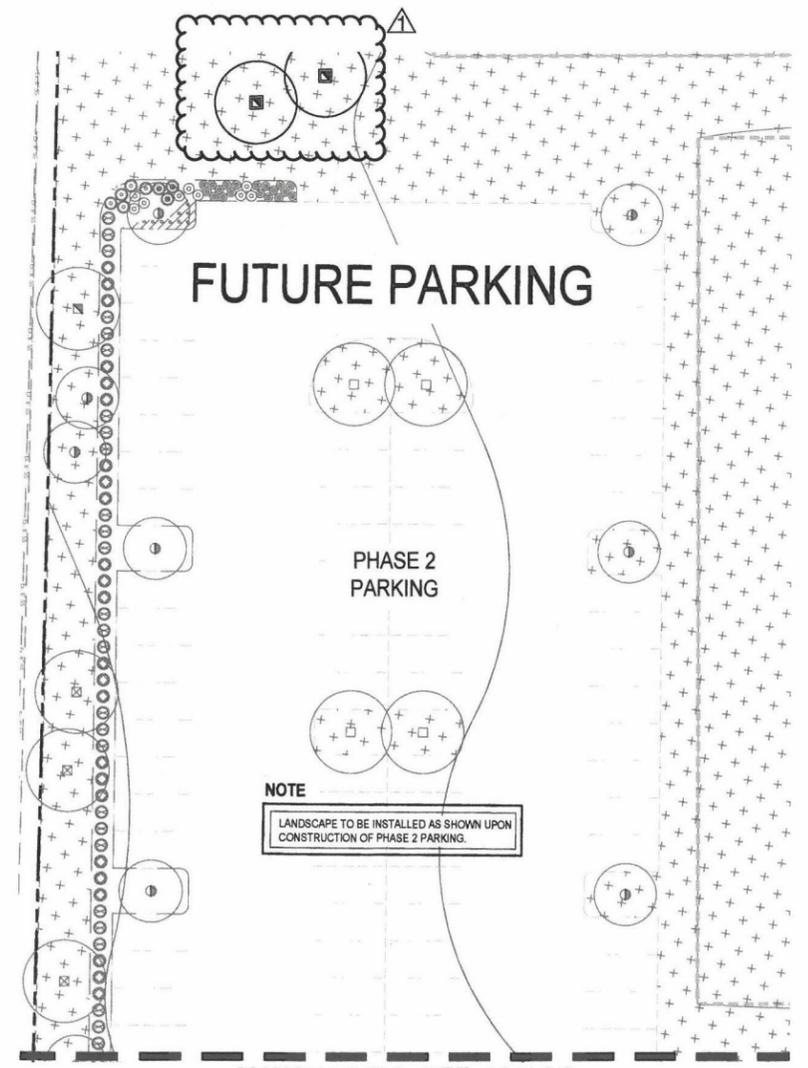
CALLOUT	QUANTITY	COMMON NAME BOTANICAL NAME	SIZE	REMARKS
	10	BUTTONBUSH <i>CEPHALANTHUS OCCIDENTALIS</i>	3 GAL.; 30" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 48" O.C.
	42	LINDHEIMER'S MUHLY <i>MUHLENBERGIA LINDHEIMERI</i>	3 GAL.; 30" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 36" O.C.
	30	ALLURE AZALEA <i>RHODODENDRON 'AZALEA'</i>	3 GAL.; 30" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 24" O.C.
	33	MEALY BLUE SAGE <i>SALVIA FARINACEA</i>	3 GAL.; 30" HT. 12" SPRD.	DARK GREEN; FULL; PLANT 24" O.C.
	42	LOROPETALUM <i>LOROPETALUM CHINENSE</i>	3 GAL.; 30" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 36" O.C.

GROUND COVER

CALLOUT	QUANTITY	COMMON NAME BOTANICAL NAME	SIZE	REMARKS
	157	CEDAR SEDGE <i>CAREX PLANOSTACHYS</i>	1 GAL.; 6" HT. 12" SPRD.	DARK GREEN; FULL; PLANT 15" O.C.

TREE PRESERVATION LEGEND

- PROTECTED TREES ILLUSTRATED BY CIRCLE
- REPLACEMENT TREES ILLUSTRATED BY SQUARE
- REMOVED TREES ILLUSTRATED BY TRIANGLE



MATCH LINE A; REF. 1/LP 1.2

REVISIONS

NO.	DATE	DESCRIPTION

ISSUE SETS

NO.	DATE	DESCRIPTION
1	1.09.19	CITY COMMENTS

SHEET INFORMATION

PROJECT NO. 18056
DATE ISSUED JANUARY 09, 2019
SHEET NAME
LANDSCAPE PLANTING PLAN
SHEET NUMBER



201 GROVETON | SATX 78210
210.314.5582 | MPSTUD.IO

STATUS



01-09-2018
PROJECT

GRAPEVINE
SOCCER COMPLEX

PROJECT ADDRESS
3420 FOXFIRE LANE
GRAPEVINE, TX 76092
OWNER'S REPRESENTATIVE
PEDRO AYALA
307 SOUTH MAIN STREET
DONNA, TX 78537

CASE NAME: GRAPEVINE SOCCER COMPLEX
CASE NUMBER: CU18-21
LOCATION: 3420 FOXFIRE LANE

MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION
CHAIRMAN _____
DATE: _____
SHEET: _____ OF _____
APPROVAL DOES NOT AUTHORIZE ANY WORK
IN CONFLICT WITH ANY CODES OR
ORDINANCES.
DEPARTMENT OF DEVELOPMENT SERVICES

EXISTING TREE NOTES

- ALL THE TREES WITH A DIAMETER GREATER THAN 3 INCHES AFFECTED BY CONSTRUCTION SHALL HAVE THE LIMBS AND ROOTS TRIMMED AND PRUNED ACCORDING TO TREE PRUNING, SOIL AMENDING AND FERTILIZATION, UNLESS SPECIFIED TREES SHALL RECEIVE PROTECTION AS SHOWN ON TREE PROTECTION DETAIL ON THIS SHEET.
- ALL TREES SHALL REMAIN UNLESS NOTED ON THE PLANS.
- NO SITE PREPARATION WORK SHALL BEGIN IN AREAS WHERE TREE PRESERVATION AND TREATMENT MEASURES HAVE NOT BEEN COMPLETED AND APPROVED BY CITY INSPECTOR.
- TREE PROTECTION FENCING SHALL BE REQUIRED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION.
- THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN THREE INCHES IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN THE VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR.
- THE ROOT PROTECTION ZONE IS THAT AREA SURROUNDING A TREE, AS MEASURED BY A RADIUS FROM THE TREE TRUNK, IN WHICH NO EQUIPMENT, VEHICLES OR MATERIALS MAY OPERATE OR BE STORED. THE REQUIRED RADIUS LENGTH IS 1 FOOT PER DIAMETER INCH OF THE TREE. FOR EXAMPLE, A 10-INCH DIAMETER TREE WOULD HAVE A 5-FOOT RADIUS ROOT PROTECTION ZONE AROUND THE TREE. ROOTS OR BRANCHES THAT ARE IN CONFLICT WITH THE CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. LIVE OAK WOUNDS SHALL BE PAINTED OVER, WITHIN 20 MINUTES TO PREVENT OAK WILT.
- ACCESS TO FENCED AREAS WILL BE PERMITTED ONLY WITH THE APPROVAL OF THE ENGINEER OR CITY INSPECTOR.
- GRADING, IF REQUIRED, SHALL BE LIMITED TO A 3 INCH CUT OR FILL WITHIN THE FENCED ROOT ZONE AREAS.
- TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS SHALL BE REMOVED BY HAND AS DIRECTED BY THE PROJECT MANAGER OR CITY INSPECTOR.
- TREES DAMAGED OR LOST DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED TO THE ENGINEER'S SATISFACTION.
- EXPOSED ROOTS SHALL BE COVERED AT THE END OF EACH DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST PRIOR TO ITS REMOVAL.

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.

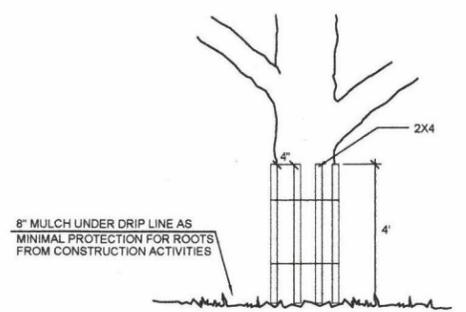


TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



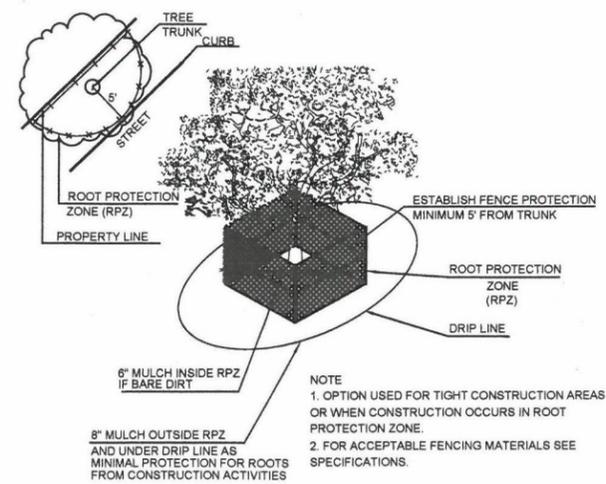
OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3' OR ROOTS CAN BE BENT BACK.

5 BORING THROUGH TREE ROOT (RPZ) SECTION
NOT TO SCALE



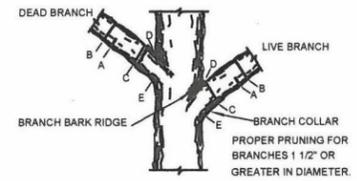
NOTE: WRAP TREE TRUNK WITH 2"x4" STUDS AND ROPE OR BAND IN PLACE AS NEEDED TO PROTECT TREES IN WORK AREAS.

4 LEVEL II B TREE PROTECTION ELEVATION
NOT TO SCALE



NOTE:
1. OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
2. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

3 LEVEL II A TREE PROTECTION ELEVATION
NOT TO SCALE

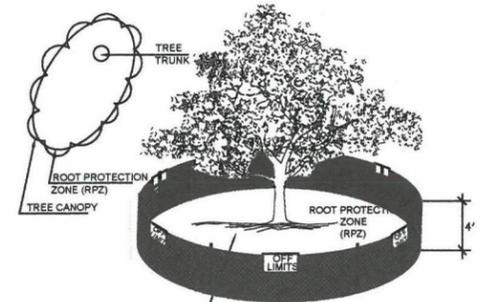


NOTE: DO NOT CUT FROM D to E.

- FIRST CUT - TO PREVENT THE BARK FROM BEING PEELED WHEN THE BRANCH FALLS.
- SECOND CUT - TO REDUCE THE WEIGHT OF BRANCH.
- FINAL CUT - ALLOW FOR HEALING COLLAR BUT NO STUBS
- BRANCH RIDGES - INDENT PROPERLY BRANCH RIDGES WHICH ARE SITE FOR DECAY.

FOR OAKS ONLY: PAINT ALL WOUNDS OR CUTS WITH PRUNING PAINT WITHIN 20 MIN TO PREVENT THE SPREAD OF OAK WILT.

2 TREE BRANCH PRUNING ELEVATION
NOT TO SCALE



NOTE:
1. THE FENCING SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND LIMITED TO PROJECT BOUNDARY.
2. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

1 EXISTING TREE PROTECTION ELEVATION - PLAN - 3D VIEW
NOT TO SCALE

TREE INVENTORY TEMPLATE			
Tag #	Species	Protected Tree Species 3.0"+	
		Removed*	Preserved
1001	DOUBLE OAK		20
1002	OAK	19	
1003	DOUBLE OAK	21	
1004	OAK	11	
1005	OAK	13	
1006	OAK	8	
1007	OAK	12	
1008	BUR OAK	12	
1009	PECAN	15	
1010	ELM	8	
1011	ELM	20	
1012	OAK	17	
1013	DOUBLE OAK	23	
1014	OAK	24	
1015	OAK	15	
1016	OAK	20	
1017	OAK	16	
1018	OAK	18	
1019	OAK	9	
1020	DOUBLE OAK	30	
1021	DOUBLE OAK	19	
Sub. Tot. Inches=		330	20
Total inches by category=		350	
Mitigation required =		330	

Mitigation 1:1 for protected trees with 3" caliper and greater
*Existing trees to be removed due to location within proposed site function, grading, and sitework

REVISIONS

NO.	DATE	DESCRIPTION
1	1.09.19	CITY COMMENTS

ISSUE SETS

NO.	DATE	DESCRIPTION
1	1.09.19	CITY COMMENTS

SHEET INFORMATION

PROJECT NO. 18056
DATE ISSUED JANUARY 09, 2019
SHEET NAME LANDSCAPE TREE PRESERVATION DETAIL
SHEET NUMBER

MP STUDIO

201 GROVETON | SATX 78210
210.314.5582 | MPSTUDIO.IO

STATUS

01-09-2018

CASE NAME: GRAPEVINE SOCCER COMPLEX
CASE NUMBER: CU18-21
LOCATION: 3420 FOXFIRE LANE

MAYOR _____ SECRETARY _____
DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: _____
SHEET: _____ OF _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

PLANT LIST

TREES

CALLOUT	QUANTITY	COMMON NAME BOTANICAL NAME	SIZE	REMARKS
▲	16	ELDARICA PINE PINUS ELDARICA	3" CAL; SINGLE TRUNK, MIN 7' HT; MIN 4' SPRD.	SINGLE TRUNK B&B; STRAIGHT TRUNK WITH FULL AND UNIFORM CANOPY; PARK GRADE NOT ACCEPTABLE
□	28	CHINESE PISTACHE PISTACIA CHINENSIS	3" CAL; MULTI-TRUNK, MIN 7' HT; MIN 4' SPRD.	MULTI TRUNK B&B; STRAIGHT TRUNK WITH FULL AND UNIFORM CANOPY; PARK GRADE NOT ACCEPTABLE
◇	18	LEYLAND CYPRESS CUPRESSUS X LEYLANDII	3" CAL; MIN 7' HT; MIN 4' SPRD.	SINGLE TRUNK B&B; STRAIGHT TRUNK WITH FULL AND UNIFORM CANOPY; PARK GRADE NOT ACCEPTABLE
●	10	JAPANESE BLACK PINE PINUS THUNBERGII	3" CAL; MIN 7' HT; MIN 4' SPRD.	SINGLE TRUNK B&B; STRAIGHT TRUNK WITH FULL AND UNIFORM CANOPY; PARK GRADE NOT ACCEPTABLE
■	11	BUR OAK QUERCUS MACROCARPA	3" CAL; MIN 7' HT; MIN 4' SPRD.	SINGLE TRUNK B&B; STRAIGHT TRUNK WITH FULL AND UNIFORM CANOPY; PARK GRADE NOT ACCEPTABLE
⊠	13	PECAN CARYA ILLINOINENSIS	3" CAL; MULTI-TRUNK, MIN 7' HT; MIN 4' SPRD.	SINGLE TRUNK B&B; STRAIGHT TRUNK WITH FULL AND UNIFORM CANOPY; PARK GRADE NOT ACCEPTABLE
○	20	LIVE OAK QUERCUS VIRGINIANA	3" CAL; MULTI-TRUNK, MIN 7' HT; MIN 4' SPRD.	SINGLE TRUNK B&B; STRAIGHT TRUNK WITH FULL AND UNIFORM CANOPY; PARK GRADE NOT ACCEPTABLE
○	8	PURPLE PLUM PRUNUS MEXICANA	7' HT. MIN. 4' SPRD.	MULTI TRUNK, 3-5 TRUNKS, 1-1/2" MIN CANE CAL.; FULL CANOPY; CONTAINER GROWN SPECIMEN

SHRUBS

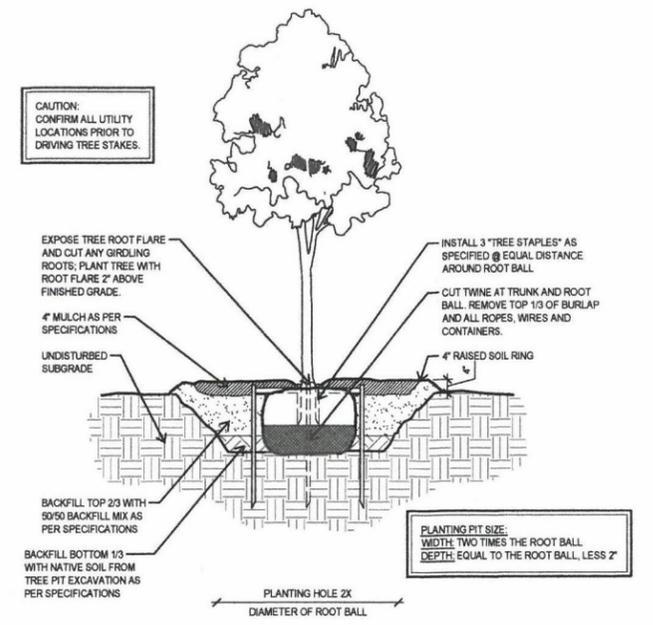
CALLOUT	QUANTITY	COMMON NAME BOTANICAL NAME	SIZE	REMARKS
⊙	24	BUTTONBUSH CEPHALANTHUS OCCIDENTALIS	3 GAL.; 30" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 48" O.C.
⊙	115	LINDHEIMER'S MUHLY MUHLENBERGIA LINDHEIMERI	3 GAL.; 30" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 36" O.C.
⊙	64	ALLURE AZALEA RHODODENDRON 'AZALEA'	3 GAL.; 30" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 24" O.C.
⊙	29	PITTOSPORUM PITTOSPORUM TOBIRA	3 GAL.; 30" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 24" O.C.
⊙	135	MEALY BLUE SAGE SALVIA FARINACEA	3 GAL.; 30" HT. 12" SPRD.	DARK GREEN; FULL; PLANT 24" O.C.
⊙	104	PEACH DRIFT ROSE ROSA 'MEIGGILI'	3 GAL.; 30" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 36" O.C.
⊙	62	LOROPETALUM LOROPETALUM CHINENSE	3 GAL.; 30" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 36" O.C.

LAWN

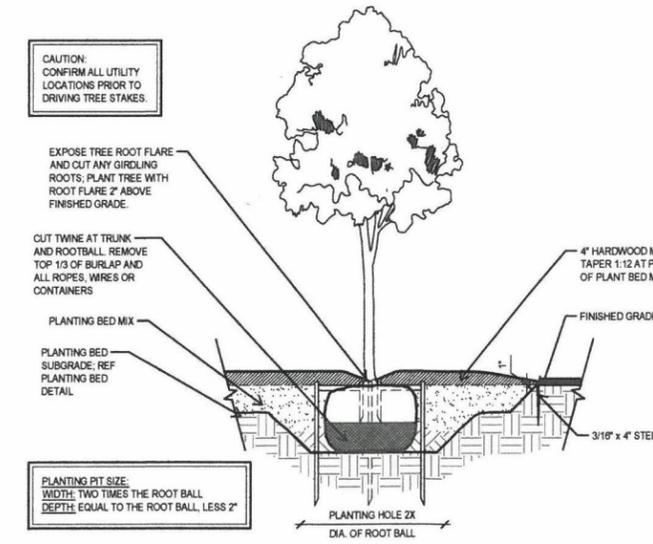
CALLOUT	QUANTITY	COMMON NAME BOTANICAL NAME	SIZE	REMARKS
□	FIELD VERIFY	TO BE DECIDED BY OWNER	N/A	N/A
□	FIELD VERIFY	TIFWAY 419 BERMUDA CYWODON DACTYLON	HYDROMULCH	SEEDS 2 LBS./1,000 SQ. FT. CONTRACTOR TO FIELD VERIFY QUANTITY OF LAWN REQUIRED.
□	FIELD VERIFY	NATIVE AMERICAN SEED DRAINFIELD MIX	HYDROSEED	SEEDS 2 LBS./1,000 SQ. FT. CONTRACTOR TO FIELD VERIFY QUANTITY OF LAWN REQUIRED.

GROUND COVER

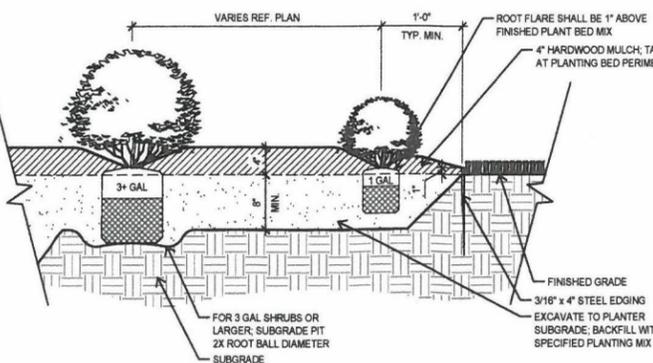
CALLOUT	QUANTITY	COMMON NAME BOTANICAL NAME	SIZE	REMARKS
■	240	LYRE-LEAVED SAGE SALVIA LYRATA	1 GAL.; 1'-2" HT. 12" SPRD.	DARK GREEN; FULL; PLANT 18" O.C.
■	328	TEXAS FROGFRUIT PHYLA NODIFLORA	1 GAL.; 8" HT. 12" SPRD.	DARK GREEN; FULL; PLANT 15" O.C.
■	150	CEDAR SEDGE CAREX PLANOSTACHYS	1 GAL.; 6" HT. 12" SPRD.	DARK GREEN; FULL; PLANT 15" O.C.



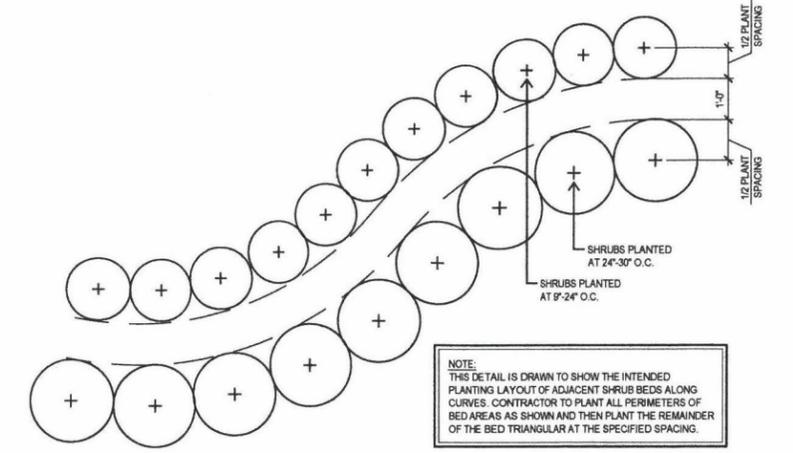
1 SECTION SCALE: 1/2"=1'-0"



2 SECTION SCALE: 1/2"=1'-0"



3 SECTION SCALE: 1"=1'-0"



4 PLAN SCALE: 1"=1'-0"

GENERAL LANDSCAPE STANDARDS - SEC. 53

THE FOLLOWING CRITERIA AND STANDARDS SHALL APPLY TO LANDSCAPE MATERIALS AND INSTALLATION.

- QUALITY**
PLANT MATERIALS USED IN CONFORMANCE WITH THE PROVISIONS OF THIS ORDINANCE SHALL CONFORM TO THE STANDARDS OF THE AMERICAN STANDARD FOR NURSERY STOCK, OR EQUAL THERETO. GRASS SEED, SOIL AND OTHER MATERIAL SHALL BE CLEAN AND REASONABLY FREE OF WEEDS AND NOXIOUS PESTS AND INSECTS.
- TREES**
TREES REFERRED TO IN THIS SECTION SHALL BE OF A SPECIES COMMON TO THIS AREA OF TEXAS AND SHALL HAVE AN AVERAGE SPREAD OF CROWN GREATER THAN 15 FEET AT MATURITY. TREES HAVING A LESSER AVERAGE MATURE CROWN OF 15 FEET MAY BE SUBSTITUTED BY GROUPING THE SAME SO AS TO CREATE THE EQUIVALENT OF A 15 FEET CROWN SPREAD. TREES SHALL BE OF A MINIMUM OF THREE CALIPER INCHES WHEN MEASURED SIX INCHES ABOVE GROUND, AND SHALL BE SELECTED FROM THE LIST OF APPROVED TREES, MAINTAINED BY THE DIRECTOR OF DEVELOPMENT SERVICES AS APPROVED BY THE PLANNING AND ZONING COMMISSION.
- SHRUBS AND HEDGES**
SHRUBS SHALL BE A MINIMUM OF TWO FEET IN HEIGHT WHEN MEASURED IMMEDIATELY AFTER PLANTING. HEDGES, WHERE INSTALLED, SHALL BE PLANTED AND MAINTAINED SO AS TO FORM A CONTINUOUS UNBROKEN, SOLID, VISUAL SCREEN WHICH WILL BE THREE FEET HIGH WITHIN ONE YEAR AFTER TIME OF PLANTING.
- VINES**
VINES SHALL BE A MINIMUM OF TWO FEET IN HEIGHT IMMEDIATELY AFTER PLANTING AND MAY BE USED IN CONJUNCTION WITH FENCES, SCREENS, OR WALLS TO MEET SCREENING REQUIREMENTS SPECIFIED.
- GROUND COVER**
GROUND COVERS USED IN LIEU OF GRASS IN WHOLE AND IN PART SHALL BE PLANTED IN SUCH A MANNER AS TO PRESENT A FINISHED APPEARANCE AND REASONABLE COMPLETE COVERAGE WITHIN ONE YEAR OF PLANTING.
- LAWN GRASS**
GRASS AREAS MAY BE SOODED, PLUGGED, SPRIGGED OR SEEDED EXCEPT THAT SOLID SOIL SHALL BE USED IN SWALES, BERMS, OR OTHER AREAS SUBJECT TO EROSION.
- CREDIT FOR EXISTING TREES**
ANY TREES PRESERVED ON A SITE MEETING THE HEREIN SPECIFICATIONS SHALL BE CREDITED TOWARD MEETING THE REQUIREMENT OF ANY LANDSCAPE OF ANY LANDSCAPING PROVISION OF THIS SECTION. TREES OF EXCEPTIONAL QUALITY DUE TO SIZE, LARGE CANOPY COVER, TRUNK DIAMETER, RARENESS, AGE OR SPECIES MAY, AT THE DISCRETION OF THE DIRECTOR, BE CREDITED AS TWO TREES FOR THE HEREIN MINIMUM REQUIREMENTS.

REVISIONS

NO.	DATE	DESCRIPTION

ISSUE SETS

NO.	DATE	DESCRIPTION
1	1.08.19	CITY COMMENTS

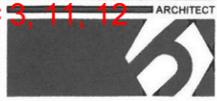
SHEET INFORMATION

PROJECT NO. 18056

DATE ISSUED JANUARY 09, 2019

SHEET NAME LANDSCAPE PLANTING DETAILS

SHEET NUMBER LP 2.2



Holtman Designworks Inc.
Firm No. HDW-437
403 US 377 S
Argyle, Texas 76226
Project Architect: Matthew R. Holtman
Phone: TX 76226
T: 940-240-0491

PROJECT OWNER
The PIT - Grapevine LLC.
7255 Meadow Hill Drive
Frisco, TX 75033
Project Contact: James Meese
T: 214-250-6816

MEP ENGINEER

STRUCTURAL ENGINEER

CIVIL ENGINEER

LEMC, LLC.
Firm No. F-11722
612 W Noans Ave
Mokiah, TX 75004
Project Contact: Hilario Ortiz, JR.
T: 956-687-LEMC

LANDSCAPE ARCHITECT

MP Studio
Firm No. 201
201 Groveton St
San Antonio, TX 78210
Project Contact: Mark Padilla, RLA
T: 210-314-6562

PROJECT

The PIT - Performance Indoor Training
3451 Foxfire Lane
Grapevine, Texas

CUP COMMENTS 1/10/19

SEAL

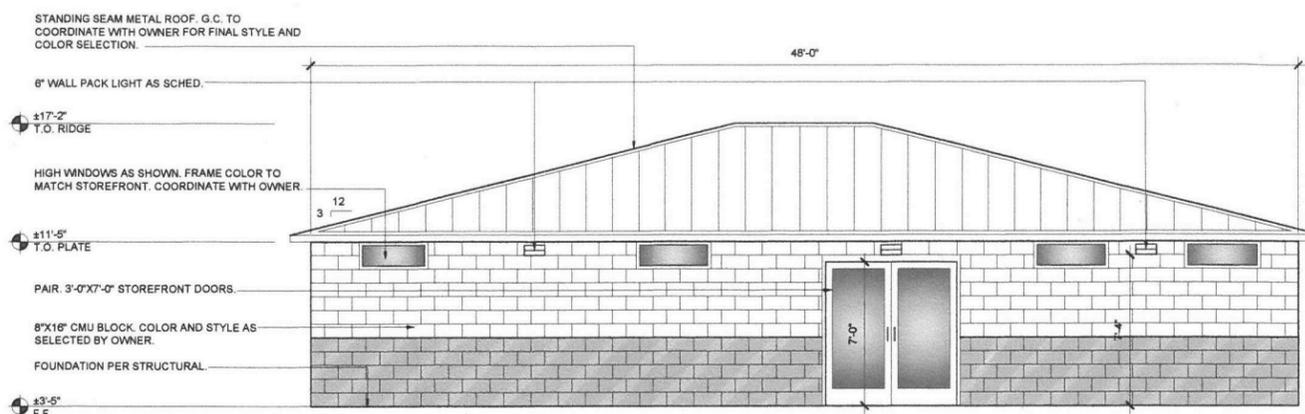
January 10th, 2019
REVISION STATUS

REVISION	DATE	DESCRIPTION
1	08/18	CUP SUBMISSION
2	09/18	CUP COMMENTS
3	11/01/18	CUP COMMENTS

PROJECT INFORMATION
DRAWN BY:
CHECKED BY:
PROJECT MANAGER:
DATE:

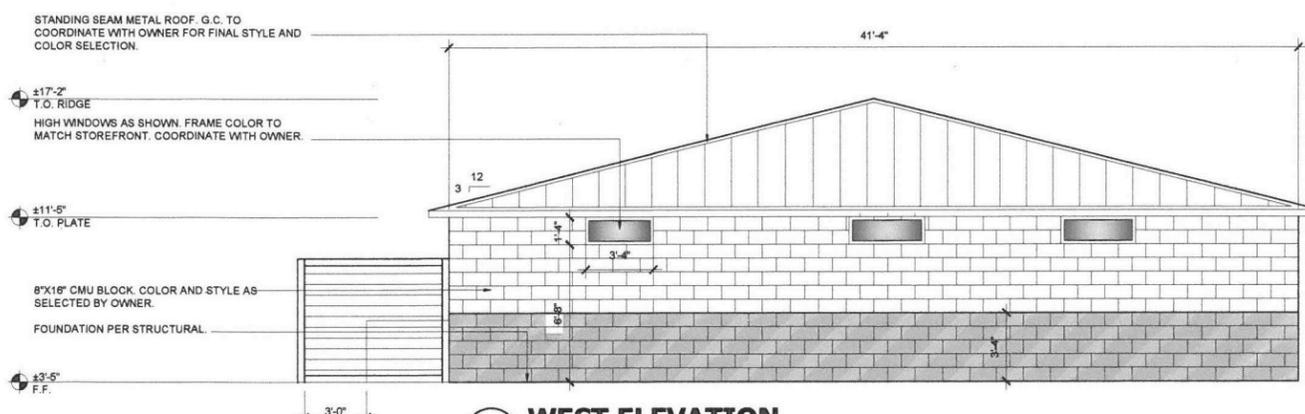
SHEET AND DESCRIPTION
ELEVATIONS

A2.1



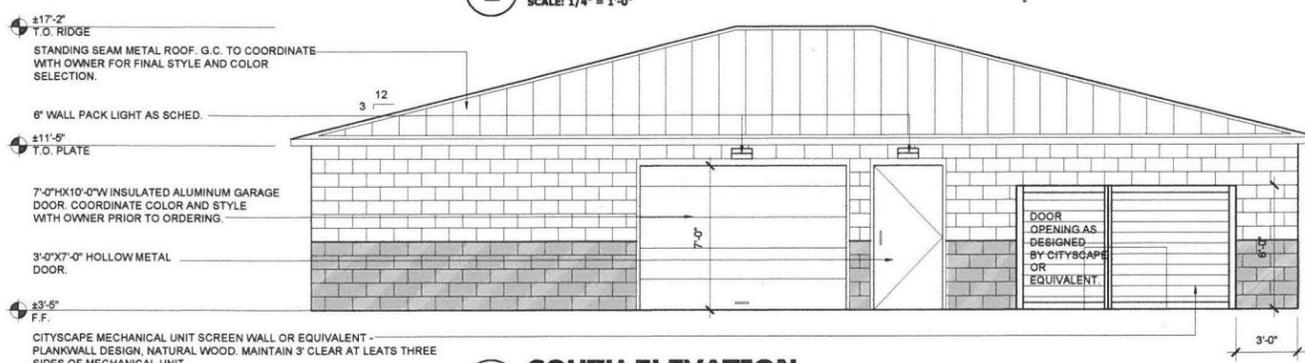
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

FINISH	MASONRY S.F. / % (EXCLUDING DOORS AND WINDOWS)
EXT. WALL	424 S.F.
CMU BLOCK	424 S.F. / 100%



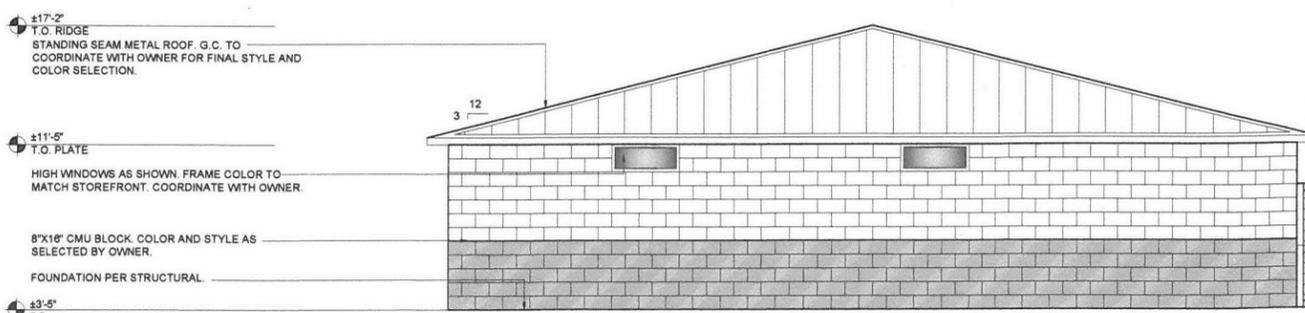
2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

FINISH	MASONRY S.F. / % (EXCLUDING DOORS AND WINDOWS)
EXT. WALL	404 S.F.
CMU BLOCK	404 S.F. / 100%



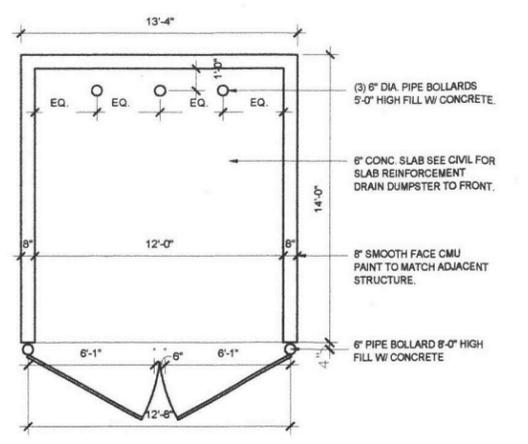
3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

FINISH	MASONRY S.F. / % (EXCLUDING DOORS AND WINDOWS)
EXT. WALL	386 S.F.
CMU BLOCK	386 S.F. / 100%

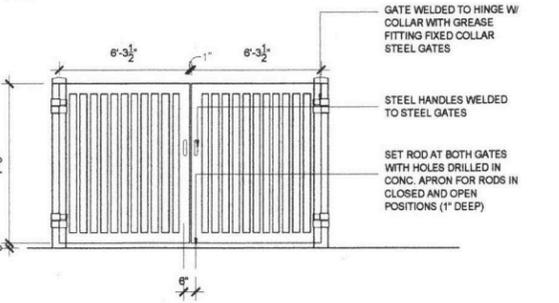


4 EAST ELEVATION
SCALE: 1/4" = 1'-0"

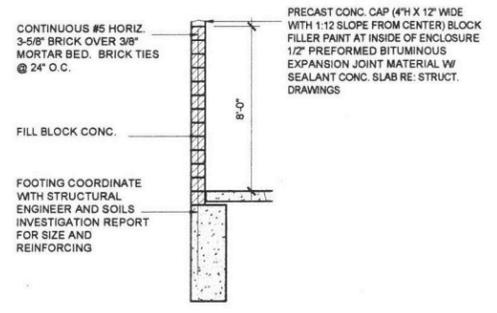
FINISH	MASONRY S.F. / % (EXCLUDING DOORS AND WINDOWS)
EXT. WALL	413 S.F.
CMU BLOCK	413 S.F. / 100%



5 DUMPSTER ENCLOSURE
SCALE: 1/4" = 1'-0"



6 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



7 SECTION @ DUMPSTER ENCL.
SCALE: 1/4" = 1'-0"

CASE NAME: GRAPEVINE SOCCER COMPLEX
CASE NUMBER: CU18-21
LOCATION: 3420 FOXFIRE LANE

MAYOR _____ SECRETARY _____
DATE _____
PLANNING AND ZONING COMMISSION

CHAIRMAN _____
DATE _____
SHEET: 1 OF 1

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.
DEPARTMENT OF DEVELOPMENT SERVICES

APPLICANT:
HOLTMAN DESIGNWORKS
CONTACT: MATTHEW HOLTMAN, RA
MHOLTMAN@HDW-TX.COM
403 U.S. HWY 377
ARGYLE, TX 76226
(940) 240-0491

ENGINEER:
LEFEVRE ENGINEERING, LLC.
CONTACT: HILARIO ORTIZ, JR. PM
HILARIO@LEFEVREGROUP.NET
612 NOLANA, SUITE 520
McALLEN, TX 78504
(956) 687-5263

OWNER/DEVELOPER:
MEZAS CAPITOL GROUP
CONTACT: SIMON BOZAS
2911 TURTLE CREEK BLVD., STE 1000
DALLAS, TX 75219
(972) 977-6888

CONDITIONAL USE REQUEST CU_18-21
IS A REQUEST TO ALLOW FOR THE DEVELOPMENT OF A
SOCCER FIELD COMPLEX ALONG WITH STADIUM LIGHTING.

CONTINUOUS LIGHT LEVEL

CASE NAME: GRAPEVINE SOCCER COMPLEX
CASE NUMBER: CU18-21
LOCATION: 3420 FOXFIRE LANE

MAYOR _____ SECRETARY _____
DATE: _____

PLANNING AND ZONING COMMISSION

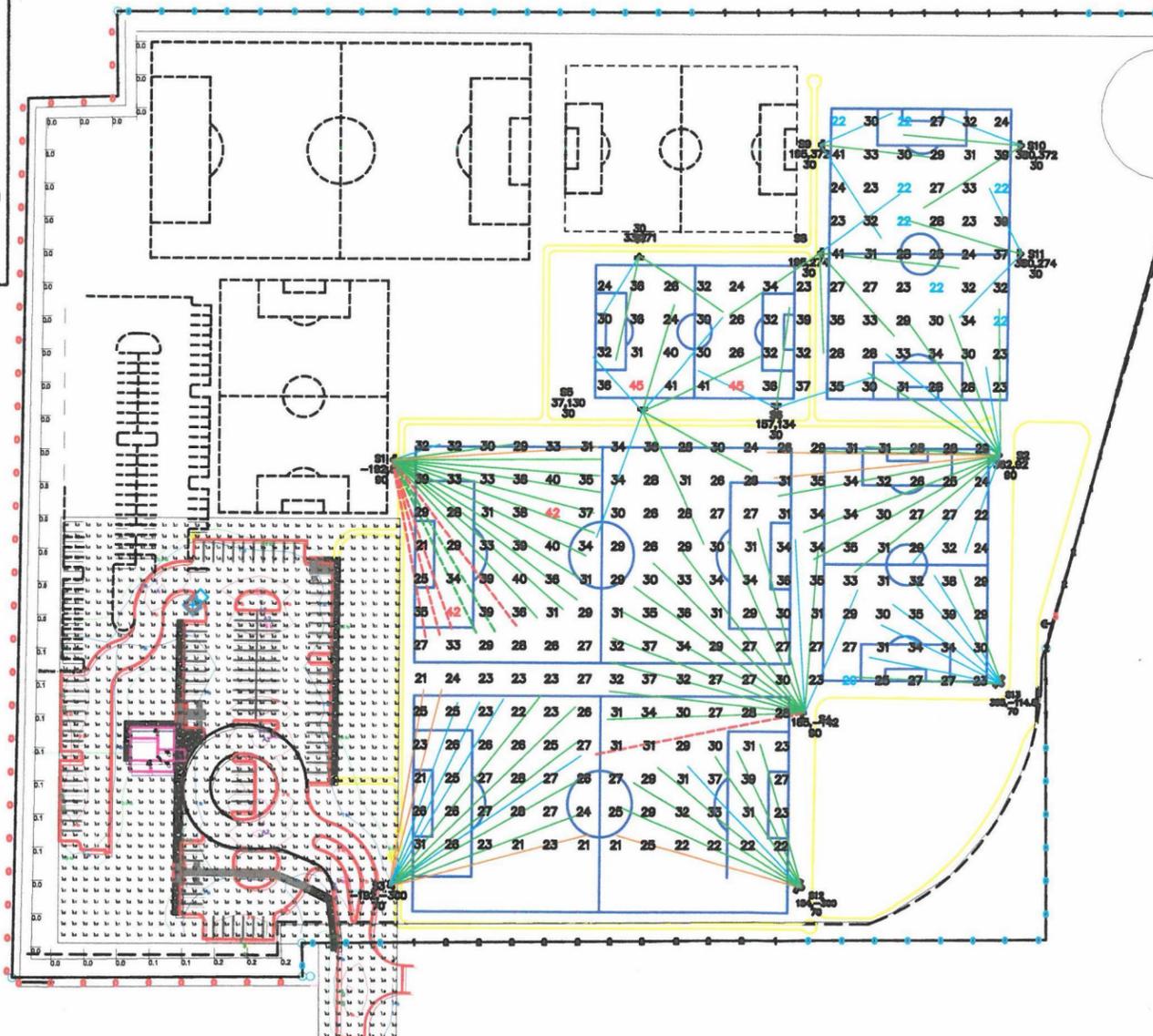
CHAIRMAN _____
DATE: _____

SHEET ___ OF ___

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

Pole	x-loc	y-loc	height	Narrow	Medium	Wide	NAR-V	MED-V	Total	kw
S1	-192	85	90ft	1	11	1	4	2	19	30.9
S10	380	372	30ft		2	1			3	4.9
S11	380	274	30ft		1	2			3	4.9
S12	184	-300	70ft	1	6	1			8	13.0
S13	365	-114.8	70ft		2	5			7	11.4
S2	362	92	90ft	2	10	4			16	26.0
S3	-192	-300	70ft	3	5	4			12	19.5
S4	185	-142	90ft		11	2	1		14	22.8
S5	37	130	30ft		4	3			7	11.4
S6	157	134	30ft		1	2			3	4.9
S7	33	271	30ft		2	1			3	4.9
S8	195	274	30ft		4	1			5	8.1
S9	195	372	30ft		1	2			3	4.9
Total				7	60	29	5	2	103	167.4



RESIDENTIAL PROPERTY
41 points
HORIZONTAL FOOTCANDLES
Average 0
Maximum 0
Minimum 0
Avg: Min N/A
Max: Min N/A
Coef Var 0.00

Soccer Area 2
82 points at z=3, sp 30ft by 30ft
HORIZONTAL FOOTCANDLES
Average 30
Maximum 45
Minimum 22
Avg: Min 1.38
Max: Min 2.05
Coef Var 0.19
UnifGrad 1.86

NON-RESIDENTIAL PROPERTY
84 points
HORIZONTAL FOOTCANDLES
Average 1
Maximum 3
Minimum 0
Avg: Min N/A
Max: Min N/A
Coef Var 1.19

Soccer Area 1
205 points at z=3, sp 30ft by 30ft
HORIZONTAL FOOTCANDLES
Average 30
Maximum 42
Minimum 20
Avg: Min 1.48
Max: Min 2.10
Coef Var 0.16
UnifGrad 1.50

MED-V
Universal Series V 1500W

NAR-V
Universal Series V 1500W

Narrow
Universal Series 1500W

Wide
Universal Series 1500W

Medium
Universal Series 1500W

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GUARANTEED FOR THE RATED LIFE OF THE LAMP WITHIN +/-10% OF LIGHT LEVEL INDICATED. BASED ON PROPER INSTALLATION, VOLTAGE +/-3%, POLE PLACEMENT AND MOUNTING HEIGHT WITHIN 3 FEET OF SPECIFIED LOCATION AND HEIGHT. POLES TO COMPLY WITH CURRENT AASHTO STANDARDS

INDIVIDUAL POINTS MAY VARY FROM PREDICTIONS. UNIFORMITIES GUARANTEED TO MEET THE IESNA'S RECOMMENDATIONS (UNLESS SHOWN HIGHER DUE TO DESIGN CRITERIA).

QUALITE SPORTS LIGHTING, LLC

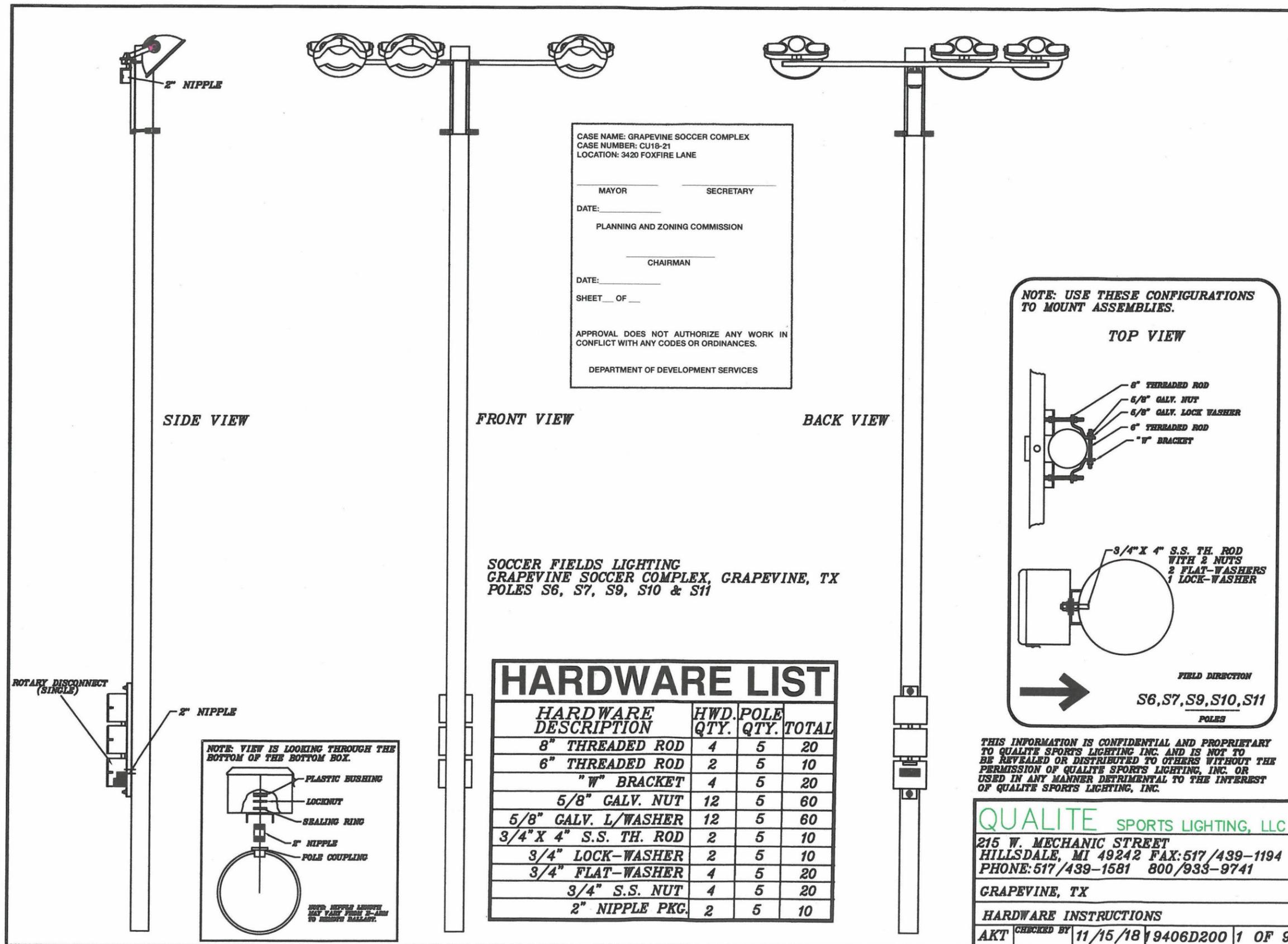
215 W. MECHANIC ST. HILLSDALE, MI 49242
PHONE: 517/439-1581
FAX: 517/439-1194
800/933-9741
WWW.QUALITE.COM

QL-19406D17-A

SOCCER FIELD LIGHTING

GRAPEVINE SOCCER COMPLEX, GRAPEVINE, TX

NP NTS 11-9-18 1 OF 1



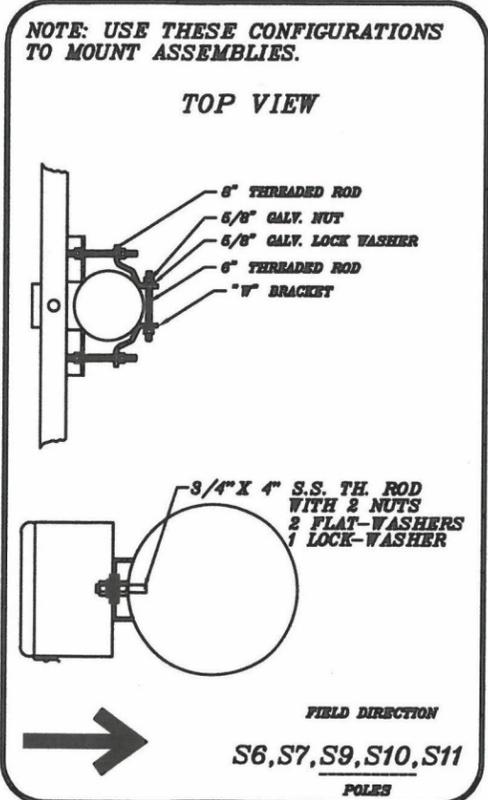
CASE NAME: GRAPEVINE SOCCER COMPLEX
CASE NUMBER: CU18-21
LOCATION: 3420 FOXFIRE LANE

MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION

CHAIRMAN _____
DATE: _____
SHEET ____ OF ____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN
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DEPARTMENT OF DEVELOPMENT SERVICES



SOCCER FIELDS LIGHTING
GRAPEVINE SOCCER COMPLEX, GRAPEVINE, TX
POLES S6, S7, S9, S10 & S11

HARDWARE LIST			
HARDWARE DESCRIPTION	HWD. QTY.	POLE QTY.	TOTAL
8" TREADED ROD	4	5	20
6" TREADED ROD	2	5	10
"W" BRACKET	4	5	20
5/8" GALV. NUT	12	5	60
5/8" GALV. L/WASHER	12	5	60
3/4" X 4" S.S. TH. ROD	2	5	10
3/4" LOCK-WASHER	2	5	10
3/4" FLAT-WASHER	4	5	20
3/4" S.S. NUT	4	5	20
2" NIPPLE PKG.	2	5	10

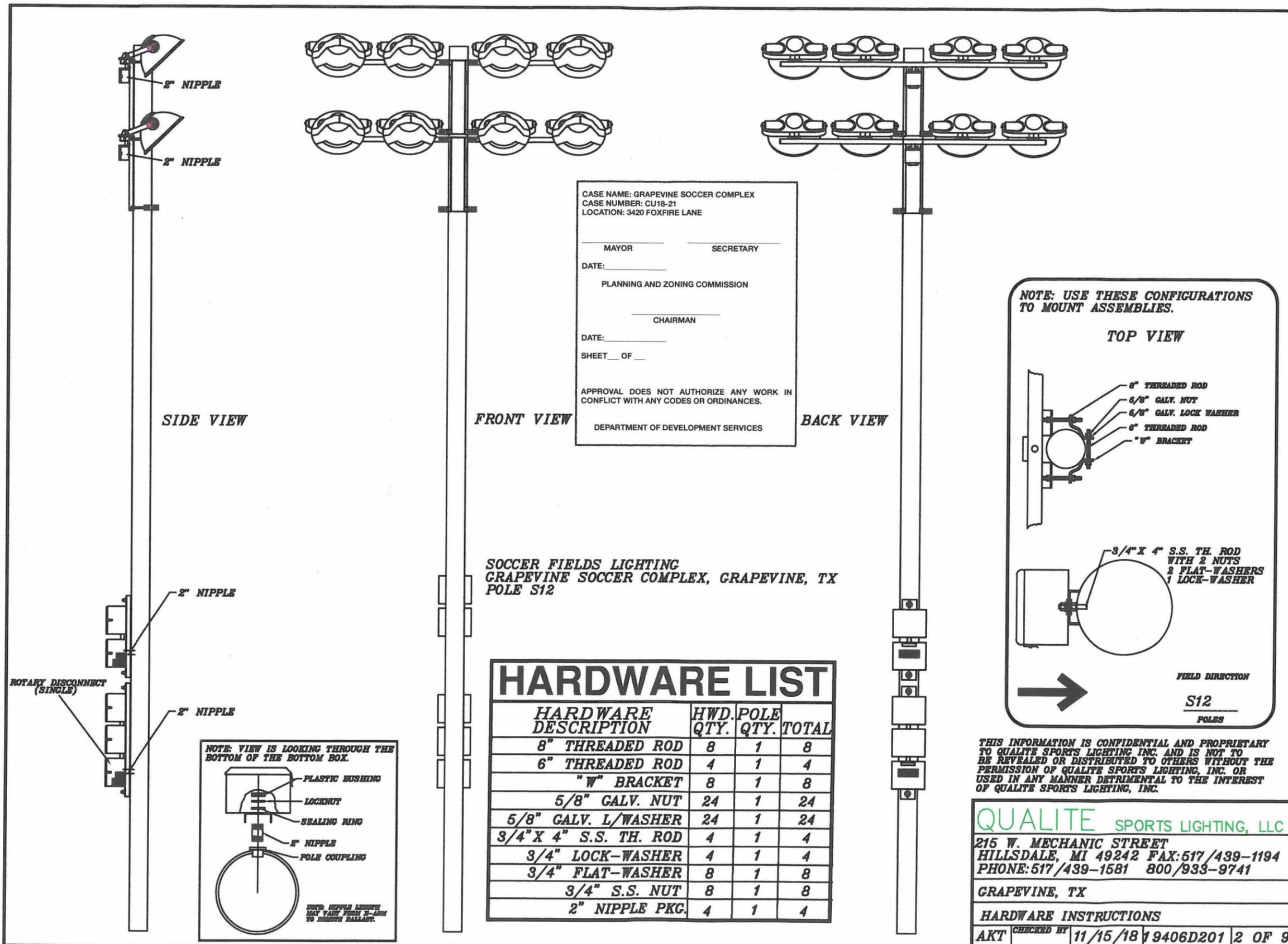
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QUALITE SPORTS LIGHTING, LLC
215 W. MECHANIC STREET
HILLSDALE, MI 49242 FAX: 517/439-1194
PHONE: 517/439-1581 800/933-9741

GRAPEVINE, TX

HARDWARE INSTRUCTIONS

AKT CHECKED BY 11/15/18 19406D200 1 OF 9



CASE NAME: GRAPEVINE SOCCER COMPLEX
CASE NUMBER: CU18-21
LOCATION: 3420 FOXFIRE LANE

MAYOR _____ SECRETARY _____
DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____
DATE: _____
SHEET ___ OF ___

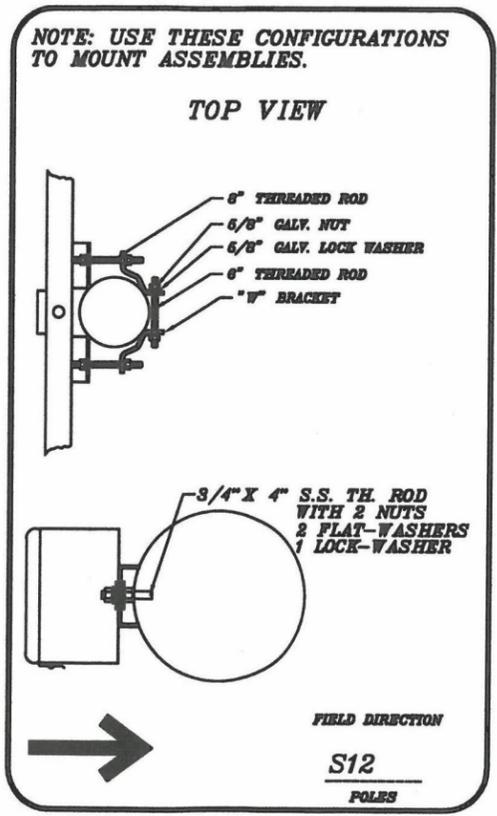
APPROVAL DOES NOT AUTHORIZE ANY WORK IN
CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

SOCCER FIELDS LIGHTING
GRAPEVINE SOCCER COMPLEX, GRAPEVINE, TX
POLE S12

HARDWARE LIST

HARDWARE DESCRIPTION	HWD QTY.	POLE QTY.	TOTAL
8" THREADED ROD	8	1	8
6" THREADED ROD	4	1	4
"W" BRACKET	8	1	8
5/8" GALV. NUT	24	1	24
5/8" GALV. L/WASHER	24	1	24
3/4" X 4" S.S. TH. ROD	4	1	4
3/4" LOCK-WASHER	4	1	4
3/4" FLAT-WASHER	8	1	8
3/4" S.S. NUT	8	1	8
2" NIPPLE PKG.	4	1	4



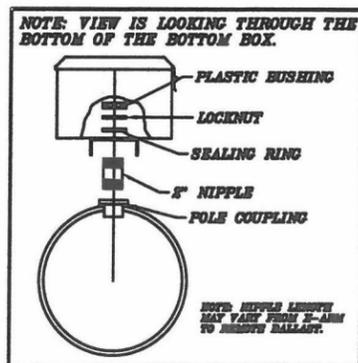
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QUALITE SPORTS LIGHTING, LLC
215 W. MECHANIC STREET
HILLSDALE, MI 49242 FAX: 517/439-1194
PHONE: 517/439-1581 800/933-9741

GRAPEVINE, TX

HARDWARE INSTRUCTIONS

AKT CHECKED BY 11/15/18 19406D201 2 OF 9



ROTARY DISCONNECT (SINGLE)

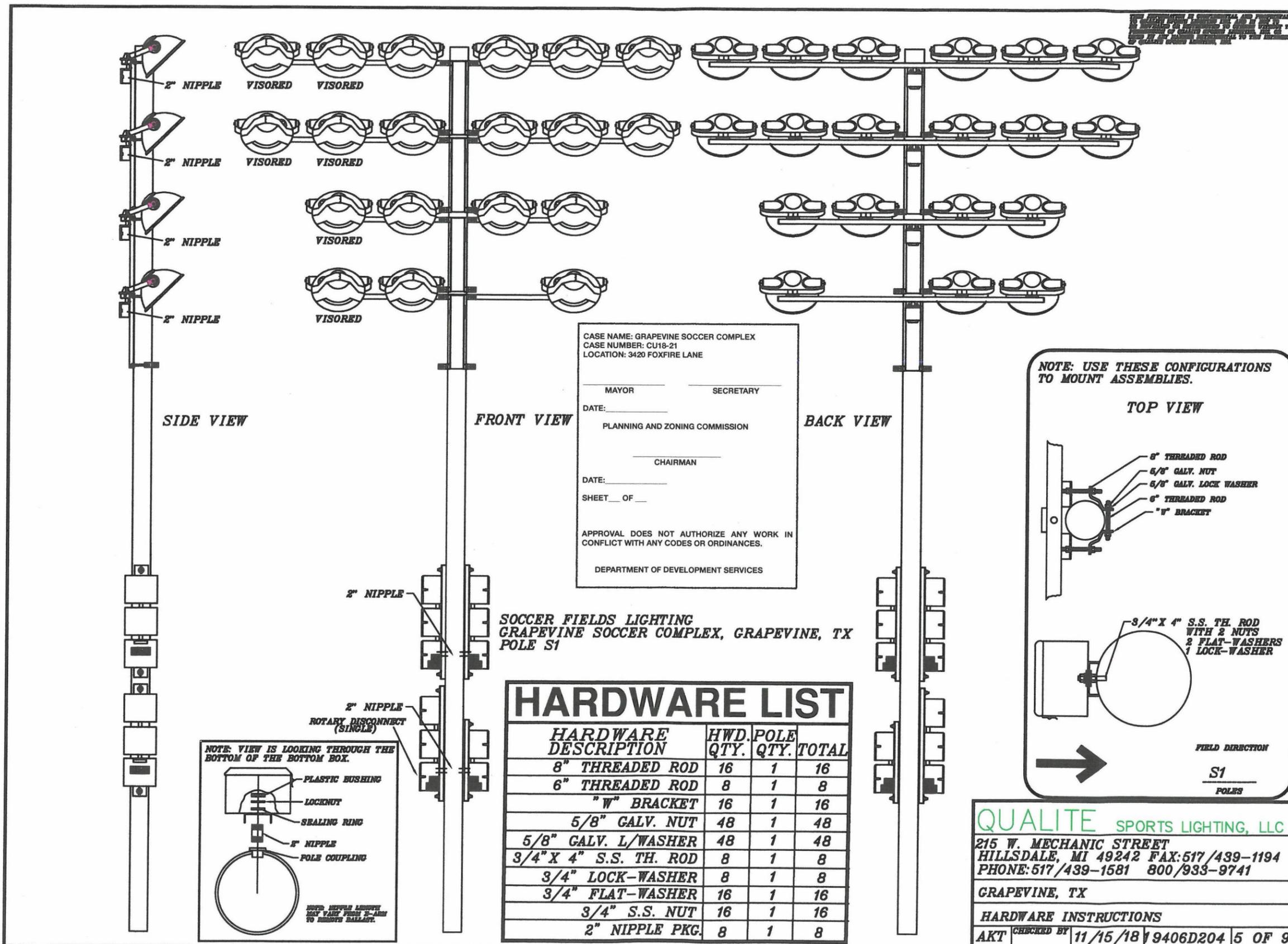
2" NIPPLE

2" NIPPLE

SIDE VIEW

FRONT VIEW

BACK VIEW



CASE NAME: GRAPEVINE SOCCER COMPLEX
CASE NUMBER: CU18-21
LOCATION: 3420 FOXFIRE LANE

MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION

CHAIRMAN _____
DATE: _____
SHEET _____ OF _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN
CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

SOCCER FIELDS LIGHTING
GRAPEVINE SOCCER COMPLEX, GRAPEVINE, TX
POLE S1

HARDWARE LIST

HARDWARE DESCRIPTION	HWD. QTY.	POLE QTY.	TOTAL
8" THREADED ROD	16	1	16
6" THREADED ROD	8	1	8
"W" BRACKET	16	1	16
5/8" GALV. NUT	48	1	48
5/8" GALV. L/WASHER	48	1	48
3/4" X 4" S.S. TH. ROD	8	1	8
3/4" LOCK-WASHER	8	1	8
3/4" FLAT-WASHER	16	1	16
3/4" S.S. NUT	16	1	16
2" NIPPLE PKG.	8	1	8

QUALITE SPORTS LIGHTING, LLC
215 W. MECHANIC STREET
HILLSDALE, MI 49242 FAX: 517/439-1194
PHONE: 517/439-1581 800/933-9741

GRAPEVINE, TX

HARDWARE INSTRUCTIONS

AKT CHECKED BY 11/15/18 9406D204 5 OF 9

ALED3T125/480



Remove Watermark Now



Color: Bronze Weight: 32.0 lbs
Color: Bronze Weight: 200 lbs

Project Grapevine Soccer Complex	Type:
Prepared By:	Date: 08/06/18

Driver Info		LED Info	
Type:	Constant Current	Watts:	125W
120V:	N/A	Color Temp:	5000K (Cool)
208V:	N/A	Color Accuracy:	70 CRI
240V:	N/A	L70 Lifespan:	100000
277V:	N/A	Lumens:	14996
Input Watts:	135W	Efficacy:	111 LPW
Efficiency:	92%		

Square steel poles drilled for 2 Area Lights at 180°. Designed for ground mounting. Poles are stocked nationwide for quick shipment. Protective packaging ensures poles arrive at the job site good as new.

Anchor Bolt:

Galvanized anchor bolts and galvanized hardware and anchor bolt template. All bolts have a 3" hook.

Anchor Bolt Templates:

WARNING: Template must be printed on 11" x 17" sheet for actual size. CHECK SCALE BEFORE USING. Templates shipped with anchor bolts and available.

Pre-Shipped Anchor Bolts:

Bolts can be pre-shipped upon request for additional freight charge

MaxEPA's/Max Weights:

- 70MPH 10.7 ft /245 lb
- 80MPH 7.2 ft /165 lb
- 90MPH 4.7 ft /110 lb
- 100MPH 2.9 ft /65 lb
- 110MPH 1.4 ft /35 lb
- 120MPH 0.3 ft /10 lb.

Other

Terms of Sale:

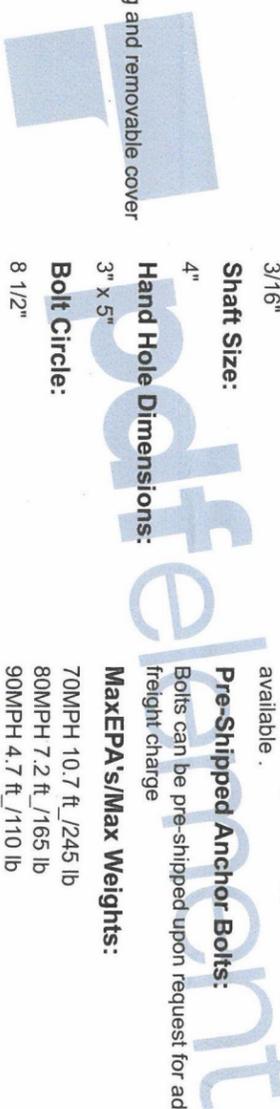
Pole Terms of Sale is available.

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Technical Specifications

- Listings**
- CSA Listed:** Suitable for wet locations
- Construction**
- Shaft:** 46,000 p.s.i. minimum yield.
- Hand Holes:** Reinforced with grounding lug and removable cover
- Base Plates:** 36,000 p.s.i. minimum yield.
- Shipping Protection:** All poles are shipped in individual corrugated cartons to prevent finish damage
- Color:** Bronze powder coating
- Height:** 17'-0"
- Weight:** 200 lbs
- Gauge:** 7
- Wall Thickness:** 3/16"
- Shaft Size:** 4"
- Hand Hole Dimensions:** 3" x 5"
- Bolt Circle:** 8 1/2"
- Base Dimension:** 8"



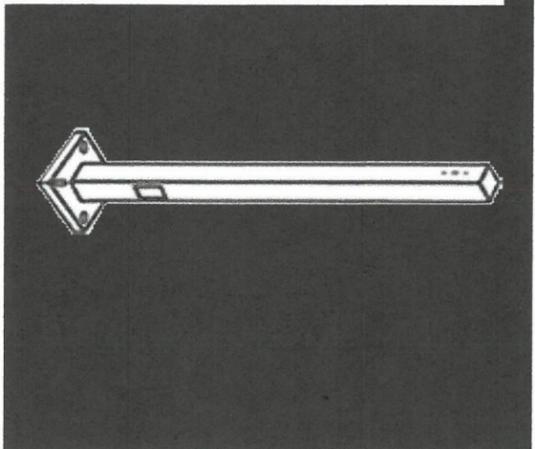
CASE NAME: **GRAPEVINE SOCCER COMPLEX**
CASE NUMBER: **CU18-21**
LOCATION: **3420 FOXFIRE LANE**

MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION

CHAIRMAN _____
DATE: _____
SHEET: _____ OF _____

APPROVAL DOES NOT AUTHORIZE ANY WORK
IN CONFLICT WITH ANY CODES OR
ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES



PS4-07-25D2

Lamp Info		Ballast Info	
Type:	N/A	Type:	N/A
Watts:	0W	120V	N/A
Shape/Size:	N/A	208V	N/A
ANSI:	N/A	240V:	N/A
Hours:	N/A	277V:	N/A
Base:	N/A	Input Watts:	0W
Lamp Lumens:	N/A		
Efficacy:	N/A		

Need help? Tech help line: (888) RAB-1000 Email: sales@rablighting.com Website: www.rablighting.com
Copyright © 2018 RAB Lighting Inc. All Rights Reserved Note: Specifications are subject to change at any time without notice

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: FEBRUARY 19, 2019

SUBJECT: FINAL PLAT APPLICATION
LOT 1, BLOCK 1, GRAPEVINE SOCCER COMPLEX

PLAT APPLICATION FILING DATE.....February 12, 2019

APPLICANTMatthew Holtman, Holtman Design Works

REASON FOR APPLICATION.....A site for soccer field complex

PROPERTY LOCATION Foxfire Lane

ACREAGE..... 18.929

ZONING RA: Recreational Amusement

NUMBER OF LOTS 1

PREVIOUS PLATTINGNo

CONCEPT PLAN CU18-21

SITE PLAN.....No

OPEN SPACE REQUIREMENT.....No

AVIGATION RELEASE Yes

PUBLIC HEARING REQUIREDNo

**PLAT INFORMATION SHEET
FINAL PLAT APPLICATION
LOT, BLOCK 1, GRAPEVINE SOCCER COMPLEX**

I. GENERAL:

- The applicant, Matthew Holtman is platting this property to build a soccer field complex. The property is located along Foxfire Lane.

II. STREET SYSTEM:

- The development has access to Foxfire Lane.
- Abutting roads: on the City Thoroughfare Plan:
 not on the City Thoroughfare Plan:

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 15.00 / LF		

Periphery Street Fees are not due:

III. STORM DRAINAGE SYSTEM:

- The site drains to Grapevine Lake.
- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for:
- Water and Wastewater Impact Fees are due prior to the issuance of building permits for: Lot 1, Block 1, Grapevine Soccer Complex
 - Single Family Residential (\$ 2,414/ Lot)
 - Multifamily (\$ 1,134/ Unit)
 - Hotel (\$ 43,632/ Acre)
 - Corporate Office (\$ 20,523/ Acre)
 - Government (\$ 4,414/ Acre)
 - Commercial / Industrial (\$ 5,739 / Acre)
- Open Space Fees are not required for: Lot 1, Block 1, Grapevine Soccer Complex
- Open Space Fees are due prior to the preconstruction meeting for public infrastructure improvements for:
 - R-5.0, R-TH, Zero Lot District (\$ 1,416.00 / Lot)
 - R-7.5, Single Family District (\$ 1,146.00 / Lot)
 - R-12.5, Single Family District (\$ 1,071.00 / Lot)
 - R-20.0, Single Family District (\$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
 - Front building line
 - Allowing a setback of 3 feet for the rear property line for an accessory building
 - Lot width & depth
 - Max. Impervious Area
 - Landscaping Regulations, allowing no landscape buffer between the edge of the parking area and the adjacent property line.
- The following items associated with this plat are not in accordance with the current subdivision standards:
 - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
 - Length of cul-de-sac street exceeds the 600-foot limit:
 - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
- The right-of-way provides for future widening of public streets that will serve the development of this site.
 - The onsite utility easements provide for a utility network to serve the development of this site.
 - The onsite drainage easements provide for a drainage network to serve the development of this site.

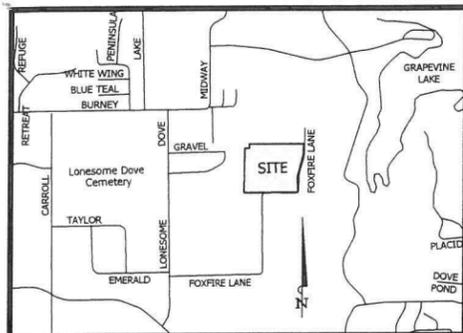
- The onsite access easements provide cross access capabilities to this site and surrounding property.
- The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:

- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
- The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
- The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
- The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
- The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
- All of the dedications benefit the development to at least the extent of the impact of such on the development.

VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Final Plat of Lot 1, Block 1, Grapevine Soccer Complex."



VICINITY MAP
NOT TO SCALE
GRAPEVINE, TEXAS

GENERAL NOTES:

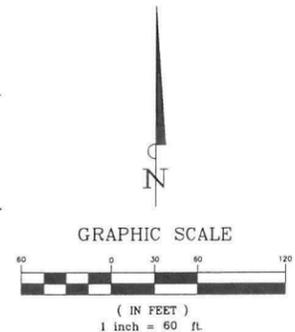
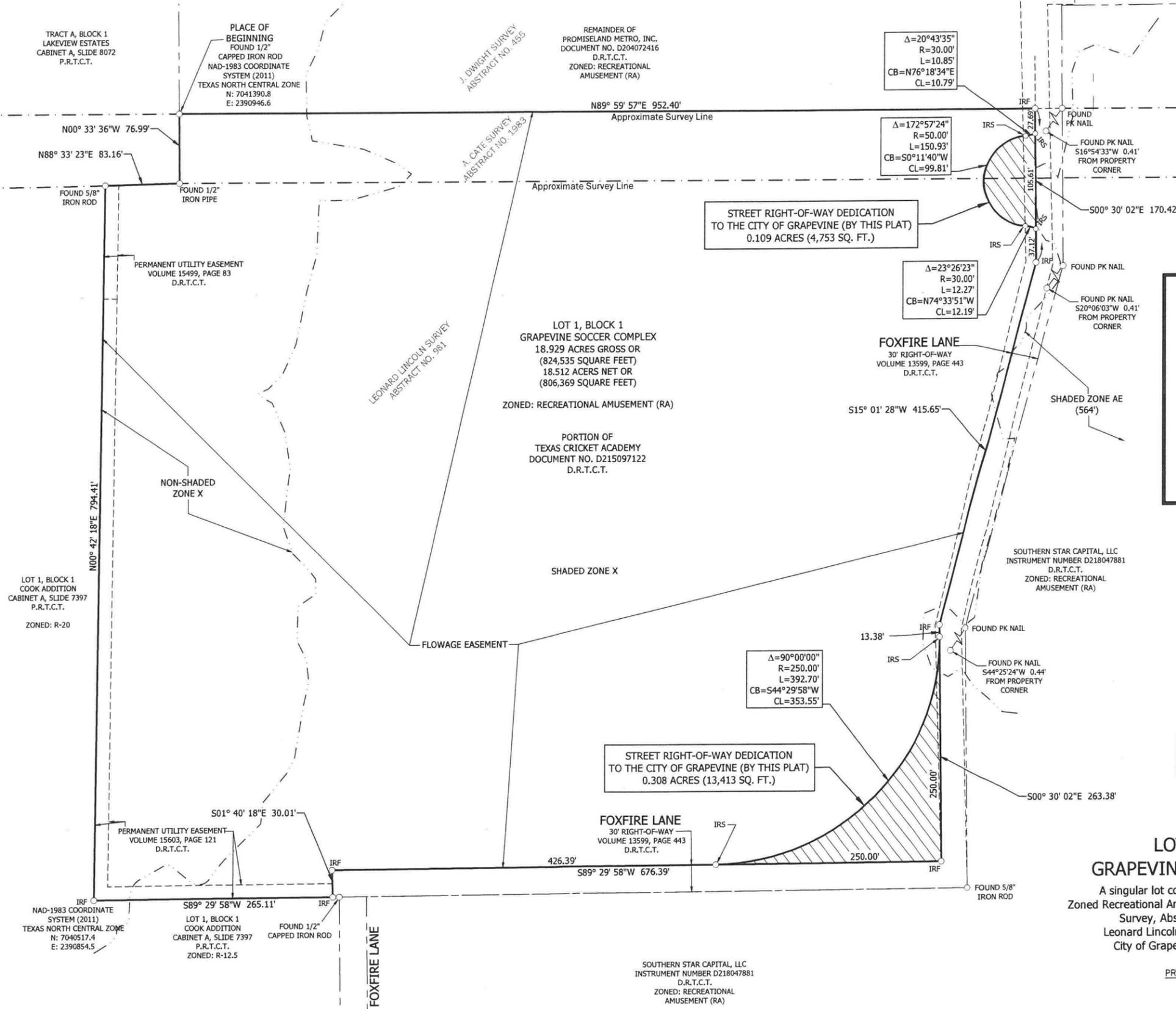
- All coordinates and bearings shown herein are Texas Coordinate System, NAD83 (CORS), Texas North Central Zone (4202). All distances shown herein are surface distances.
- According to surveyor's interpretation of information shown on the National Flood Insurance Program (NFIP) "Flood Insurance Rate Map" (FIRM), Community Panel No. 48439C0105 K, dated September 25, 2009. The property appears to lie within Zone "AE" defined as "Based Flood Elevations determined, and Shaded Zone "X" defined as "Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage area less than 1 square mile; and areas protected by levees from 1% annual chance flood, and Non-Shaded Zone "X" and "Areas determined to be outside of the 0.2% annual chance floodplain" zone as defined by the U.S. Department of Housing and Urban Development, Federal Insurance Administration, or the Federal Emergency Management Agency.
- The above referenced "FIRM" map is for use in administering the "NFIP"; it does not necessarily show all areas subject to flooding, particularly from local sources of small size, which could be flooded by severe, concentrated rainfall coupled with inadequate local drainage systems. There may be other streams, creeks, low areas, drainage systems or other surface or subsurface conditions existing on or near the subject property which are not studied or addressed as a part of the "NFIP".
- All iron rods found (IRF) are 5/8-inch with a plastic cap stamped "RPLS 4838"
- SOURCE BENCHMARK:** Grapevine Monument Number 1, Aluminum rod with cap found 0.4 feet below access cover, access cover stamped "CITY OF GRAPEVINE, MON. 1". Monument is located approximately 300 feet South of Kimball Road and Silvercrest Lane intersection in the center of a grass median. Elevation = 603.45'
- The purpose of this plat is to create one lot for development.
- No habitable structure may be built on the property.

LEGEND	
⊕	SIGN POWER POLE
⊙	GUY WIRE
⊗	SANITARY SEWER MANHOLE
⊞	IRRIGATION CONTROL VALVE
⊚	WATER VALVE
⊛	FIRE HYDRANT
⊜	GRATE INLET
⊝	CLEAN-OUT
⊞	HOSE BIB
N	NORTH
S	SOUTH
E	EAST
W	WEST
°	DEGREES
'	MINUTES/FEET
"	SECONDS/INCHES
D.R.T.C.T. DEED RECORDS TARRANT COUNTY TEXAS P.R.T.C.T. PLAT RECORDS TARRANT COUNTY, TEXAS	

ENGINEER / SURVEYOR:
BANNISTER ENGINEERING, LLC
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
CONTACT: MICHAEL DAVIS, RPLS
PHONE: 817-842-2094
Mike@bannistereng.com

OWNER
Mezas Capitol Group
Contact: Simon Bozas
2911 Turtle Creek Blvd, Suite 1000
Dallas, Texas 75219
(972)977-6888

DEVELOPER
Holtman Designworks
Contact: Matthew Holtman
403 US 377 S
Argyle, Texas 76226
(940)240-0491



PLANNING & ZONING COMMISSION:
Date Approved: _____
Chairman: _____
Secretary: _____

GRAPEVINE CITY COUNCIL:
Date Approved: _____
Mayor: _____
City Secretary: _____

RECEIVED
FEB 11 2019
BY:

FINAL PLAT
LOT 1, BLOCK 1
GRAPEVINE SOCCER COMPLEX
A singular lot consisting of 18.929 acres of land Zoned Recreational Amusement (RA) situated in the A. Cate Survey, Abstract Number 1983 and the Leonard Lincoln Survey, Abstract Number 981, City of Grapevine, Tarrant County, Texas.
1 Lot
PREPARED AUGUST 2018
SHEET NO. 1 OF 2
PREPARED BY: PROJECT NO.: 999-18-076
BANNISTER ENGINEERING
240 N. MITCHELL RD.
MANSFIELD, TX 76063 Phone: 817.842.2094
TBPLS REGISTRATION NO. 10193823

OWNER'S CERTIFICATE

State of Texas §
County of Tarrant §

WHEREAS, **Mezas Capitol Group** is the owner of that certain 18.929 acres (824,535 square feet) of land in the A. Cate Survey, Abstract No. 1983 and Leonard Lincoln Survey, Abstract No. 981, City of Grapevine, Tarrant County, Texas, Being a portion of that certain tract of land described in a Special Warranty Deed to TEXAS CRICKET ACADEMY LLC, as recorded in Document No. D215097122, Deed Records, Tarrant County, Texas (D.R.T.C.T.), and being more particularly described, by metes and bounds, as follows:

BEGINNING at a one-half inch capped iron rod found for the North Northwest corner of said Texas Cricket Academy tract, same being the Southwest corner of the remaining portion of that certain called 62.796 acre tract of land described in a Special Warranty Deed with Vendor's Lien to PromiseLand Metro, Inc., as recorded in Document Number D204072416, D.R.T.C.T.

THENCE North 89 degrees 59 minutes 57 seconds East with the common line between said Texas Cricket Academy tract and the remaining portion of said PromiseLand Metro, Inc. tract, a distance of 952.40 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the existing West right-of-way line of Foxfire Lane (30' right-of-way), as recorded in Volume 13599, Page 443, D.R.T.C.T.;

THENCE South 00 degrees 30 minutes 02 seconds East with the common line between the remainder of said Texas Cricket Academy tract and the existing West right-of-way line of said Foxfire Lane, a distance of 170.42 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found;

THENCE South 15 degrees 01 minute 28 seconds West continue with the common line between the remainder of said Texas Cricket Academy tract and the existing West right-of-way line of said Foxfire Lane, a distance of 415.65 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found;

THENCE South 00 degrees 30 minutes 02 seconds East continue with the common line between the remainder of said Texas Cricket Academy tract and the existing West right-of-way line of said Foxfire Lane, a distance of 263.38 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the South line of said Texas Cricket Academy tract, same being the intersection of the existing West right-of-way line of said Foxfire Lane and the existing North right-of-way line of said Foxfire Lane;

THENCE South 89 degrees 29 minutes 58 seconds West with the common line between the remainder of said Texas Cricket Academy tract and the existing North right-of-way line of said Foxfire Lane, a distance of 676.39 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the Western Northwest corner of said Foxfire Lane;

THENCE South 01 degree 40 minutes 18 seconds East with the common line between the remainder of said Texas Cricket Academy tract and the existing West right-of-way line of said Foxfire Lane, a distance of 30.01 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found in the North line of that certain tract of land described as Lot 1, Block 1, Cook Addition (hereinafter referred to as Lot 1), an addition to the City of Grapevine, Tarrant County, Texas, according to the plat recorded in Cabinet A, Slide 7397, Plat Records, Tarrant County, Texas (P.R.T.C.T.);

THENCE South 89 degrees 29 minutes 58 seconds West with the common line between said Texas Cricket Academy tract and said Lot 1, a distance of 265.11 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the Southwest corner of said Chesapeake tract, same being an inner ell corner of said Lot 1;

THENCE North 00 degrees 42 minutes 18 seconds East with the common line between said Texas Cricket Academy tract and Lot 1, a distance of 794.41 feet to a five-eighths inch iron rod found for the West Northwest corner of said Texas Cricket Academy tract, same being the North Northeast corner of said Lot 1, same also being in the South line of Tract A, Block 1, Lakeview Estates (hereinafter referred to as Tract A), an addition to the City of Grapevine, Tarrant County, Texas, according to the plat recorded in Cabinet A, Slide 8072, P.R.T.C.T.;

THENCE North 88 degrees 33 minutes 23 seconds East with the common line between said Texas Cricket Academy tract and Tract A, a distance of 83.16 feet to a one-half inch iron pipe found for corner;

THENCE North 00 degrees 33 minutes 36 seconds West, continuing with the common line between said Texas Cricket Academy tract and Tract A, a distance of 76.99 feet to the **PLACE OF BEGINNING**, containing 18.929 acres (824,535 square feet) of land.

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS, THAT **Mezas Capitol Group** does hereby adopt this plat of **GRAPEVINE SOCCER COMPLEX**, an addition to the City of Grapevine, Tarrant County, Texas, and does hereby dedicate to the public use forever the right-of-way and easements shown hereon. The easements shown hereon are hereby reserved for the purposes as indicated. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of paving on the easements are the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed, or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using, or desiring to use same. Any City or franchised utility shall have the full right to remove and keep removed all or parts of any fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all City or franchised utilities shall at all times have the full right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone.

I have reviewed the City's Findings concerning dedications and I do agree that the statements are true and correct.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

Witness my hand this the _____ day of _____, 2018.

(Signature of Owner)

(Title)

STATE OF TEXAS §
COUNTY OF TARRANT §

Before me, undersigned Notary Public in and for said county and state, on this day personally appeared _____, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this the _____ day of _____, 2018.

Notary Public, State of Texas NOTARY SEAL

My Commission Expires _____

PERPETUAL FLOWAGE EASEMENTS:

Perpetual flowage easement estates, such as those the government holds over property owned by others in the Grapevine Lake area, grant to the government full, complete, and perpetual right, power, privilege, and easements to occasionally overflow, flood, and submerge land in connection with the operation and maintenance of the lake. Flowage easement lands are defined as those land below the contour of 572.00 feet mean sea level. No fill shall be placed below the contour of 572.00. All lot grading operations must be coordinated with the Corps of Engineers' Grapevine Lake office. No habitable structures shall be constructed below the land contour of 572.00 feet.

AVIGATION RELEASE:

STATE OF TEXAS:
COUNTY OF TARRANT:

WHEREAS, _____ hereinafter called "Owner" (whether one or more), is the sole owner of that certain parcel of land situated in the City of Grapevine, Tarrant County, Texas, being said property as described as shown on this plat.

NOW THEREFORE, in consideration of the sum of ONE AND 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confessed, Owner does hereby waive, release, remise and quitclaim to the City of Grapevine, Tarrant County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas and Fort Worth, Texas, their successors and assigns, hereafter called "Cities", for the use and benefit of the public and it's agencies, any and all claims for damages of any kind to persons or property the Owner may suffer by reason of the passage and flight of all aircraft in the airspace above Owner's property above the height restriction as presently established by Ordinance No. 73-50 for the City of Grapevine, known as the Airport Zoning Ordinance of the Dallas-Fort Worth International Airport, to an infinite height above same, whether such damage shall originate from noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft, landing at or taking off from, or operating at or on the Dallas-Fort Worth International Airport.

This instrument does not release the owners or operators of aircraft from liability for damage to person or property caused by falling aircraft or falling physical objects from the aircraft, except as stated herein with respect to noise, fumes, dust, fuel, and lubricant particles.

It is agreed that this release shall be binding upon said owner and his heirs and assigns, and successors in interest to said property; and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the deed Records of the county of counties in which the property is situated.

EXECUTED at _____, Texas, this _____ day of _____, 2018.

(Signature of Owner)

(Title)

STATE OF TEXAS §
COUNTY OF TARRANT §

Before me, undersigned Notary Public in and for said county and state, on this day personally appeared _____, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this the _____ day of _____, 2018.

Notary Public, State of Texas NOTARY SEAL

My Commission Expires _____

SURVEYORS CERTIFICATE:

I, Michael Dan Davis, of BANNISTER ENGINEERING, LLC, a Registered Professional Land Surveyor of the State of Texas, do hereby declare that I prepared this plat from an actual and accurate survey on the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the State of Texas and the City of Grapevine.

PRELIMINARY,
THIS DOCUMENT SHALL NOT BE
RECORDED FOR ANY PURPOSE AND SHALL NOT BE
USED OR VIEWED OR RELIED UPON AS A FINAL
SURVEY DOCUMENT



Michael Dan Davis DATE:
Registered Professional Land Surveyor No. 4838
BANNISTER ENGINEERING, LLC
T.B.P.L.S. REGISTRATION NO. 10193823
1696 COUNTRY CLUB DRIVE
MANSFIELD, TEXAS 76063
Office (817) 842-2094

FINAL PLAT
LOT 1, BLOCK 1
GRAPEVINE SOCCER COMPLEX

A singular lot consisting of 18.929 acres of land
Zoned Recreational Amusement (RA) situated in the A. Cate
Survey, Abstract Number 1983 and the
Leonard Lincoln Survey, Abstract Number 981,
City of Grapevine, Tarrant County, Texas.

1 Lot

PREPARED AUGUST 2018

SHEET NO. 2 OF 2

PREPARED BY: PROJECT NO.: 999-18-076

BANNISTER
ENGINEERING
240 N. MITCHELL RD.
Mansfield, TX 76063 Phone: 817.842.2094
TBPLS REGISTRATION NO. 10193823

THIS PLAT FILED ON _____, 2018 INSTRUMENT #D _____

ENGINEER / SURVEYOR:
BANNISTER ENGINEERING, LLC
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
CONTACT: MICHAEL DAVIS, RPLS
PHONE: 817-842-2094
Mike@bannistereng.com

OWNER
Mezas Capitol Group
Contact: Simon Bozas
2911 Turtle Creek Blvd, Suite 1000
Dallas, Texas 75219
(972)977-6888

DEVELOPER
Holtman Designworks
Contact: Matthew Holtman
403 US 377 S
Argyle, Texas 76226
(940)240-0491

MEMO TO: HONORABLE MAYOR, CITY COUNCIL MEMEBERS AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: FEBRUARY 18, 2019

SUBJECT: CONDITIONAL USE APPLICATION CU19-01 THE NOVUS
ACADEMY

RECOMMENDATION:

Staff recommends the City Council and the Planning and Zoning Commission accept the applicant's request to table conditional use application CU19-01 to the March 19, 2019 meeting, and take any other necessary action.

BACKGROUND:

Conditional Use application CU19-01 is a request to establish a private school in the "CC" Community Commercial District in an office building addressed at 3400 William D. Tate Avenue. The applicant needs the additional time to address issues relative to the purchase of the building. See the attached email.

/rs

Ron Stombaugh

From: Matthew Heaton
Sent: Thursday, February 14, 2019 5:20 PM
To: Ron Stombaugh
Cc: Forrest Branam
Subject: FW: Request to move the CUP meeting

Ron,

Per direction from our client we are requesting to move our CUP presentation from the currently scheduled February 19th agenda to the March 19th agenda. Our client has requested this change to provide additional time to better align with their contract for purchase of the building.

Please let me know if you need any additional items from me regarding this.

Thanks,
Matthew R. Heaton, AIA
Project Architect I

th+a
architecture, interior design, planning

O: [214.522.1100](tel:214.522.1100) x728 D: [214.466.2728](tel:214.466.2728)
www.thaarch.com

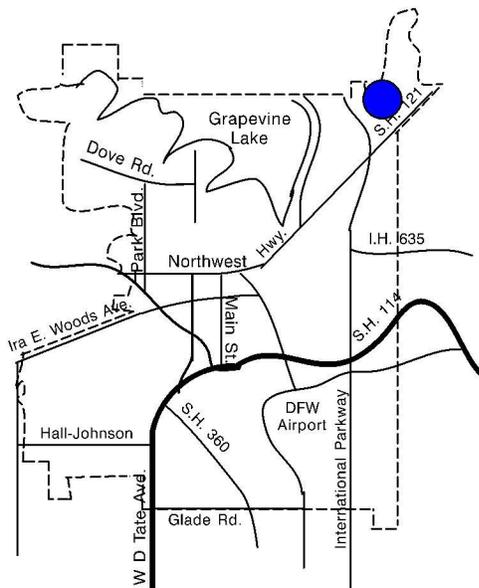


TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER ^{BR}
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: FEBRUARY 19, 2019

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF CONDITIONAL USE APPLICATION CU19-02, THE SHOPS AT GRAPEVINE CROSSING



APPLICANT: Tom Holland

PROPERTY LOCATION AND SIZE:

The subject property is located at 3540, 3550, and 3580 North Grapevine Mills Boulevard and is platted as Lots 1A1, 2A, 3A1, 3A2, 5AR1A, 5AR2, Block A, Grapevine Mills Crossing Addition. The entire property contains approximately 30 acres and has 1,544 feet of frontage along North Grapevine Mills Boulevard, 1,330 feet of frontage along State Highway 121 and 339 feet of frontage along Stars and Stripes Way.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to amend the previously approved site plan of CU18-08 (Ord. 18-37) for a master site development plan specifically to amend the square footage and elevations of the previously approved retail space, provide for additional on-premise signage, and allow for gasoline sales, and off-premise consumption of alcoholic beverages (beer and wine only) in conjunction with a convenience store.

At the April 17, 2018 meeting a master site development plan was established on approximately 30 acres at the southwest corner of the southbound service road of State Highway 121 and North Grapevine Mills Boulevard. The master site development plan included building elevation improvements to an existing multi-tenant building, along with the addition of new multi-structure retail and restaurant development, and two, four-story multifamily structures and two, three-story, brownstone structures totaling 432 units.

With this request the applicant proposes some modifications and additions to the retail portion of the previously approved master site development plan as follows:

- The addition of two retail pad sites to the master site development plan (Lots 1A1 and 2A) relative to the existing NTB (National Tire and Battery) and a proposed 7-Eleven convenience store.
- Modification and realignment of the main entrance (Baker Street) with Kubota Drive into the retail area from North Grapevine Mills Boulevard.
- Lot configuration adjustments to Lots 3A1 and 3A2 to accommodate an existing transformer for the NTB store.
- A building adjustment to the future structure proposed on Lot 3A2 which was originally shown as a 3,000 s.f. drive-through restaurant which has now been reduced to 2,346 s.f. with the difference being added to the proposed building No. 4 on Lot 5AR1A increasing from the previously approved 7,200 s.f. to 8,160 s.f.
- Elevation changes to retail buildings No. 2 and 4 to enhance their appearance, provide additional screening from the sun, improve tenant flexibility and layout, provide weather protection, prevent water intrusion, and accommodate back-of-the-house utility function/access.
- A signage package for the entire center to include three, 40-foot pylon signs. One, located at the northeast corner of the property to serve the entire center, and one each for the proposed 7-Eleven and the existing NTB store. The existing monument sign for the NTB store will be removed. A total of five monument signs are proposed along the approximate 1,500 linear feet of North Grapevine Mills Boulevard ranging height from 10 feet to 5.5 feet and in size from in size from 67 s.f. to 26 s.f.
- The inclusion of a new 7-Eleven convenience store with gasoline sales, and off-premise alcohol beverage sales (beer and wine only). The proposed 3,042 s.f. convenience store will provide eight fueling stations (sixteen vehicles). Required parking is 21 spaces and the applicant has provided 36 spaces.

PRESENT ZONING AND USE:

The property is currently zoned "CC" Community Commercial District with a planned commercial center designation and is partially developed with an approximate 49,348 s.f. multi-tenant building.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject and surrounding properties were rezoned in the 1984 City Rezoning from “I-1” Light Industrial District to “HCO” Hotel Corporate Office District and “PID” Planned Industrial Development District. The subject property was rezoned (Z96-08) in June 1996 to “CC” Community Commercial District for a retail shopping development that never occurred. The property to the west currently occupied by the Grapevine Mills Mall and its associated outparcel development was rezoned in 1995 to “CC” Community Commercial District to facilitate the development of the mall. Numerous conditional use requests have been approved at this location since the development of the mall. The property to the immediate south is developed as an Ashley’s Furniture store. At the October 19, 2004 meeting, Council approved a conditional use permit (CU04-32) for the establishment of a 15-acre planned commercial center as well as the signage necessary to serve the site that is located just south of the Ashley Furniture site. Across Grapevine Mills Boulevard North to the north several conditional use permits have been approved for Magic Mike’s convenience store with gasoline sales (CU98-01) and Speedway Grapevine Car Wash (CU04-01). Council approved at the February 21, 2006 meeting a conditional use permit (CU06-03) to establish a planned commercial center in conjunction with a furniture store (La-Z-Boy) and a 40-foot pylon sign along Grapevine Mills Parkway. At the February 20, 2007 meeting the Council approved a conditional use request (CU06-55) that established a planned commercial center on the subject 18+ acre tract along with a first phase 49,000 s.f. multi-tenant building and two, 40-foot pole signs. Conditional use request CU07-33 was approved by the Council at their June 19, 2007 meeting and approved a 7,900 s.f. tire and battery store (NTB National Tire and Battery) along with a 20-foot pole sign within the planned commercial center. Conditional use request CU13-26 was considered and approved by the Site Plan Review Committee at their November 6, 2013 meeting and allowed for the subdivision of one undeveloped lot into two separate lots for future development. At the April 17, 2018 meeting a conditional use permit was approved (CU18-08) on the subject site which established a master site development plan which included, building elevation improvements to the existing multi-tenant building, along with the addition of new multi-structure retail and restaurant development, and two, four-story multifamily structures and two, three-story, brownstone structures (432 total units).

SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH: “CC” Community Commercial District—Magic Mike’s convenience store, Speed Way Grapevine carwash, vacant property
- SOUTH: “CC” Community Commercial District—Ashley’s Furniture, vacant property
- EAST: City of Coppell
- WEST: “CC” Community Commercial District—Grapevine Mills Mall, Rooms To Go, Chuck-E-Cheese, Michael’s

AIRPORT IMPACT:

The subject tract is located within "Zone B" Middle Zone of Effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map. In Zone B, the following uses may be considered only if sound treatment is included in building design: multi family apartments, motels, office buildings, movie theaters, restaurants, personal and business services. Single family residential and sound sensitive uses such as schools and churches should avoid this zone. The applicant's proposal is an appropriate use in this noise zone.

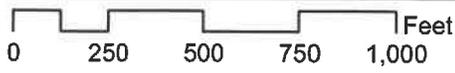
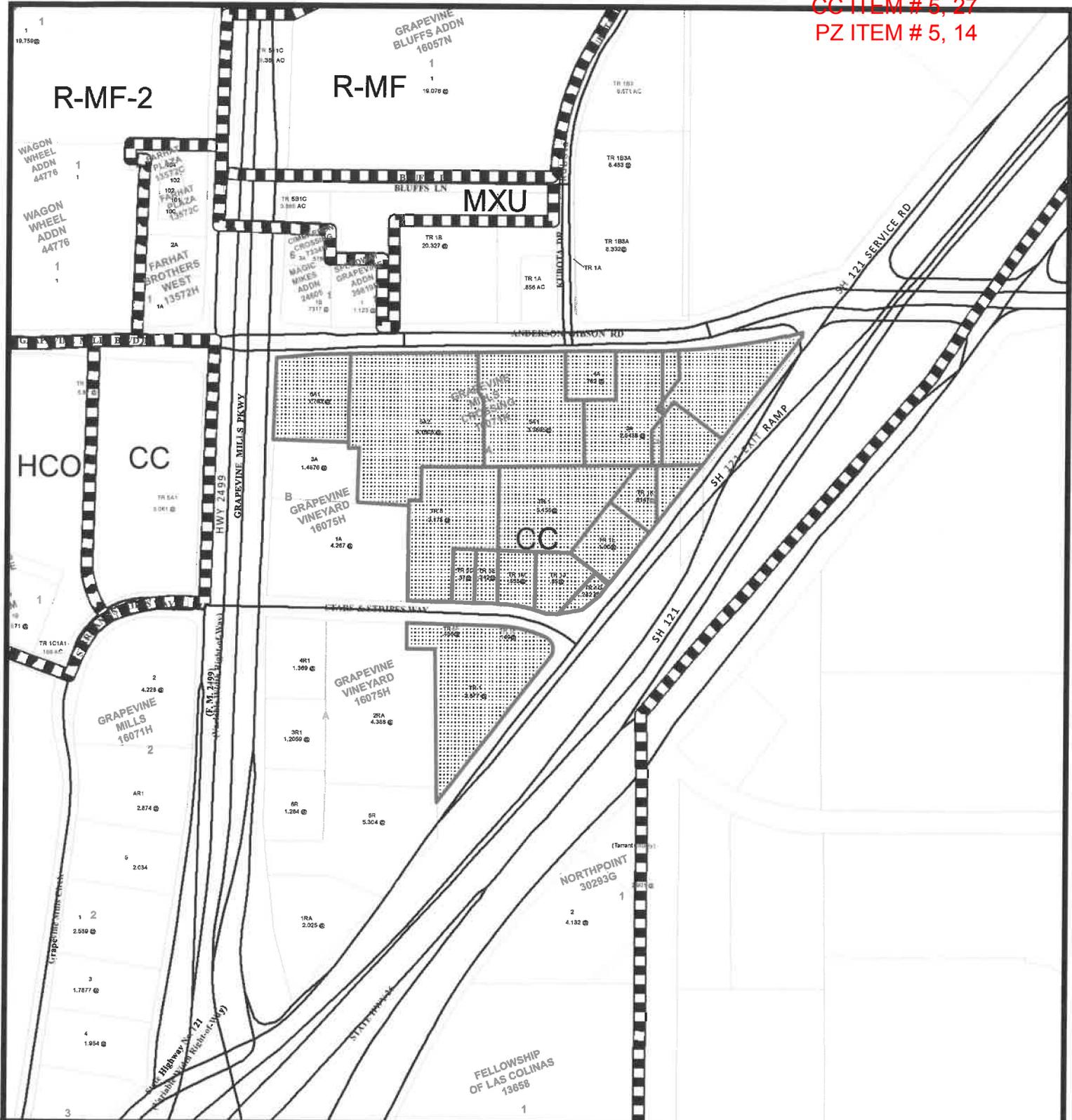
MASTER PLAN APPLICATION:

The Master Plan designates the subject property as a C/MU Commercial/Mixed Use land use. The applicant's proposal is in compliance with the Master Plan.

THOROUGHFARE PLAN APPLICATION:

The Thoroughfare Plan designates Grapevine Mills Parkway as a Type A, Major Arterial with a minimum 100-foot right-of-way developed as six lanes with median. North Grapevine Mills Boulevard is designated a Type B, Major Arterial with a minimum 80-foot right-of-way developed as four lanes with median.

/rs



CU19-02 Grapevine Mills Crossing

Date Prepared: 2/8/2019

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.



CITY OF GRAPEVINE

CONDITIONAL USE APPLICATION

Form "A"

PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact

TOM HOLLAND - BDDC, INC.

Street address of applicant / agent:

1722 ROUTH ST. #770

City / State / Zip Code of applicant / agent:

DALLAS, TX 75201

Telephone number of applicant / agent:

214-270-0986

Fax number of applicant/agent

Email address of applicant/agent

Mobile phone number of applicant/agent

214-761-6057

PART 2. PROPERTY INFORMATION

Street address of subject property

3540, 3550, 3580 N Grapevine Mills Blvd

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot Block Addition

GRAPEVINE MILLS CROSSING ADDITION

Size of subject property

25.47 Acres

1,109,473

Square footage

Present zoning classification:

Proposed use of the property:

Circle yes or no, if applies to this application

Outdoor speakers Yes No

Minimum / maximum district size for conditional use request:

5 ACRES

Zoning ordinance provision requiring a conditional use:

UPDATING SITE PLAN AND BUILDING ELEVATIONS. ADDING SITE SIGNAGE TO ZONING.

PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:

GRAPEVINE CROSSING HOLDINGS, LLC

Street address of property owner:

1722 ROUTH ST. SUITE 770

City / State / Zip Code of property owner:

DALLAS, TX 75201

Telephone number of property owner:

214-270-0927

Fax number of property owner:



- Effect of Concept Plan
- All subsequent site plans shall conform to the concept plan submitted
- The Development Services staff will determine the agenda for each of the public hearing dates. Based on the size of the agenda, your application may be rescheduled to a later date

Conditional Use

PART 4. SIGNATURE TO AUTHORIZE FILING OF A FINAL CONCEPT PLAN

Tom Holland

Print Applicant's Name


Applicant's Signature

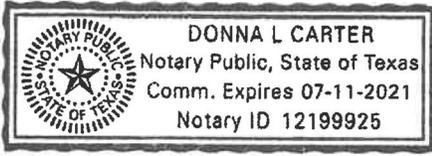
The State of Texas

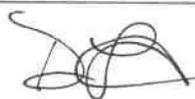
County of Dallas

Before me (notary) Donna L. Carter on this day personally appeared (applicant) **TOM HOLLAND**

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 4th day of January, A.D. 2019




Notary In and For State of **TEXAS**

Grapevine Crossing Holdings, LLC

Print Property Owner's Name


Property Owner's Signature

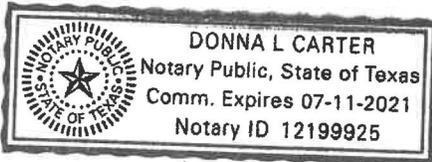
The State of Texas

County of Dallas

Before me (notary) Donna L. Carter on this day personally appeared (applicant) Kenneth D. Mabry

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 4th day of January, A.D. 2019




Notary In and For State of **TEXAS**



CU 19-02



CITY OF GRAPEVINE

CONDITIONAL USE APPLICATION

Form "A"

PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact
Matt Moore - Caymoore Eng.

Street address of applicant / agent:
1903 Central Drive Ste 406

City / State / Zip Code of applicant / agent:
Bedford TX 76021

Telephone number of applicant / agent: *817.281.0572* Fax number of applicant/agent

Email address of applicant/agent: [REDACTED] Mobile phone number of applicant/agent: *817.281.0572*

PART 2. PROPERTY INFORMATION

Street address of subject property
3580 N Grapevine Mills Blvd.

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot *1A/AA* Block *A* Addition *Grapevine Mills Crossing*

Size of subject property
25.47 AC. Acres ~~*1.57*~~ *1,109,473 SF* Square footage

Present zoning classification: *C-C* Proposed use of the property: *CONVENIENCE STORE W/GAS.*

Circle yes or no, if applies to this application

Outdoor speakers Yes No - *Yes.*

Minimum / maximum district size for conditional use request:
5 AC.

Zoning ordinance provision requiring a conditional use:
SITE PLAN w/ FUEL STATION AND OFF PREMISE ALCOHOL.

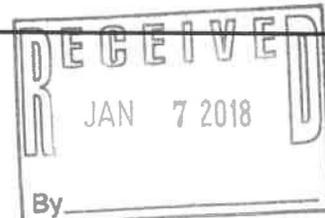
PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:
GRAPEVINE CROSSING HOLDINGS, LLC

Street address of property owner:
1722 ROUTH ST. STE 770

City / State / Zip Code of property owner:
DALLAS TX 75201

Telephone number of property owner: *214.270.1060* Fax number of property owner:



CUL9-02

PART 4. SIGNATURE TO AUTHORIZE FILING OF A FINAL SITE PLAN

Matt Moore
Print Applicant's Name:

[Signature]
Applicant's Signature:

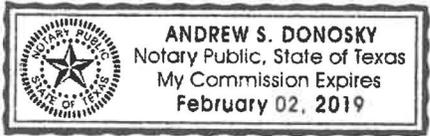
The State Of Texas

County Of Tarrant

Before Me Andrew Donosky (notary) on this day personally appeared Matt Moore (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 3 day of January, A.D. 2017.



[Signature]
Notary In And For State Of Texas

GRAPEVINE CROSSING HOLDINGS, LLC
Print Property Owner's Name:

[Signature]
Property Owner's Signature

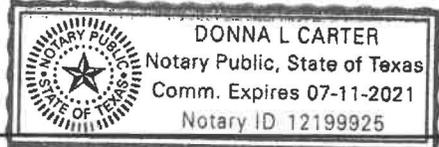
The State Of Texas

County Of Dallas

Before Me Donna L. Carter (notary) on this day personally appeared Kenneth D. Mabry (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 2nd day of January, A.D. 2019.



[Signature]
Notary In And For State Of Texas



Billingsley

Date: 2.7.19
RE: The Shops at Grapevine Crossing
Proposed Revisions to Conditional Use Permit CU18-08

Proposed Site Plan Changes:

1. **Addition of 2 Retail Pad Sites:** Although the two retail pad sites directly adjacent to SH 121 were included in the Original Conditional Use Permit (February 16, 2007) approval, they were not included in the 2018 Conditional Use Permit approval. The current submittal incorporates these two pad sites. The southern pad site was developed at a National Tire and Battery under the 2007 permit approval. The northern pad site is currently undeveloped and is being proposed as a 7-Eleven convenience store and gas station.
2. **Retail Entry Drive Modification:** Although the primary retail entry in the 2018 approval aligned with that represented in the 2007 approval, the drive design needed to be adjusted to correctly align with the newly developed Kabota Drive on the north side of Grapevine Mills Parkway. The drive entry has been widened to better align with the thru lanes on the north side of the intersection. In addition, this development will be contributing its share of the intersection improvements as determined by the City of Grapevine.
3. **Retail Parking Layout Adjustment:** Upon receipt of a more detailed site survey we became aware of the placement of an existing transformer that currently feeds the NTB pad site. In order to not impact the stores operation, it became necessary to adjust the parking lot configuration for Lot 3A2 and 3A1.
4. **Lot 3A2 Building Area Adjustment:** The 2018 approval provided for a 3,000 SF drive thru restaurant on Lot 3A2. Market demands and the above mentioned lot reconfiguration have required a smaller building footprint on this pad site (2,346 SF). The building area of Retail Building No. 4 was increased from 7,200 SF to 8,160 SF to make up for the reduction in this building area. Building No. 4 is part of the first phase of development.
5. **Update to Site Data Tables:** The changes listed above has required an update to the site data tables previously submitted with the 2018 approval.

Site Signage Addition:

1. Although the 2007 Conditional Use Permit included site signage, the 2018 did not. Therefore, site signage locations and design have been added to the request. The 2007 approval incorporated (2) pylon and (2) monument signs for the primary center and allowed one pole sign on each of the pad sites along SH 121. NTB has installed one monument sign on their pad site and there is an existing multi-tenant monument sign installed at the western end of the center. Our current request updates the proposed sign designs and includes (1) new pylon sign along SH 121, (2) new multi-tenant signs along Grapevine Mills Parkway (1) new multi-family identification sign at the primary entry and (1) new single tenant monument sign for the proposed drive thru restaurant. NTB is requesting to replace their existing monument sign with a pylon sign for better visibility along SH 121. 7 Eleven is requesting a pylon sign along SH 121 as well as a directional sign on Grapevine Mills Parkway.

Billingsley

Proposed Retail Building Design Changes:

Retail Building No. 2: This 6,000 SF retail shell building is part of the first phase of development.

1. **Addition of Fabric Awnings:** Fabric awnings have been added over the storefront sections of the building to provide weather protection over the tenant entries and help prevent water intrusion into the space.
2. **Storefront Modification:** The storefront design has been modified to go all the way to the ground to allow tenant door placement flexibility. The mullion layout has been modified for the same reason.
3. **South Building Elevation Change:** The south storefront bay locations have been adjusted to better accommodate the back of house utility services (fire riser room, electrical and gas service). A masonry screen wall has been added to conceal the service area from view.

Retail Building No. 4: This 8,160 SF retail shell building is part of the first phase of development.

1. **Building Area Increase:** The overall rentable building area has been increased from 7,200 SF to 8,160 SF.
2. **Parapet Design & Height Change:** Upon more detailed building design study it was determined that the sloped parapet was not going to conceal the rooftop unit and kitchen exhaust vents adequately. Therefore, the north and south parapets were revised to be straight across rather than sloped. Also, the overall parapet height was increased two feet and a decorative cornice was added.
3. **Changes to outdoor Trellis Structure.** Upon more detailed building design study it was determined the east and west trellis structures were too tall to adequately provide good shade and would not provide as intimate a space as desired. These portions of the trellis were lowered from 18'-4" to just above the storefront height. With lower sun angles, this will provide for more shaded area under the trellis for seating. It will also allow more flexibility in winter months for wind/rain curtains to be installed. The depth of the trellis on the west was also reduced to serve as more of an entry canopy so the east side could be emphasized as an outdoor dining area which is along the primary streetscape.
4. **Storefront Design Changes:** The storefront design has been adjusted to allow for more flexibility of tenant layout and entry door locations.
4. **North Elevation Change:** The north storefront bay locations have been adjusted to better accommodate the back of house utility services (fire riser room, electrical and gas service). A masonry screen wall and planter have been added to conceal the service area from view.

7-Eleven Detailed Site Package:

1. A detailed site plan, landscape plan and building elevations have been provided for the proposed 7-Eleven pad site development.

ORDINANCE NO. 2019-006

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ISSUING CONDITIONAL USE PERMIT CU19-02 TO AMEND PREVIOUSLY APPROVED SITE PLAN CU18-08 (ORDINANCE NO. 2018-37) FOR A MASTER SITE DEVELOPMENT PLAN SPECIFICALLY TO AMEND THE SQUARE FOOTAGE AND ELEVATIONS OF THE PREVIOUSLY APPROVED RETAIL SPACE, PROVIDE FOR ADDITIONAL ON-PREMISE SIGNAGE, AND ALLOW FOR GASOLINE SALES, AND OFF-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER AND WINE ONLY) IN CONJUNCTION WITH A CONVENIENCE STORE FOR LOTS 1A1, 2A, 3A1, 3A2, 5AR1A, 5AR2, BLOCK A, GRAPEVINE MILLS CROSSING ADDITION (3540, 3550, AND 3580 NORTH GRAPEVINE MILLS BOULEVARD) IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the

vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally

classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU19-02 to amend the previously site plan of CU18-08 (Ordinance No. 2018-37) for a master site development plan specifically to amend the square footage and elevations of the previously approved retail space, provide for additional on-premise signage, and allow for gasoline sales, and off-premise consumption of alcoholic beverages (beer and wine only) in conjunction with a convenience store, in a district zoned "CC" Community Commercial District within the following described property: Lots 1A1, 2A, 3A1, 3A2, 5AR1A, 5AR2, Block A, Grapevine Mills Crossing Addition (3540, 3550, and 3580 North Grapevine Mills Boulevard) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. That the City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. That this ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. That any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of February, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

THE SHOPS AT GRAPEVINE MILLS CROSSING

CUP RETAIL SUBMITTAL
GRAPEVINE, TEXAS
JANUARY 2019



VICINITY MAP

SHEET INDEX:

Sheet No.	Sheet Name
1	COVER SHEET
2	RETAIL SITE PLAN
3	RETAIL DIMENSION CONTROL PLAN
4	RETAIL SIGNAGE PLAN
5	BUILDING 2 - ELEVATIONS
6	BUILDING 4 - ELEVATIONS
7	SIGNAGE TYPES 01
8	SIGANGE TYPES 02
9	7-11 SITE PLAN / DIMENSIONAL CONTROL
10	7-11 GRADING & DRAINAGE PLAN
11	7-11 FLOOR PLAN
12	7-11 ELEVATIONS
13	7-11 LANDSCAPE PLAN
14	7-11 LANDSCAPE DETAILS

OWNER:
BILLINGSLEY COMPANY
ONE ARTS PLAZA
1722 ROUTH STREET, SUITE 770
DALLAS, TEXAS 75201
214-725-3365

CIVIL ENGINEER:
CATES-CLARK & ASSOCIATES, LLP
14800 QUORUM DRIVE, SUITE 200
DALLAS, TEXAS 75254
214-385-2272

CASE NAME: The Shops at Grapevine
Mills Crossing
CASE NUMBER: CU19-02
ADDRESS/LEGAL: 354D, 355D, 358D North
Grapevine Mills Boulevard

MAYOR _____ SECRETARY _____
DATE: _____

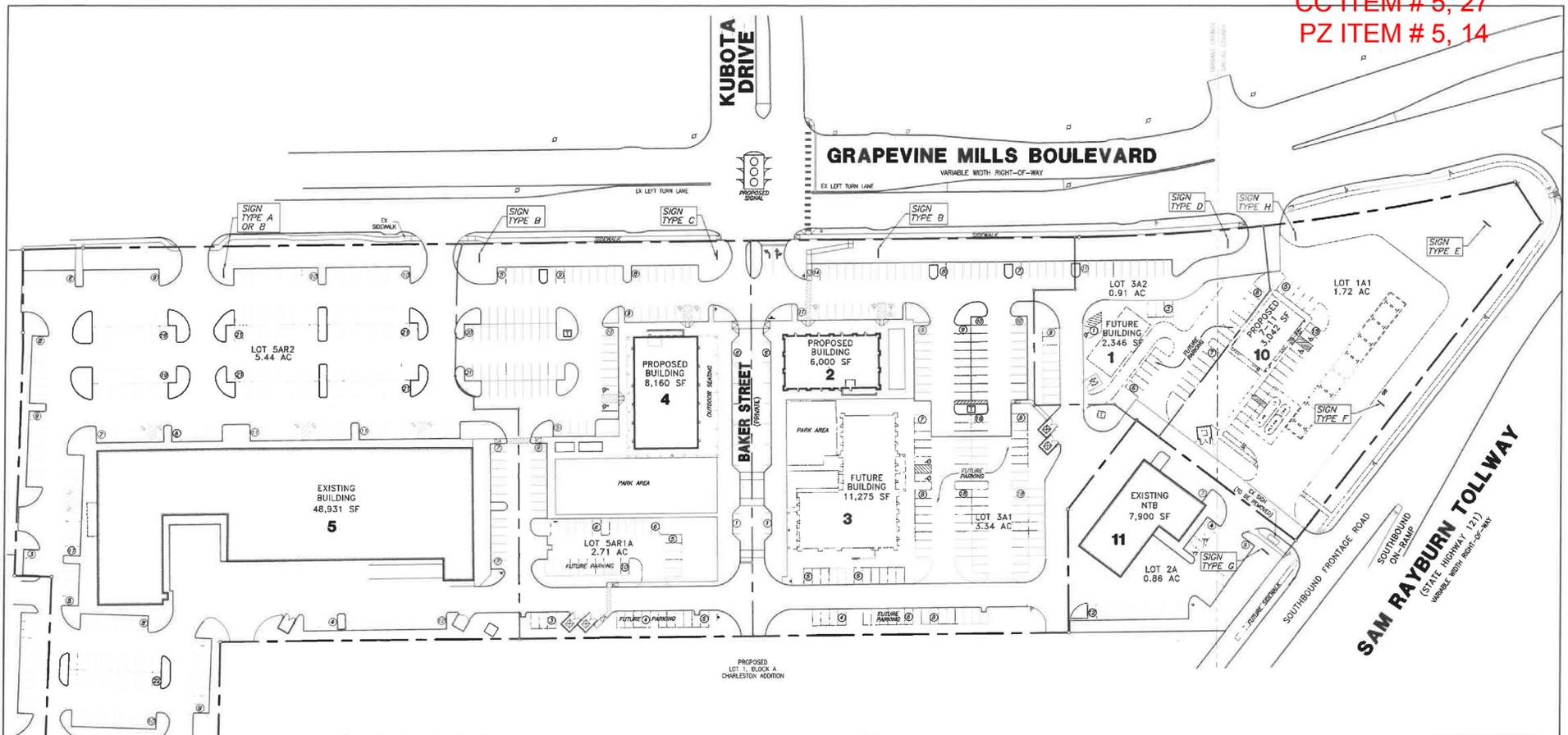
PLANNING AND ZONING COMMISSION

CHAIRMAN _____
DATE: _____

SHEET: 1 OF 14

APPROVAL DOES NOT AUTHORIZE ANY WORK IN
CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

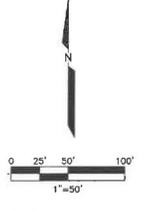


PROJECT DATA									
LOT	LAND AREA (S.F.)	BUILDING AREA (S.F.)	OCCUPANCY	BUILDING HEIGHT (MAX.)	PARKING REQUIRED	PARKING PROVIDED	BUILDING COVERAGE	OPEN SPACE (S.F.)	IMPERVIOUS SURFACE (S.F.)
LOT 1A1	74,814	3,042	GAS/CONVENIENCE	18'-10"	21	36	4.1%	33,459	41,355
LOT 2A	37,690	7,900	RETAIL	N/A	32	32	21.0%	6,675	31,005
LOT 3A1	145,340	17,275	RETAIL/RESTAURANT	27'-0"	217	189	11.9%	25,266	120,074
LOT 3A2	39,554	2,346	RESTAURANT	25'-10"	58	45	5.9%	9,233	30,321
LOT 3A1A	118,138	8,160	RETAIL/RESTAURANT	20'-4"	115	143	5.9%	30,431	87,707
LOT 5A2	236,822	48,931	RET./REST./INDOOR COM.	32'-4"	306	308	20.7%	31,335	205,487
GRAND TOTAL	352,348	87,654			750	753	24.9%	136,328	497,849

PARKING SUMMARY						
LOT 1A1	LOT 2A	LOT 3A1	LOT 3A2	LOT 3A1A	LOT 5A2	
3,042 SF GAS STATION/CONVENIENCE	7,900 SF RETAIL	2,300 RETAIL W/ 14,775 RESTAURANT	2,346 RESTAURANT WITH DRIVE THRU	8,160 RESTAURANT	2,327 RESTAURANT	
TOTAL PARKING REQUIRED: 21	TOTAL PARKING REQUIRED: 32	TOTAL PARKING REQUIRED: 217	TOTAL PARKING REQUIRED: 59	TOTAL PARKING REQUIRED: 115	TOTAL PARKING REQUIRED: 115	35
TOTAL PARKING PROVIDED: 36	TOTAL PARKING PROVIDED: 32	TOTAL PARKING PROVIDED: 189	TOTAL PARKING PROVIDED: 45	TOTAL PARKING PROVIDED: 143	TOTAL PARKING PROVIDED: 308	200

SHOPPING CENTER RETAIL
RESTAURANT IN SHOPPING CENTER
INDOOR COMMERCIAL AMUSEMENT
RESTAURANT WITH DRIVE THRU
GAS STATION/CONVENIENCE

4 SPACES PER 1000 SF
10 ADDITIONAL SPACES PER 1000 SF
1 PER 100 SF
1 PER 50 SF PLUS 12
5 PLUS 1 SP PER 200 SF



Conditional use request CU19-02 is a request to amend the previously approved site plan of CU18-08 (Ord. 18-37) for a master site development plan specifically to amend the square footage and elevations of the previously approved retail space, provide for additional on-premise signage, and allow for gasoline sales and off-premise consumption of alcoholic beverages (beer and wine only) in conjunction with a convenience store.

NOT FOR CONSTRUCTION

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY LAWRENCE A. CATES, P.E. #1838 ON 2/06/19

CASE NAME: The Shops at Grapevine
M&T Crossing
CASE NUMBER: CU19-02
ADDRESS/LOCAL: 3540, 3550, 3560 Alameda
Grapevine Mills Boulevard

DATE: _____ MAYOR _____ SECRETARY _____
PLANNING AND ZONING COMMISSION

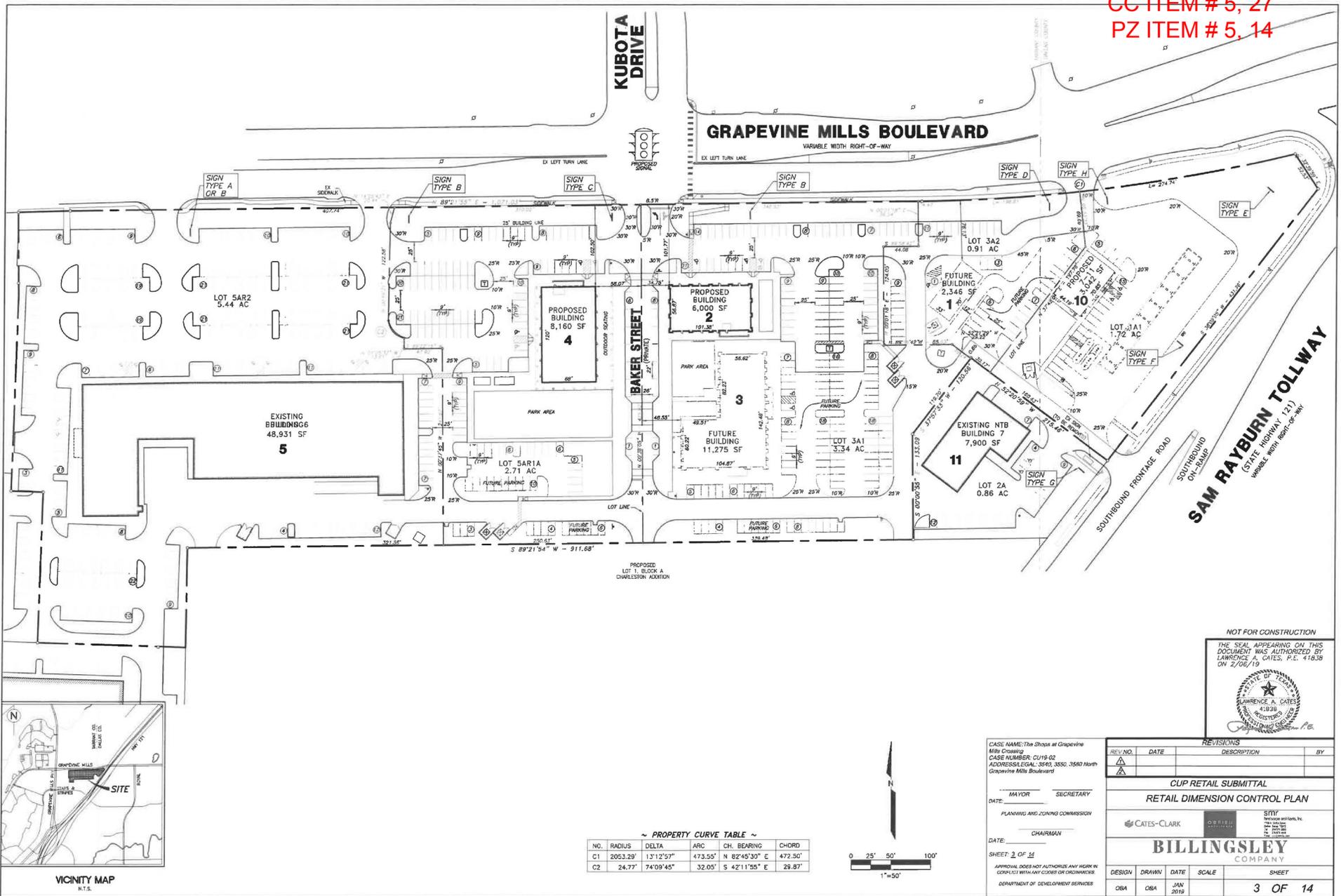
DATE: _____ CHAIRMAN _____

SHEET: 2 OF 14
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.
DEPARTMENT OF DEVELOPMENT SERVICES

REVISIONS			
REV. NO.	DATE	DESCRIPTION	BY

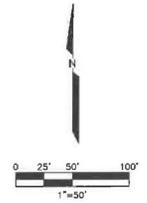
CUP RETAIL SUBMITTAL
RETAIL SITE PLAN

DESIGN: CBA DRAWN: CBA DATE: JAN 2019 SCALE: SHEET: 2 OF 14



~ PROPERTY CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
C1	2053.29'	13°12'57"	473.55'	N 82°45'30" E	472.50'
C2	24.77'	74°09'45"	32.05'	S 42°11'55" E	28.87'



NOT FOR CONSTRUCTION

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY LAWRENCE A. GATES, P.E. 41838 ON 2/06/19

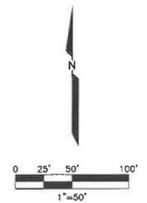
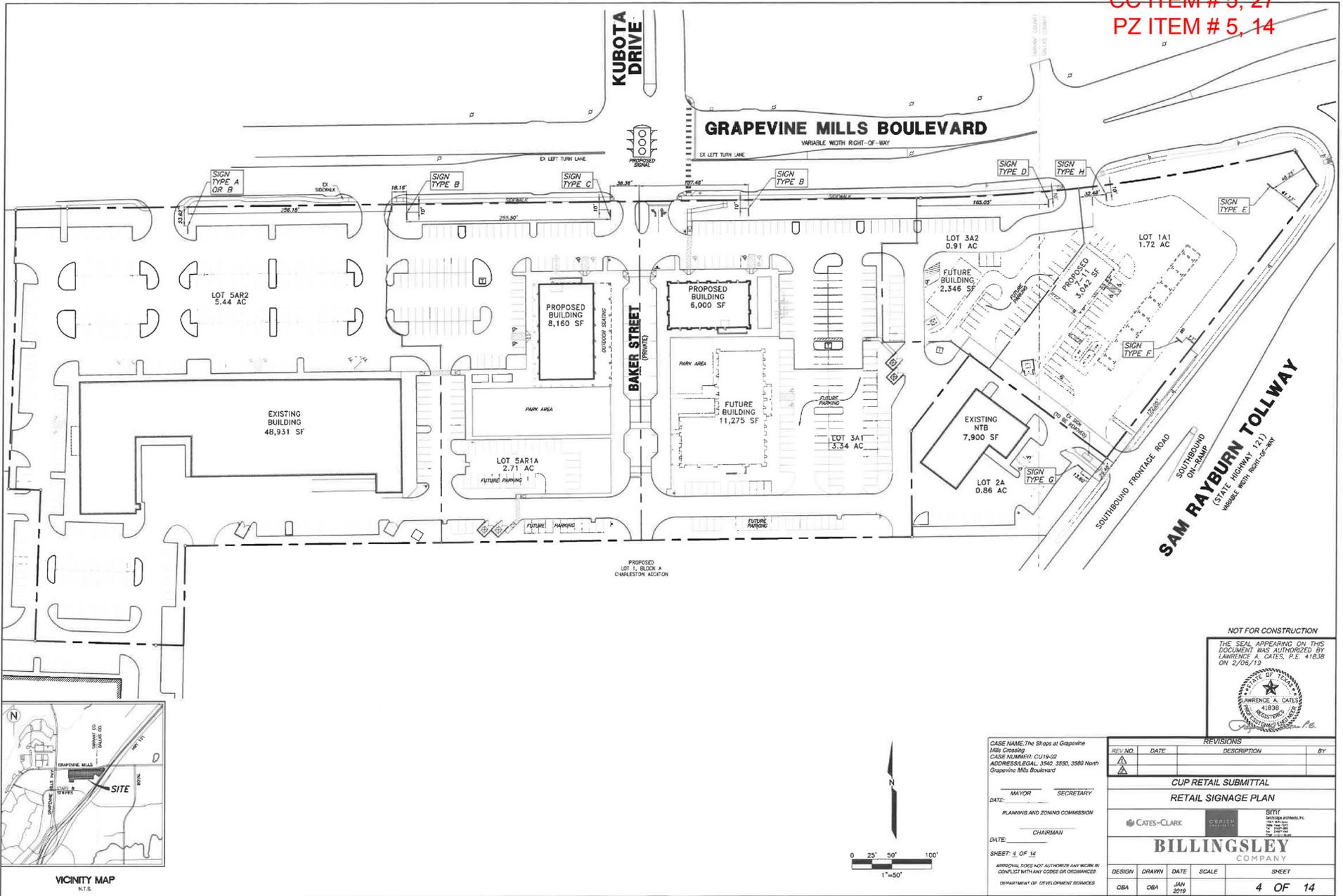


CASE NAME: The Shops at Grapevine Mills Crossing
CASE NUMBER: CU19 02
ADDRESS: LEGAL: 3540, 3550, 3560 North Grapevine Mills Boulevard
DATE: _____ MAYOR SECRETARY
PLANNING AND ZONING COMMISSION
DATE: _____ CHAIRMAN
SHEET 3 OF 14
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES
DEPARTMENT OF DEVELOPMENT SERVICES

REVISIONS			
REV. NO.	DATE	DESCRIPTION	BY
CUP RETAIL SUBMITTAL			
RETAIL DIMENSION CONTROL PLAN			
CATES-CLARK		STAFF Lawrence A. Gates, Inc. No. 41838 P.E. 2000 West Loop West Suite 200 Dallas, TX 75243	
BILLINGSLEY COMPANY			
DESIGN	DRAWN	DATE	SCALE
OBA	OBA	JAN 2019	
			SHEET 3 OF 14

Y:\2019\BIDDING\2019 602 OVERALL DIMENSION PLAN.dwg, 2/7/2019 7:43:29 AM, C116

CC ITEM # 5, 27
PZ ITEM # 5, 14



NOT FOR CONSTRUCTION

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY LAWRENCE A. CATES, P.E. 41838 ON 2/08/19



CASE NAME: The Shops at Grapevine Mills Crossing
CASE NUMBER: CU19-02
ADDRESS: LOCAL 3560, 3550, 3580 North Grapevine Mills Boulevard

DATE: _____ MAYOR _____ SECRETARY _____
PLANNING AND ZONING COMMISSION

DATE: _____ CHAIRMAN _____

SHEET 4 OF 14

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

DEPARTMENT OF DEVELOPMENT SERVICES

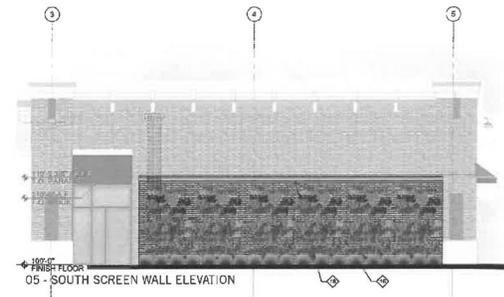
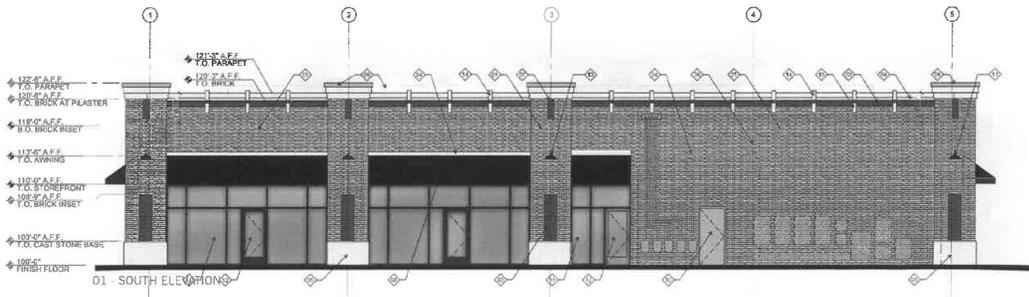
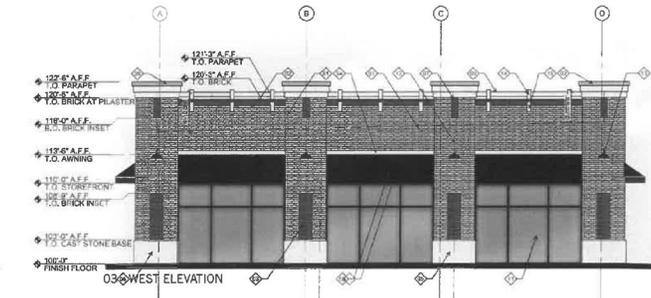
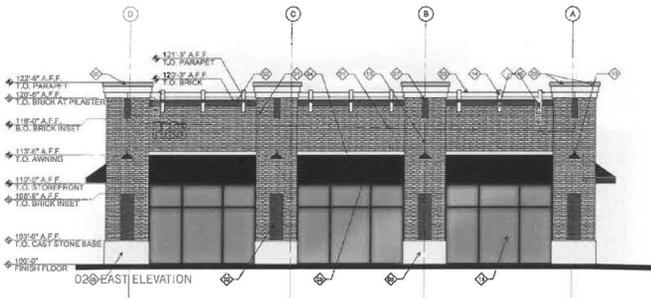
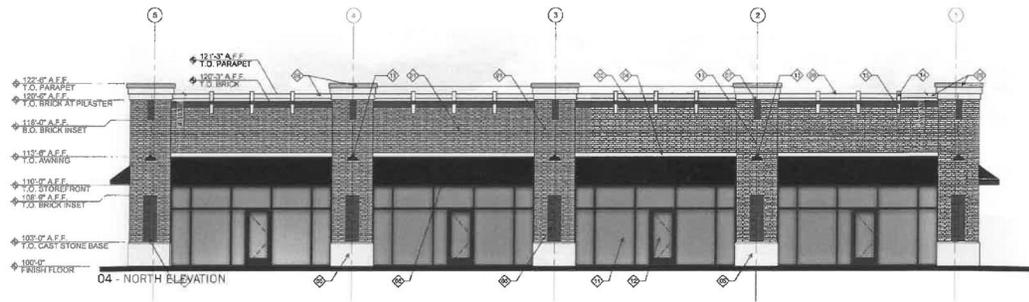
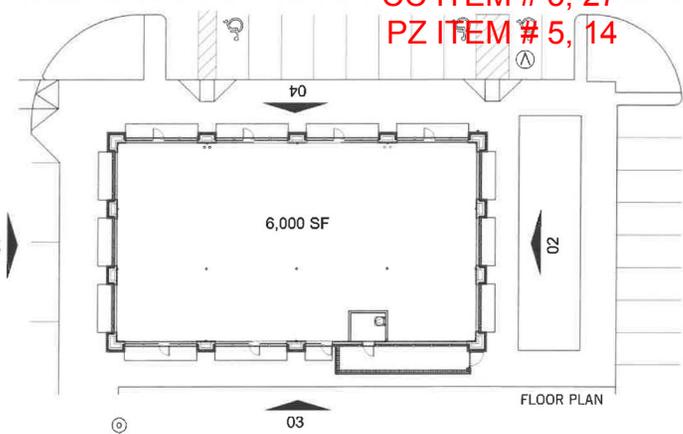
REVISIONS			
REV. NO.	DATE	DESCRIPTION	BY

CUP RETAIL SUBMITTAL
RETAIL SIGNAGE PLAN

DESIGNER: CATES-CLARK
DATE: _____

SCALE: _____

SHEET: 4 OF 14



NOT FOR CONSTRUCTION



KEY NOTES

- 1. 3/4" THICK 4x8x16 LIME HALLE BRICK VENEER RUD ON CHICKEN CORNER IN HANDED BRICK & BLOCK, W/ AIR SPACE OVER W/ AIR SPACES, BRICKS OVER 1/2" S.L.U. OFF. BY 1/4" INSTEAD OF 1/2" ON METAL STUD FRAMING
- 2. THREE (3) BRICK ROWLOCK COURSES OF 3/4" THICK KING RED ACCENT BRICK VENEER PROJECTED 1/2" FROM FACE BY HANDED BRICK & BLOCK, W/ AIR SPACES OVER W/ AIR SPACES, BRICKS OVER 1/2" S.L.U. OFF. BY 1/4" INSTEAD OF 1/2" ON METAL STUD FRAMING
- 3. TWENTY-THREE (23) BRICK BOND COURSES BY TWO (2) ROWS OF 23 THICK KING RED ACCENT BRICK VENEER COURSES 1/2" COLOR, 19 ROWS BY HANDED BRICK & BLOCK, W/ AIR SPACES OVER W/ AIR SPACES, BRICKS OVER 1/2" S.L.U. OFF. BY 1/4" INSTEAD OF 1/2" ON METAL STUD FRAMING
- 4. EPS IRM, PROFILE AS INDICATED (COLOR, MANUFACTURER AS SELECTED BY G.C.)
- 5. 2" THICK CAST STONE BASE, BY ARCSPEL, COLOR NEAR (ARCSPEL) FIVE, 3/4" ON 1/2" S.L.U. OFF. BY 1/4" INSTEAD OF 1/2" ON WOOD STUD FRAMING (COLOR, SHIP BY ADVANCED ARCHITECTURAL STONE)
- 6. BRICK VENEER CORNER JOINT
- 7. TEN (10) BRICK 8" TALL BRICK COURSES BY ONE (1) ROW OF 3/4" THICK KING RED ACCENT BRICK VENEER COURSES 1/2" COLOR, 19 ROWS BY HANDED BRICK & BLOCK, W/ AIR SPACES OVER W/ AIR SPACES, BRICKS OVER 1/2" S.L.U. OFF. BY 1/4" INSTEAD OF 1/2" ON METAL STUD FRAMING
- 8. PREFINISHED METAL CORNING (COLOR, MANUFACTURER AS SELECTED BY G.C.)
- 9. H.H. DOOR & FRAME, INSULATED, PAINTED
- 10. 4L ALUMINUM STOREFRONT SYSTEM (COLOR, DARK BRONZE) BULLSEYE BY KAWNEER, W/ 1" INSULATED, CLEAR GLASS
- 11. 7" FRESH 1/2" 2" ALUMINUM STOREFRONT DOOR, (COLOR, DARK BRONZE) BY KAWNEER, W/ 1" INSULATED, CLEAR GLASS
- 12. WALL MOUNTED INDIRECT LUMINAIRE, BASE IS 1/2" CLEAR ABOVE SPACER, FIXTURE IS CENTERED VERTICALLY ON PLUMB STUD WALL STUD FRAMING
- 13. 7" THICK EPS CORSEL, PROFILES AS INDICATED (COLOR, MANUFACTURER AS SELECTED BY G.C.)
- 14. 5" THICK EPS CORSEL, PROFILES AS INDICATED (COLOR, MANUFACTURER AS SELECTED BY G.C.)
- 15. UTILITY SCREEN WALL, TYPICAL, (COLOR, BLOCK CLASSIFIED WITH KING RED, BRICK OVER AIR FIELD AREA OF BUILDING (COLOR, CHICKEN CORNER BY HANDED BRICK & BLOCK)
- 16. FIRE DEPARTMENT CONNECTION, R.F. MIP
- 17. 9" TALL CAST STONE CAP, PROFILES AS INDICATED

CASE NAME: The Shops at Crispwater
Mills Crossing
CASE NUMBER: CV19-02
ADDRESS LOCAL: 15603, 35502, 35800 North Crispwater Mills Boulevard

REVISIONS

REV. NO.	DATE	DESCRIPTION	BY
1			

MAYOR SECRETARY
PLANNING AND ZONING COMMISSION
CHAIRMAN

SHEET: 5 OF 14

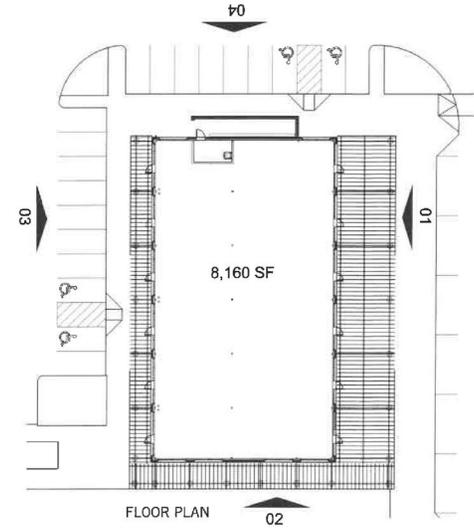
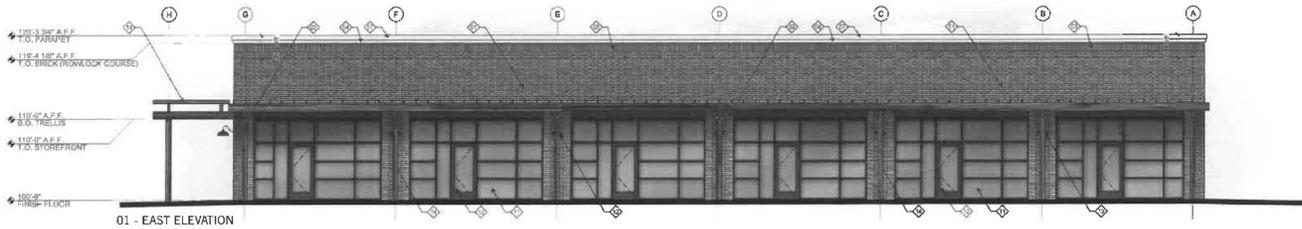
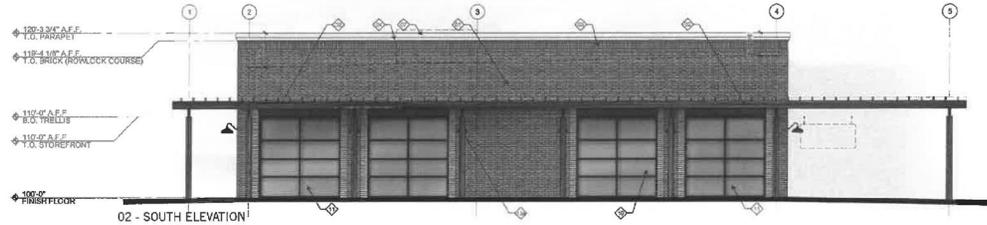
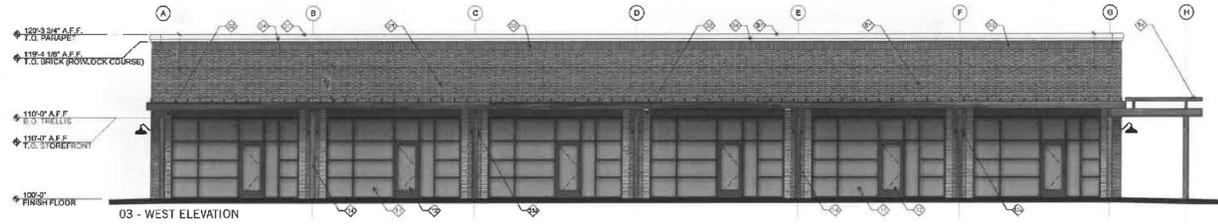
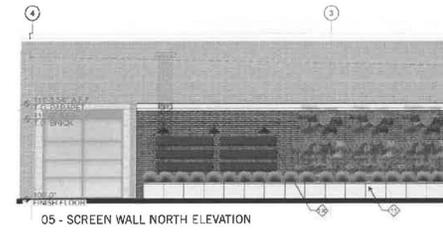
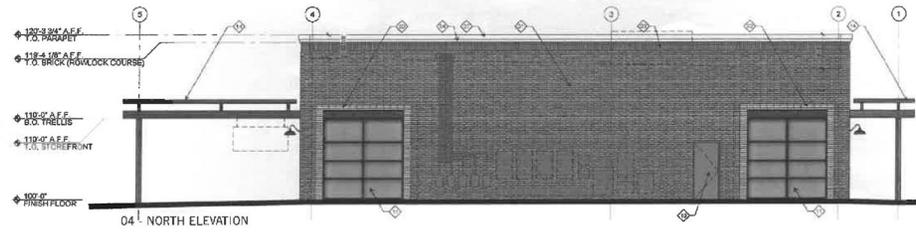
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES
DEPARTMENT OF DEVELOPMENT SERVICES

DESIGN	DRAWN	DATE	SCALE	SHEET
ORA	ORA	JAN 2019		5 OF 14

CUP RETAIL SUBMITTAL
BUILDING 2 - ELEVATIONS

CATES-CLARK
BILLINGSLEY COMPANY

SITP
info@sitp.com
10000 West Loop South
Suite 1000
Houston, TX 77042



KEY NOTES

- ◆ 2-3/8" THICK KING SIZE FIELD BRICK VENEER, W/ AIR SPACE OVER HIGH RESISTIVE BARRIER OVER EXT. GYP. SHEATHING ON METAL STUD FRAMING
- ◆ ONE (1) ROWLOCK BRICK COURSE ROW OF 3-3/4" THICK KING SIZE ACENT BRICK VENEER PROTECTED W/ AIR SPACE OVER HIGH RESISTIVE BARRIER OVER EXT. GYP. SHEATHING ON METAL STUD FRAMING
- ◆ PREFABRICATED METAL COPING (COLOR TO MATCH "MFP" COLORED CAP) STONE
- ◆ ALL UNROUTED INDIRECT LIGHTING LUMINAIRE, BASE IS MOUNTED AT 2'-0" ABOVE GRADE, FIXTURE IS CENTERED VERTICALLY ON PLASTER U N D
- ◆ 8" ACB BRICK COURSE OF 2-3/8" THICK KING SIZE ACENT BRICK VENEER PROTECTED W/ AIR SPACE OVER HIGH RESISTIVE BARRIER OVER EXT. GYP. SHEATHING ON METAL STUD FRAMING TO FINISH STOREFRONT
- ◆ ONE (1) 8" DEEP BRICK COURSE ROW OF 3-3/4" THICK KING SIZE ACENT BRICK VENEER PROTECTED W/ AIR SPACE OVER HIGH RESISTIVE BARRIER OVER EXT. GYP. SHEATHING ON METAL STUD FRAMING
- ◆ 1/4" DOOR & FRAME, INSULATED, PAINTED
- ◆ ALL UNROUTED INDIRECT LIGHTING LUMINAIRE ON SHAWNEE, MOUNTED SIDE IS MOUNTED AT 2'-0" ABOVE GRADE, FIXTURE IS CENTERED VERTICALLY ON PLASTER U N D
- ◆ ONE (1) 8" DEEP BRICK COURSE ROW OF 3-3/4" THICK KING SIZE ACENT BRICK VENEER PROTECTED W/ AIR SPACE OVER HIGH RESISTIVE BARRIER OVER EXT. GYP. SHEATHING ON METAL STUD FRAMING
- ◆ PREFABRICATED METAL FASCIA (COLOR TO MATCH "MFP" COLOR OF CAST STONE)
- ◆ ALUM GLASS STOREFRONT SYSTEM (BLACK COLORED MULLIONS, W/ F-INSULATED, ONE-FRAME SLABS)
- ◆ AGOOD TRILLIS - 7" x 8" EXT. WOOD RAILS ON 4" x 8" EXT. WOOD BEAMS ON 4" x 8" WOOD POSTS
- ◆ 1/2" HIGH x 2-1/2" ALUM GLASS STOREFRONT DOOR, W/ 1/4" TAPERED, ONE-TANTED GLASS
- ◆ UTILITY SCREEN WALL, W/ CAST STONE PLANTER - TYPICAL CURB BLOCK COURSE WITH ONE SIDE BRICK TO MATCH FIELD BRICK OF BUILDING, CAST STONE CAP

NOT FOR CONSTRUCTION



John O'Brien

CASE NAME: The Shops at Grapevine
 M&A Drawing
 CASE NUMBER: CU19-02
 ADDRESS/LEGAL: 3540, 3550, 3580 North Grapevine Mills Boulevard

DATE: _____ MAYOR _____ SECRETARY
 PLANNING AND ZONING COMMISSION

DATE: _____ CHAIRMAN

SHEET: 6 OF 14

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

REVISIONS			
REV. NO.	DATE	DESCRIPTION	BY
1			

CUP RETAIL SUBMITTAL
 BUILDING 4 - ELEVATIONS

CATES-CLARK

BILLINGSLEY
 COMPANY

SMT
 SHERMAN OFFICE INC.
 2000 W. WILSON
 SUITE 100
 FORT WORTH, TX 76102

DESIGN	DRAWN	DATE	SCALE	SHEET
CWA	CBA	JAN 2019		6 OF 14

SIGN TYPE A: EXISTING RETAIL MULTI-TENANT MONUMENT SIGN

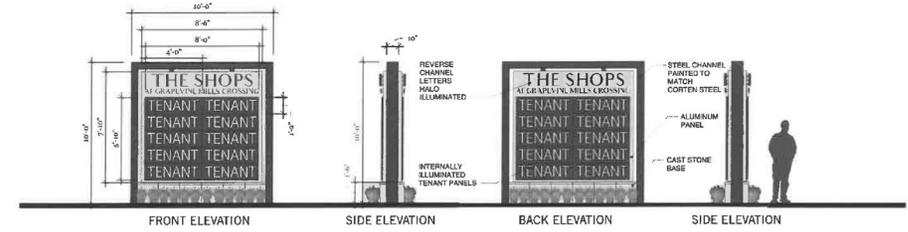


APPROVED SIGN: MONUMENT
SIGNAGE AREA: 54 SQ.FT.



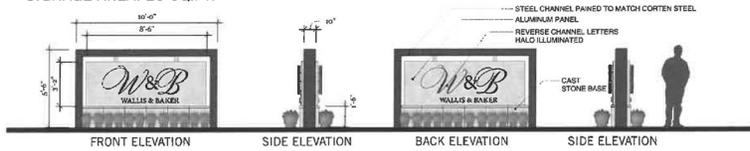
SIGN TYPE B: PROPOSED RETAIL MULTI-TENANT MONUMENT SIGN

SIGNAGE AREA: 67 SQ.FT.



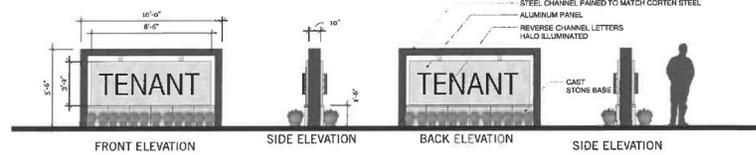
SIGN TYPE C: PROPOSED MULTI-FAMILY MONUMENT SIGN

SIGNAGE AREA: 26 SQ.FT.



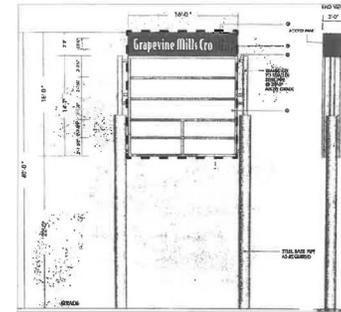
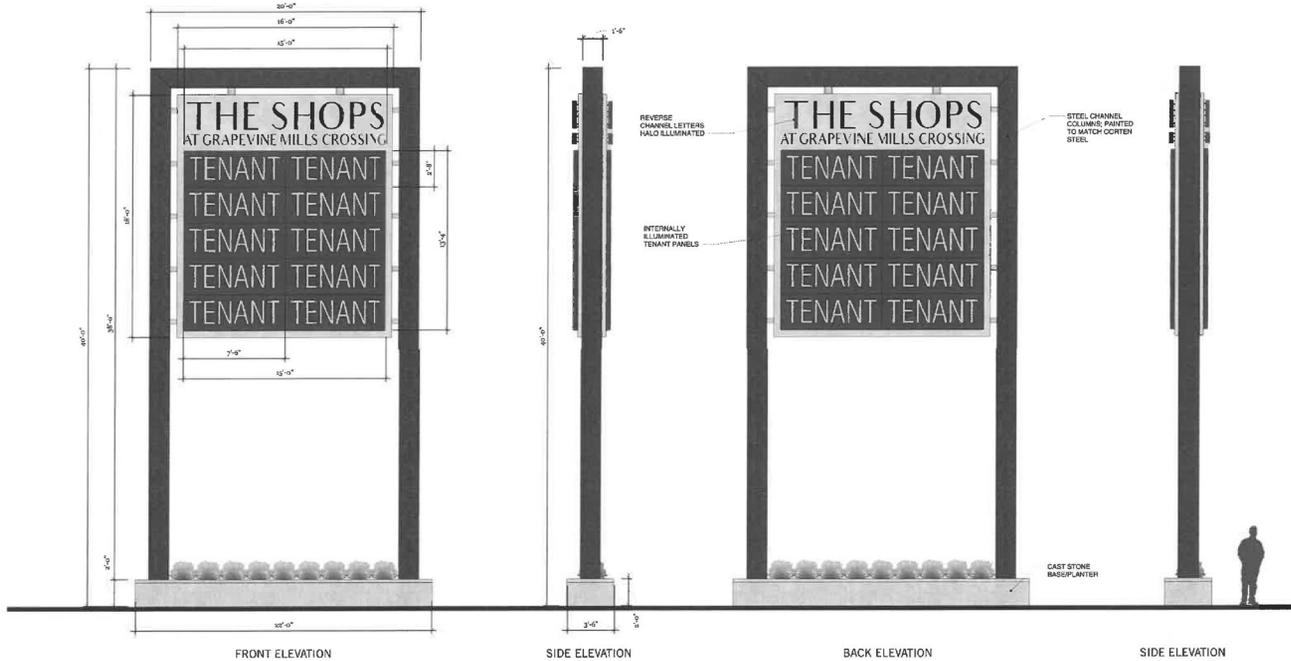
SIGN TYPE D: PROPOSED RETAIL SINGLE TENANT MONUMENT SIGN

SIGNAGE AREA: 26 SQ.FT.



SIGN TYPE E: PROPOSED RETAIL MULTI-TENANT PYLON SIGN

SIGNAGE AREA: 288 SQ.FT.



APPROVED SIGN: PYLON
SIGNAGE AREA: 288 SQ.FT.

NOT FOR CONSTRUCTION



TEAM ORLEN

CASE NAME: The Shops at Grapevine Mills Crossing
 CASE NUMBER: CU19-02
 ADDRESS/LEGAL: 3540, 3550, 3580 North Grapevine Mills Boulevard
 DATE: _____ MAYOR _____ SECRETARY _____
 PLANNING AND ZONING COMMISSION
 DATE: _____ CHAIRMAN _____
 SHEET: 7 OF 14
 APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.
 DEPARTMENT OF DEVELOPMENT SERVICES

REVISIONS		DESCRIPTION	BY
REV NO	DATE		
1			

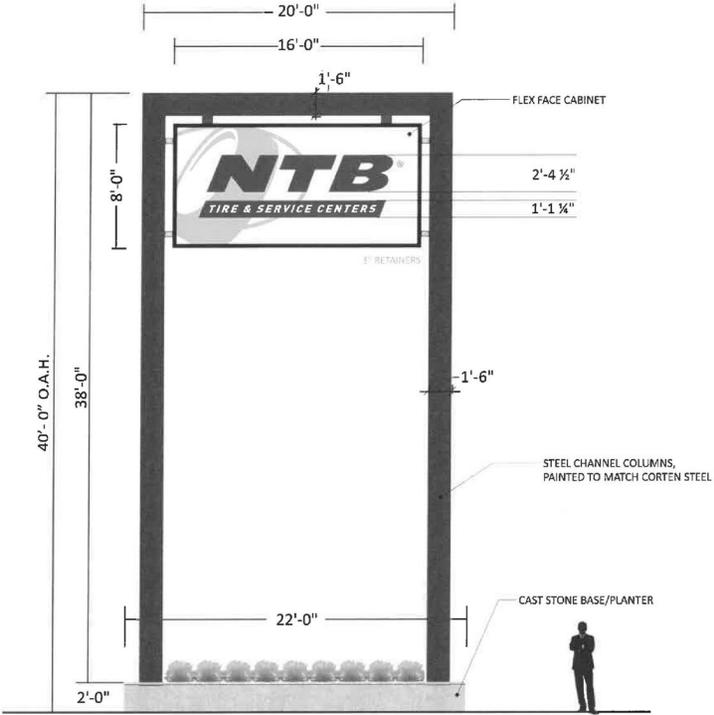
CUP RETAIL SUBMITTAL
SIGNAGE TYPES 01

CATES-CLARK
CORBIN
SITTY
PROFESSIONAL ARCHITECT, P.C.
200 N. GARDNER
DALLAS, TEXAS 75201
214.760.0000

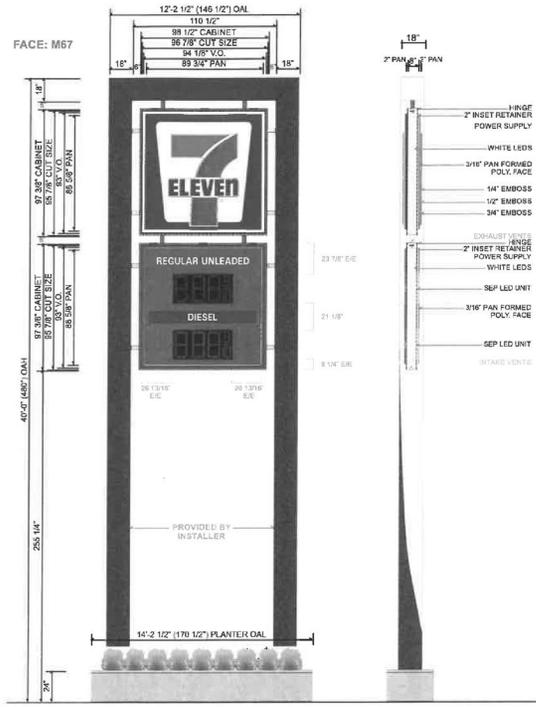
BILLINGSLEY COMPANY

DESIGN	DRAWN	DATE	SCALE	SHEET
OBA	OBA	JAN 2019		7 OF 14

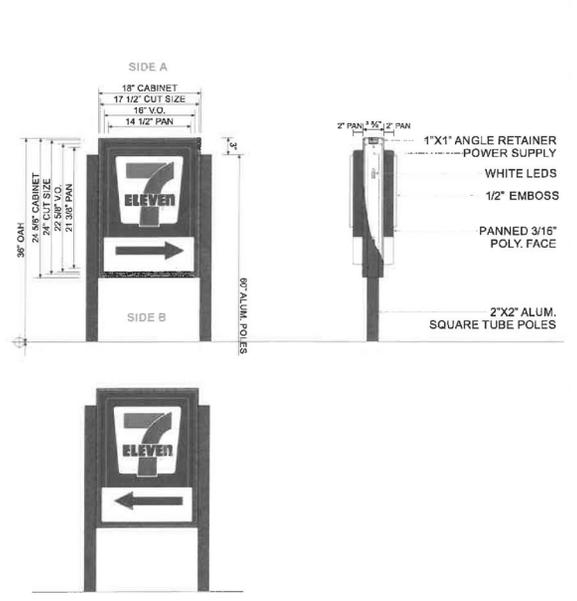
SIGN 1 128 SQ/FT



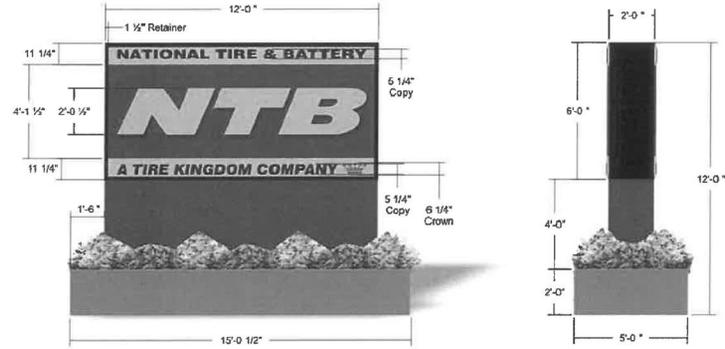
SIGN TYPE G: PROPOSED RETAIL SINGLE TENANT PYLON SIGN



SIGN TYPE F: PROPOSED RETAIL PYLON SIGN



SIGN TYPE H: PROPOSED RETAIL SINGLE TENANT DIRECTIONAL SIGN



EXISTING SINGLE TENANT MONUMENT SIGN (TO BE REMOVED)



NTB EXISTING

NOT FOR CONSTRUCTION



REV. NO.	DATE	DESCRIPTION	BY
1			

CASE NAME: The Shops at Grapevine
 ARB# Crossing
 CASE NUMBER: CU19-02
 ADDRESS/LEGAL: 3540, 3550, 3580 North Grapevine Mills Boulevard

DATE: _____ MAYOR _____ SECRETARY _____
 PLANNING AND ZONING COMMISSION

DATE: _____ CHAIRMAN _____

SHEET: 8 OF 14

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

DESIGN	DRAWN	DATE	SCALE	SHEET
OBA	OBA	JAN 2019		8 OF 14

CUP RETAIL SUBMITTAL
SIGNAGE TYPES 02

CATES-CLARK
BILLINGSLEY COMPANY

DESIGN DRAWN DATE SCALE SHEET
OBA OBA JAN 2019 8 OF 14



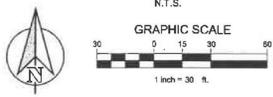
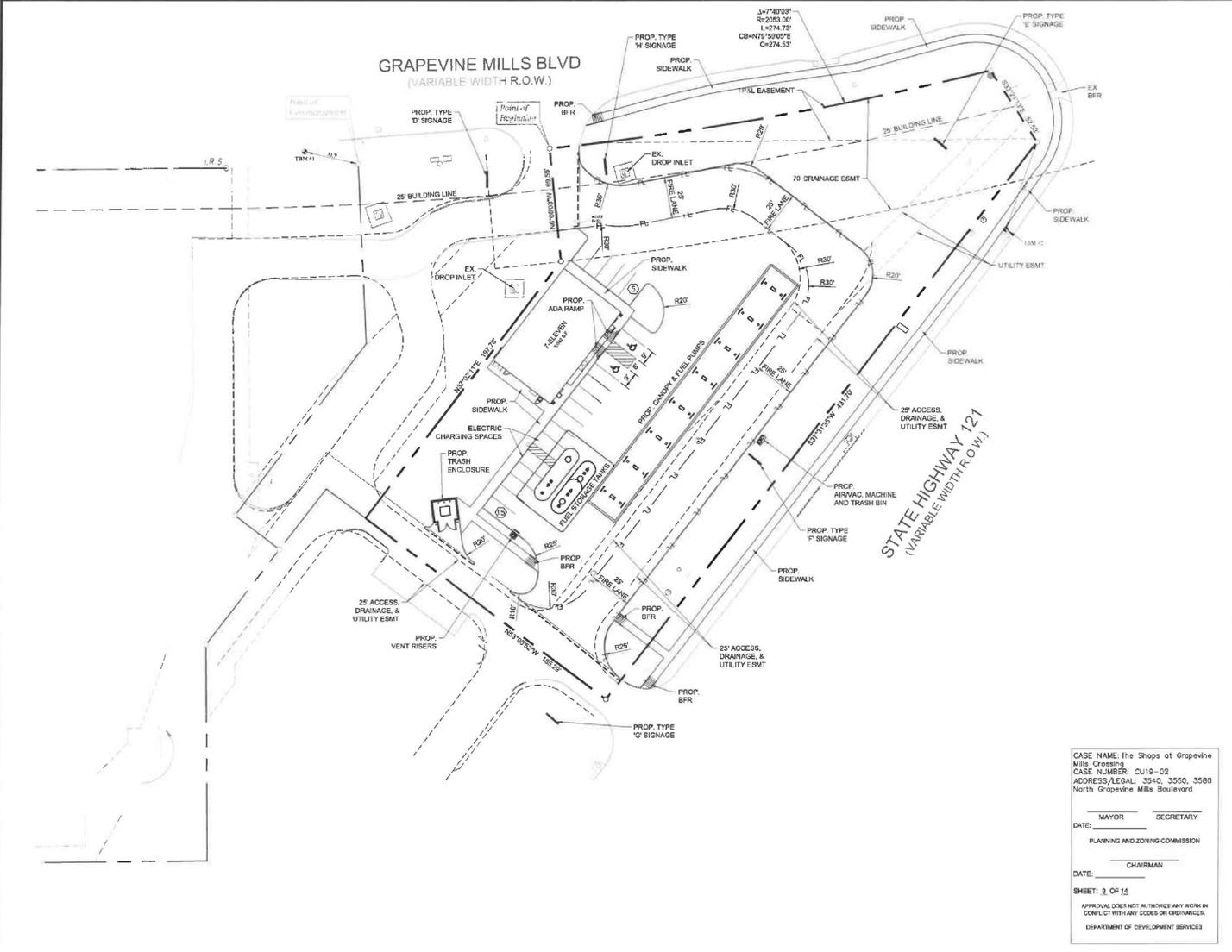
PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
SURVEYING AND PLANNING CONSULTANTS

Project: MILL CROSSING
File No. 2019-044-2/09/2019

**7-ELEVEN
3594 GRAPEVINE MILLS BLVD.
GRAPEVINE, TX**

NO.	DATE	REVISION
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SITE PLAN



LEGEND

---	EX. SEWER LINE
---	EX. WATER LINE
○	EX. FIRE HYDRANT
◇	PROPOSED FIRE HYDRANT
---	PROPOSED SEWER LINE
---	PROPOSED WATER LINE
○	STANDARD PARKING SPACES

- NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 2. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.

FLOODPLAIN NOTE

THIS PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP FOR DALLAS COUNTY, TEXAS AND INCORPORATED REAS. MAP NO. 48088 018-X VIA SCALED MAP LOCATION AND GRAPHIC PLOTTING.

SITE BENCHMARKS:

ELEVATIONS ARE REFERENCED TO CITY OF GRAPEVINE MONUMENT NO. 5, ALBUQUERQUE WITH CAP STAMPED "CITY OF GRAPEVINE MO. 07" LOCATED AT THE ENTRANCE TO THE CANON ELEMENTARY SCHOOL PARKING LOT, APPROXIMATELY 290 FEET NORTH OF THE INTERSECTION OF WEST COLLEGE STREET AND PEBBLEBROOK ROAD. ELEVATION = 532.01'

TM 01: SQUARE C/I WITH CHISELED "X" FOUND ON SOUTHWEST CORNER OF A CURB INLET, SOUTH SIDE OF GRAPEVINE MILLS BOULEVARD, 33.7'-11" NORTHWEST OF THE NORTH-WEST CORNER LOT 1A. ELEVATION = 524.50'

TM 02: SQUARE C/I WITH CHISELED "X" FOUND ON THE NORTH CORNER OF CURB INLET, WEST SIDE OF STATE HIGHWAY 121, 56.8'-4" SOUTHWEST OF THE EASTERN, NORTHWEST CORNER OF THE 5000.00' TRACT. ELEVATION = 524.88'

CASE NAME: The Shops at Grapevine Mills Crossing
CASE NUMBER: CU19-02
ADDRESS/LEGAL: 3540, 3550, 3580 North Grapevine Mills Boulevard

DATE: _____ MAYOR _____ SECRETARY _____
PLANNING AND ZONING COMMISSION

DATE: _____ CHAIRMAN _____

SHEET: 9 OF 14

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.
DEPARTMENT OF DEVELOPMENT SERVICES

SITE PLAN - CU19-02

LEGAL DESCRIPTION

A PORTION OF LOT 1A, B, C/D, E AND BEING A PORTION OF TRACT #4-A OF GRAPEVINE MILLS CROSSING, AN ADDITION TO THE CITY OF GRAPEVINE, DALLAS COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED UNDER INSTRUMENT NUMBER 25180294178, PLAT RECORDS, DALLAS COUNTY, TEXAS (1.72 ACRES).

OWNERS:
SCHAEFER CONSTRUCTION
2801 NETWORK BLVD., SUITE #413
FRISCO, TX 75034
SHANE PARTIDGE
PH. 972.951.7851

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #1008
BESFORD, TX 75021
PH. 817.281.0372

SURVEYOR:
WINDROSE LAND SURVEYING & PLATTING
220 SOUTH ELM STREET, SUITE 200
LEWISVILLE, TX 75057
JACK BARTON
PH. 214.217.2546

SITE DATA SUMMARY															
ZONING	LOT AREA	PROPOSED USE	BUILDING SF	BUILDING HEIGHT	BUILDING COVERAGE (80% MAX)	FLOOR AREA RATIO	PARKING RATIO REQ.	PARKING REQ.	PARKING PROV.	H.C. PARKING REQ.	H.C. PARKING PROV.	TOTAL IMPERVIOUS	LANDSCAPE REQ.	LANDSCAPE PROV.	
CC	74,820.73 SF	1.72 AC	GAS STATION/ CONVENIENCE	3,042	18'-10"	4.0%	0.04	5 + 1 SP /200 SF	21	36	2	2	44,706.73 SF	28,127 SF	30,115 SF

CITY	GRAPEVINE	STATE	TEXAS
COUNTY	DALLAS	SURVEY:	GRAPEVINE MILLS CROSSING
ABSTRACT NO.		DATE:	

PLOTTED BY: DEBRA DUNAWAY
PLOT DATE: 2/6/2019 1:01 PM
LOCATION: Y:\SHARED\PROJECTS\2019-142_CENTRAL_GRAPEVINE_MILLS\CADD\SHEETS\SP-1_SITE_PLANNING
LAST SAVED: 2/6/2019 11:45 AM

DESIGN: M
DRAWN: JH
CHECKED: MAN
DATE: 1/27/2019

SHEET 9

File No. 201841

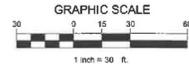


PRELIMINARY
FOR REVIEW ONLY
NOT FOR CONSTRUCTION PURPOSES.
CLAYMOORE ENGINEERING
MEMPHIS AND PLAINFIELD, COLORADO
Project: 18-011 MOORE
File No: 18011-001-2/25/2019

7-ELEVEN
3594 GRAPEVINE MILLS BLVD.
GRAPEVINE, TX

GRADING & DRAINAGE PLAN

DESIGN: HT
DRAWN: HT
CHECKED: MAM
DATE: 1/29/2019
SHEET 10



LEGEND

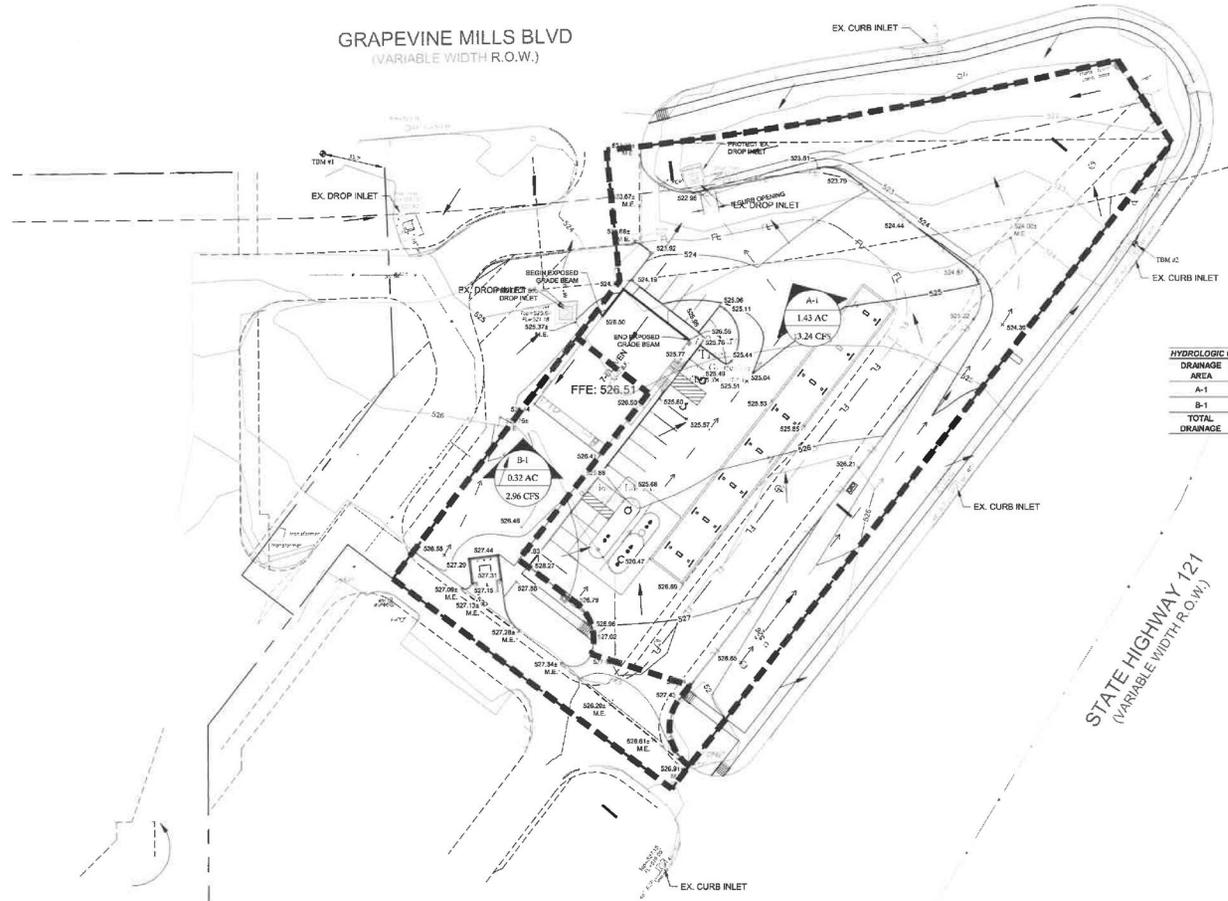
	— DRAINAGE AREA
	- DRAINAGE AREA IN ACRES
	- FLOW FOR DRAINAGE AREA IN CFS
	DIRECTION OF FLOW
	DRAINAGE AREA BOUNDARY

HYDROLOGIC CALCULATIONS - POST DEVELOPMENT

DRAINAGE AREA	AREA (AC.)	TC (MIN)	C	I _a (IN/HR)	Q _a (CFS)	I _{pe} (IN/HR)	Q _{pe} (CFS)	COLLECTION POINT
A-1	1.43	10	0.80	8.68	7.87	11.87	13.24	DRAINS TO EX. DROP INLET
B-1	0.32	10	0.80	8.68	1.78	11.87	2.95	DRAINS TO EX. DROP INLET
TOTAL DRAINAGE	1.75				9.65		16.20	

STATE HIGHWAY 121
(VARIABLE WIDTH R.O.W.)

GRAPEVINE MILLS BLVD
(VARIABLE WIDTH R.O.W.)



CASE NAME: The Shops at Grapevine Mills Crossing
CASE NUMBER: CU18-02
ADDRESS/LEGAL: 3540, 3550, 3580 North Grapevine Mills Boulevard

DATE: _____ MAYOR _____ SECRETARY _____
PLANNING AND ZONING COMMISSION

DATE: _____ CHAIRMAN _____

SHEET 10 OF 14

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.
DEPARTMENT OF DEVELOPMENT SERVICES

SITE BENCHMARKS

ELEVATIONS ARE REFERENCED TO CITY OF GRAPEVINE MONUMENT NO. 8 ALUMINUM ROD WITH CAP STAMPED 'CITY OF GRAPEVINE MON. 9'. LOCATED AT THE ENTRANCE TO THE CANON ELEMENTARY SCHOOL PARKING LOT, APPROXIMATELY 250 FEET NORTH OF THE INTERSECTION OF WEST COLLEGE STREET AND PEBBLEBROOK ROAD. ELEVATION = 633.01'

TEMP 1: SQUARE CUT WITH CHISSELED 'X' FOUND ON SOUTHWEST CORNER OF A CURB INLET, SOUTH SIDE OF GRAPEVINE MILLS BOULEVARD, 33.7'-4" NORTHWEST OF THE NORTHWEST CORNER. LOT 1A. ELEVATION = 624.52'

TEMP 2: SQUARE CUT WITH CHISSELED 'X' FOUND ON THE NORTH CORNER OF CURB INLET WEST SIDE OF STATE HIGHWAY 121, 58.8'-4" SOUTHWEST OF THE EASTERLY NORTHEAST CORNER OF THE SUBJECT TRACT. ELEVATION = 524.88'

PLOTTED BY: DEW DOWNSKY
PLOT DATE: 2/6/2019 11:44 AM
LOCATION: Y:\SHARED\PROJECTS\2018-142_CERTUS_GRAPEVINE_MILLS\CADD\SHEETS\C-7 PROPOSED DRAINAGE AREA MAP.DWG
LAST SAVED: 1/29/2019 3:21 PM

JAMES OSBORN SURVEY
ABSTRACT NO 558

TARRANT COUNTY
DALLAS COUNTY

JAMES OSBORN SURVEY
ABSTRACT NO 518

3/7/2019 9:55:19 AM
E
D
C
B
A
C:\Users\meda\Documents\16163 GRAPEVINE TX @ SH-121 & GPVINE MILLS_CENTRAL_BEG_djames2525.rvt

CC ITEM # 5, 27
PZ ITEM # 5, 14



CONSTRUCTION MANAGER
SCHAFER CONSTRUCTION
2363 NETWORK BLVD. STE 413
FRISCO, TX 75034

PROJECT
7-ELEVEN INC.
900 SW FINE ISLAND ROAD, SUITE 202
CAPE CANAL, FL 33991

7-ELEVEN STORE
SWC GRAPEVINE MILLS AT SH-121
GRAPEVINE, TX 76051
SCHAFER CONSTRUCTION
2363 NETWORK BLVD. STE 413
FRISCO, TX 75034



02/07/2019

Architect Name -
Architect Number -

REVISIONS

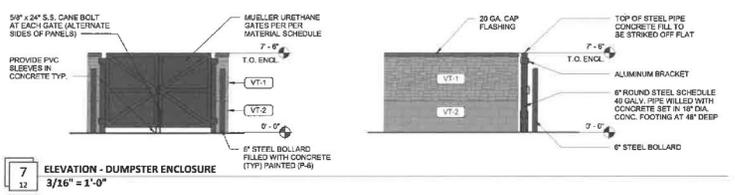
NO.	DATE	DESCRIPTION

PROJECT NUMBER: 16163
RELEASE DATE: 02/07/2019
7-11 ELEVATIONS

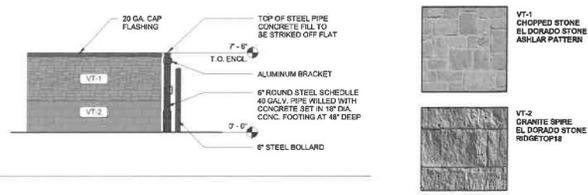
CASE NAME: The Shops at Grapevine
(25th Crossing)
CASE NUMBER: 0219-02
ADDRESS: 3040, 3050, 3060
North Grapevine Mills Boulevard

MAJOR SECRETARY
DATE: _____
PLANNING AND ZONING COMMISSION
DATE: _____
CHAIRMAN
SHEET 12 OF 14
APPROVAL DOES NOT AUTHORIZE ANY WORK
CONFLICT WITH ANY CODES OR ORDINANCES
DEPARTMENT OF DEVELOPMENT SERVICES

EXTERIOR MATERIALS SCHEDULE		
NO.	MATERIAL	MANUF./COLOR
MR-1	MEMBRANE ROOFING	DURULAST - WHITE
VT-1	CHOPPED STONE	CHOPPED STONE EL DORADO STONE ASH-LR PATTERN
VT-2	GRANITE SPIRE - STONE	GRANITE SPIRE EL DORADO STONE 40CGE0P18
P-3	EXTERIOR HW DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	SHERWIN WILLIAMS - SEAL SKIN SW 7673
P-6	EXTERIOR BOLLARDS	SHERWIN WILLIAMS - SEAL SKIN SW 7673
C-1	PREF-FINISHED ALUMINUM AWNING	AWNING WORKS OR THOMPSON AWNING - BRONZE BAKED STONE OR THOMPSON AWNING - BRONZE BAKED ENAMEL W/ REAR GUTTER CONNECTIONS
B-1	ALUMINUM STOREFRONT GLAZING, CAP FLASHING, DOWNSPOUTS & SCUPPERS	DARK BRONZE
FC-1	FUEL CANOPY FASCIA	EASTMAN WHITE PY-25

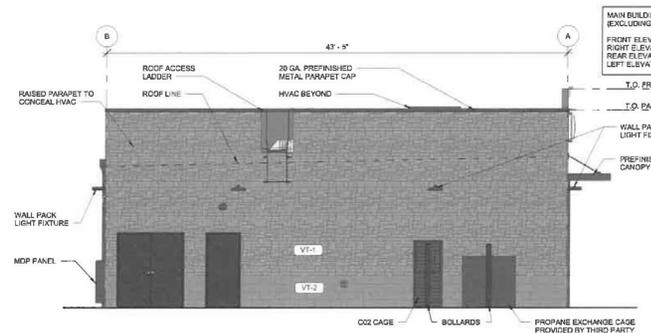
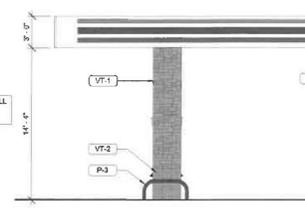
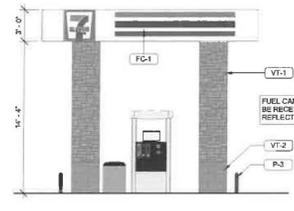


7
ELEVATION - DUMPSTER ENCLOSURE
3/16" = 1'-0"

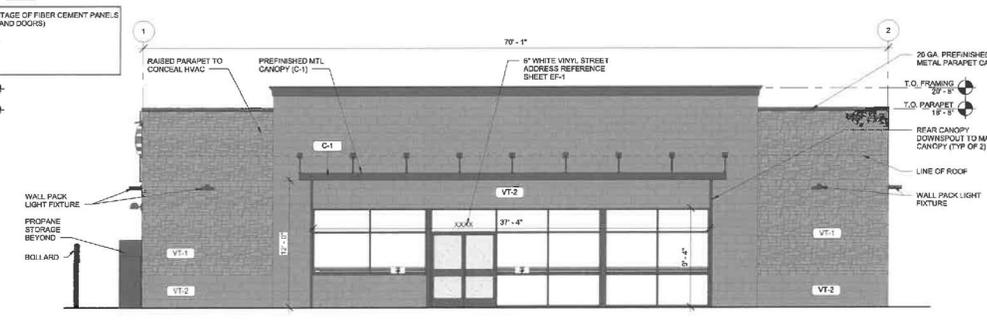


6
ELEVATION - FUEL CANOPY (SHORT)
3/16" = 1'-0"

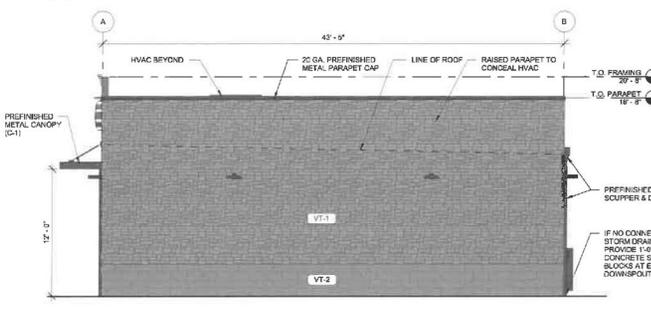
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ELEVATION - FUEL CANOPY (LONG)
3/16" = 1'-0"



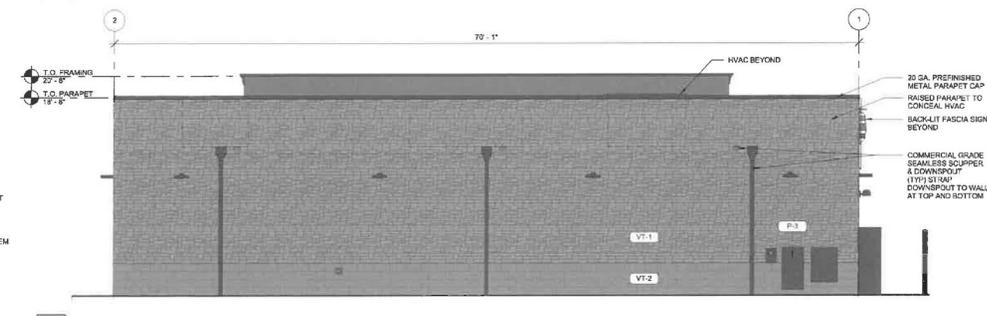
4
ELEVATION - LEFT SIDE
3/16" = 1'-0"



3
ELEVATION - FRONT
3/16" = 1'-0"



2
ELEVATION - RIGHT SIDE
3/16" = 1'-0"



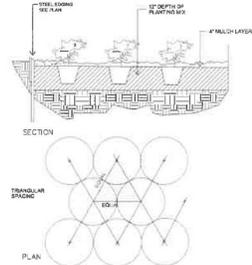
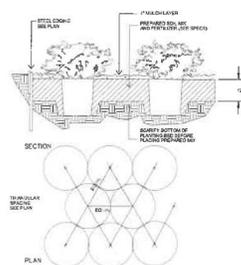
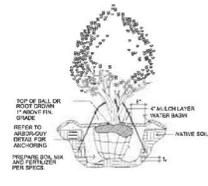
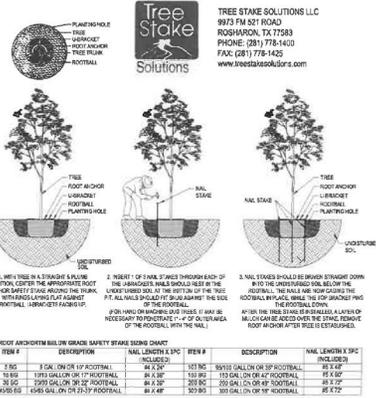
1
ELEVATION - REAR
3/16" = 1'-0"

PLANT LIST

CANOPY TREES			
9	LO	Live Oak	Quercus virginiana 3" cal. B&B 12' ht. 5' spread
2	SD	Shumard Oak	Quercus shumardii 3" cal. B&B 12' ht. 6' spread
1	CE	Cedar Elm	Ulmus crassifolia 3" cal. B&B 12' ht. 5' spread
ORNAMENTAL TREES			
3	RB	Redbud	Cercis canadensis 45 gal. 8' ht. 3" cal. min.
4	TY	Tree Yucca	Ilex vomitoria 45 gal. 8' ht. multi-trunk female 3" cal.
SHRUBS & GROUNDCOVERS			
65	BH	Burford Holly	Ilex cornuta burfordii 10 gal. 36" oc. 30" height
5	DA	Dwarf Abelia	Abelia grandiflora 'Ed. Oucher' 5 gal. 36" oc.
3	DY	Dwarf Yucca	Ilex vomitoria 'Nana' 3 gal. 36" oc.
7	LP	Chinese Fringe Shrub	Loropetalum 'Hines purpleleaf' 10 gal. 36" oc. 30" height
4	CS	Red Cherry Sage	Salvia greggii 'Rac' 3 gal. 36" oc.
6	DIH	Dwarf Indian Hawthorne	Raphiopalpis indica 'Pinkie' 5 gal. 36" oc.
3	TX	Texas Sage	Leucophyllum frutescens 'Silverado' 5 gal. 36" oc.
8	PM	Pink Muhly	Muhlenbergia capillaris 5 gal. 36" oc.
SC	AJ	Asian Jasmine	Trachelospermum asiaticum 1 gal. 18" oc.

City of Grapevine, Texas
LANDSCAPE CALCULATIONS

Non-Vehicular Landscape Area			
Total Lot Area	75,117 SF	Required	Provided
Landscape Area 15%	22,418 SF	22,418 SF	(88%)
50% landscape area in front yard	5,705 SF	5,705 SF	(80%)
Perimeter Landscaping 1 tree / 50 linear ft.			
Grapevine Mills Blvd. 15 ft. width	274.73 LF	6	6 Ornamental Trees
Hwy. 121 15 ft. width	431.70 LF	9	9 Canopy Trees
Interior Landscaping total parking + drives 12,411 SF			
10% area req. landscape	1,241 SF	1,241 SF	1,395 SF
1 tree / 400 sq ft.	3 trees	3 trees	3 trees



CASE NAME: The Shops at Grapevine Mills Crossing
 CASE NUMBER: CU19-02
 ADDRESS: LEGAL: 3540, 3550, 3580 North Grapevine Mills Boulevard

DATE: _____ MAYOR _____ SECRETARY _____

PLANNING AND ZONING COMMISSION

DATE: _____ CHAIRMAN _____

SHEET: 14 OF 14

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.
 DEPARTMENT OF DEVELOPMENT SERVICES

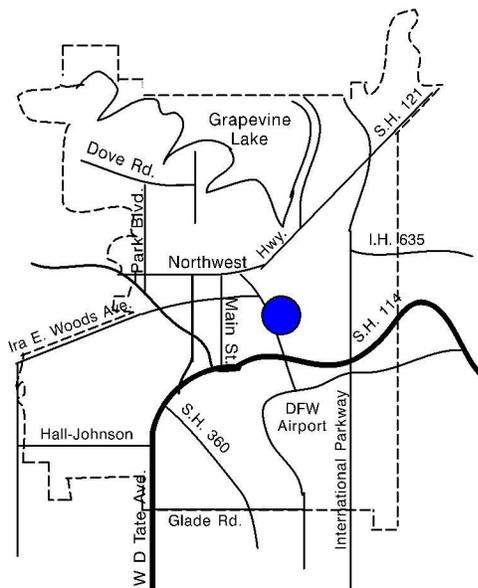
PLotted BY: SCOTT KUMLER
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TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER ^{BR}
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: FEBRUARY 19, 2019

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF SPECIAL
USE APPLICATION SU18-04 ONCOR VINEYARD SWITCHING
STATION



APPLICANT: Seth Sampson

PROPERTY LOCATION AND SIZE:

The subject property is located at 1057 Texan Trail and is proposed to be platted as Lot 1, Block 1, Vineyard Switch Addition. The subject property contains approximately 13.55 acres and has 670 feet of frontage along Texan Trail.

REQUESTED SPECIAL USE AND COMMENTS:

The applicant is requesting a special use permit to allow for the development of a public utility distribution facility and associated equipment.

ONCOR Electric Delivery Company intends to construct and operate an electrical switching station on the 13.55-acre site located along the east side of Texan Trail and adjacent to the Dart Rail line. Upon completion, the site will be screened by an eight-foot masonry wall and landscaped along Texan Trail.

PRESENT ZONING AND USE:

The property is currently zoned "CC" Community Commercial District and is undeveloped.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject property and the property to the north and the south were zoned “I-2” Heavy Industrial District prior to the 1984 City Rezoning. The property to the west was zoned “C-2” Community Business District prior to the 1984 City Rezoning—this zoning applied only along the frontage of Texan Trail to a depth of approximately 300-feet; the bulk of the property was zoned “R-3” Multiple-Family Dwelling District.

North of the subject site was developed as Harris Graphics prior to the rezoning. Trencor took over this property in 1984. A variance request BZA94-08 approved the expansion of the former building and allowed a variance to the City’s masonry requirements. Conditional Use Request CU95-11 (Ordinance No. 95-34) allowed the development of a 120 foot by 200 foot concrete storage pad to the east of the former building. Conditional Use Request CU97-66 was approved by Council at their January 20, 1998 meeting and allowed for a monument sign with changeable copy as well as a concrete storage area and testing pit. A zone change (Z06-01) rezoning the property from “LI” Light Industrial District to “CC” Community Commercial District and Conditional Use Request (CU06-01) were approved on the property for the establishment of the Great Wolf Resort and Hotel at the January 21, 2006 meeting. At the February 21, 2006 meeting a zone change (Z06-01), Conditional Use Request (CU06-01) and a special use permit (SU06-01) was approved on the subject site for the Great Wolf Lodge. Approximately 51.6 acres was rezoned from “LI” Light Industrial District to “CC” Community Commercial District to accommodate the initial phase (400 rooms) of a 600 room hotel and water park project with a minimum of 20,000 square feet of conference center space. Consideration was also given to establish a restaurant with on-premise alcoholic beverage sales, video games and to exceed the height maximum within the district. At the June 19, 2007 meeting Council considered and approved CU07-14 (Ord. 07-34) for an amendment to the site plan for the Great Wolf Lodge which included the addition of 200 rooms, a 20,000 square foot meeting space expansion, a 35,000 square foot future expansion to the water parking and the future addition of a miniature golf course. Conditional use request CU07-43 (Ord. 2008-04) was approved at Council’s January 15, 2008 meeting and allowed for the addition of a miniature golf course and a revision to the entry porte-cochere. Conditional Use Request CU08-20 (Ord. 2008-50) was approved at Council’s September 16, 2008 meeting and allowed for the addition of a 289 space parking lot and allow exterior elevation changes to accommodate and elevator expansion. Conditional Use Request CU10-21 was approved by the Site Plan Review Committee at the September 08, 2010 meeting which allowed for the addition of a 1,650 square foot accessory storage building to the subject site. Conditional Use Request CU10-29 (Ord. 2010-66) approved at the November 16, 2010 meeting allowed for the addition of an outdoor pavilion. At the July 16, 2013 meeting Conditional Use Request CU13-14 (Ord. 2013-32) was approved at the Great Wolf Lodge that allowed the conversion of a restaurant (Pizza Hut) inside the hotel to another restaurant concept and convert an outdoor covered patio into a 179 seat dining area with eight televisions exclusively for hotel patrons. At the May 20, 2014 meeting Conditional

Use Request CU14-18 (Ord. 2014-28) was approved at the Great Wolf Lodge that allowed the addition of an outdoor ropes course attraction.

South of the subject site Conditional Use Request CU97-70 (Ord.1998-06) approved by Council at the January 20, 1998 meeting, allowed for freight forwarding uses. A subsequent amendment to that site plan Conditional Use Request CU98-51 (Ord. 1998-138) was approved by Council at the November 17, 1998 meeting to allow for improvements relative to ingress/egress to the site.

West of the subject property, a request to rezone the property to “BP”, Business Park District for the future development of a business park was denied by Council on August 15, 2000 (Z00-10). The site was later rezoned to “BP” Business Park District in December, 2003 (Z03-09). At the February 17, 2004 meeting Council approved Conditional Use Request CU04-02 (Ord. 2004-15) to establish a 23-acre Planned Business Park on the subject property. At Council’s June 21, 2005 meeting, two separate office projects were approved on the subject property with the approval of Conditional Use Request CU05-26 (Ord.05-46) relative to development within the planned business park. A planned commercial center Conditional Use Request CU06-25 (Ord. 06-51) was established by Council at the July 18, 2006 meeting on the “CC” Community Commercial zoned property along Texan Trail along with a bank with drive-through service (previously Northstar Bank). Conditional Use Request CU08-21 was considered at the October 21, 2008 meeting which allowed for the extraction of 6.4 acres from the planned business park to accommodate an apartment project (Z08-06 and PD08-02) that was denied by Council without prejudice. A zoning change, conditional use permit, and planned development overlay (Z11-03, CU11-24, PD11-04) was approved by Council at the September 20, 2011 meeting to allow for a multifamily development within the established planned business park. Conditional Use Request CU11-21 was also approved at the September 20, 2011 meeting which allowed for a 5.86-acre reduction to the size of the business park to accommodate the zone change request for the Grapevine Station multifamily development. At the June 19, 2012 meeting a Conditional Use Request (CU12-20) was approved by Council to allow for the development of a 17,155 square foot medical office building on Lot 1RA1, Block 2A within the business park. City Council at the July 16, 2013 meeting approved Conditional Use Request CU13-16 (Ord. 2013-34) to allow for the development of three medical office buildings.

East of and directly adjacent to the subject site, City Council at the October 21, 2008 meeting approved Special Use Request SU08-04 (Ord. 2008-59) to allow for gas well drilling and production in a nonresidential zoning district. The Site Plan Review Committee at their May 5, 2010 meeting approved Special Use Permit SU10-02 to allow for four additional well sites. The Site Plan Review Committee at their February 8, 2012 meeting approved Special Use Permit SU12-01 to allow for seven new wells.

SURROUNDING ZONING AND EXISTING LAND USE:

NORTH: “CC” Community Commercial District—Great Wolf Lodge and Resort

SOUTH: “LI” Light Industrial District—J.A. Green warehousing/freight forwarding operation
EAST: “CC” Community Commercial District—Chesapeake gas wells, D/FW International Airport
WEST: “CC” Community Commercial District, “BP” Business Park District and “R-Mf” Multifamily District—office/warehouse style development, medical offices, Independent Bank and Grapevine Station Apartments

AIRPORT IMPACT:

The subject tract is located within “Zone B” Middle Zone of Effect and within “Zone C” Zone of Greatest Effect as defined on the “Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs” Map. In “Zone B” the following uses may be considered only if sound treatment is included in building design: multifamily apartments, motels, office buildings, movie theaters, restaurants, personal and business services. Single family residential and sound sensitive uses such as schools and churches should avoid this zone. In “Zone C” industrial and commercial uses that can tolerate high levels of sound exposure are appropriate. The applicant’s proposal is an appropriate use in both noise zones.

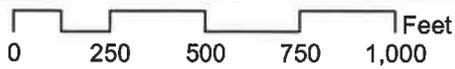
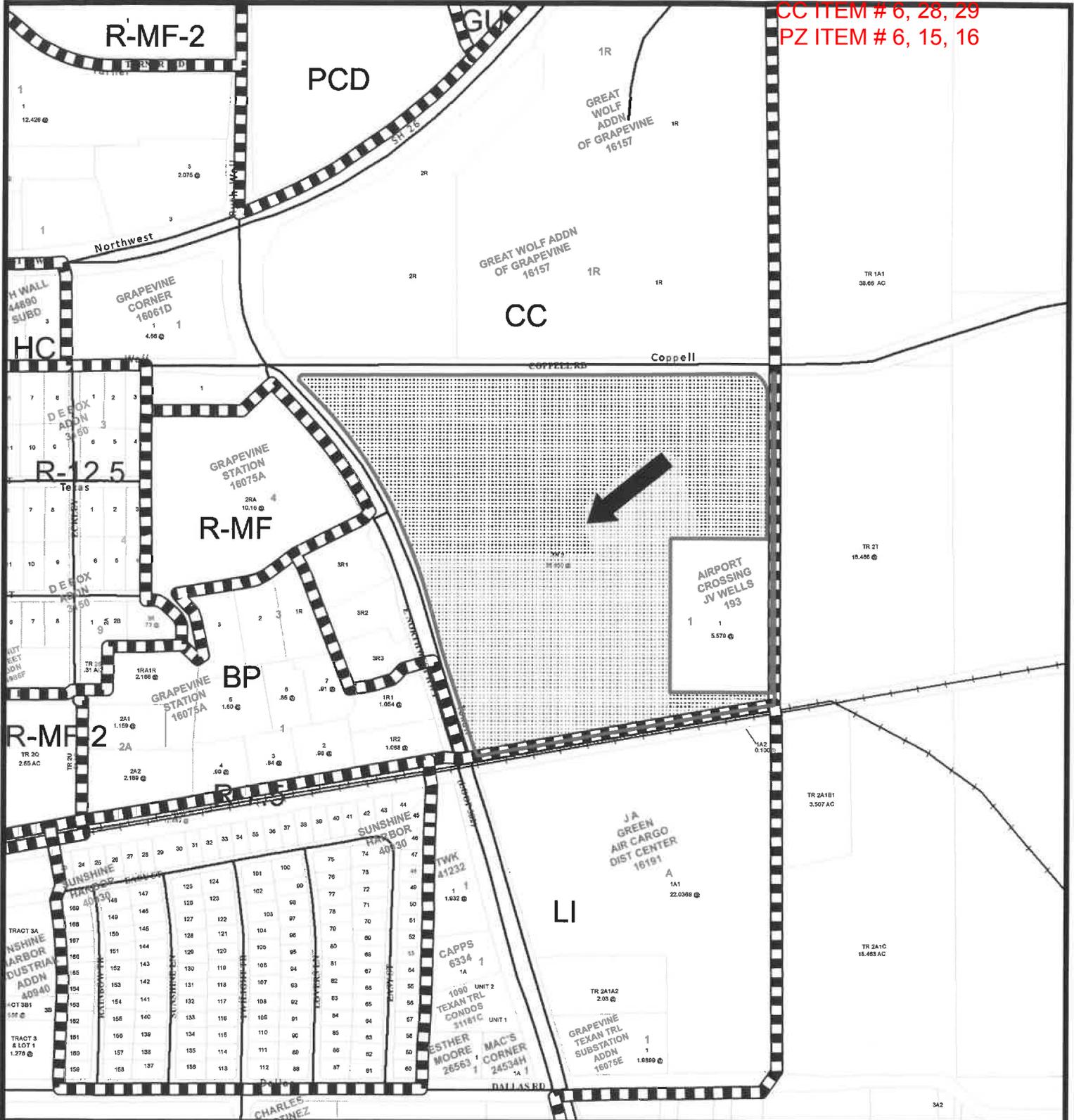
MASTER PLAN APPLICATION:

The Master Plan designates the subject property as a Commercial/Mixed Use land use. The applicant’s request **is** in compliance with the Master Plan.

THOROUGHFARE PLAN APPLICATION:

The Thoroughfare Plan designates Texan Trail as a Type A Major Arterial, with a minimum 100 foot right-of-way developed as six lanes with a median.

CC ITEM # 6, 28, 29
PZ ITEM # 6, 15, 16



SU18-04 Oncor Vineyard Switching Station

Date Prepared: 2/1/2019

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

5018-04



CITY OF GRAPEVINE

SPECIAL USE APPLICATION

Form "A"

PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact Oncor, Seth Sampson	
Street address of applicant / agent: 115 W. 7th Street, Suite 505	
City / State / Zip Code of applicant / agent: Fort Worth, TX 76049	
Telephone number of applicant / agent: 817-215-6907	Fax number of applicant / agent: —
Email address of applicant / agent: [REDACTED]	Mobile phone number of applicant / agent: 682-888-2636
Applicant's interest in subject property: sub-station	

PART 2. PROPERTY INFORMATION

Street address of subject property 1057 Texan Trail		
Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)		
Lot N/A	Block N/A	Addition N/A
Size of subject property 35.88 acres. Acres Square footage		
Present zoning classification: CC	Proposed use of the property: Sup - substation	
Minimum / maximum district size for special use request: 5 acres		
Zoning ordinance provision requiring a special use: Section 49 - Special Use Permits.		

PART 3. PROPERTY OWNER INFORMATION

Name of current property owner: Oncor Electric Delivery Company	
Street address of property owner: 115 W. 7th Street, Suite 505	
City / State / Zip Code of property owner: Fort Worth, TX 76049	
Telephone number of property owner: 817-215-6907	Fax number of property owner: —



SU18-04

- Submit a letter describing the proposed special use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and special requirements or conditions imposed upon the particular special use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed special use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed special use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All conditional use and special use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or special use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

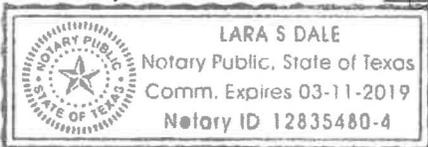
PART 4. SIGNATURE TO AUTHORIZE SPECIAL USE REQUEST AND PLACE A SPECIAL USE REQUEST SIGN ON THE SUBJECT PROPERTY

Seth Sampson
 Print Applicant's Name: _____
Seth Sampson
 Applicant's Signature: _____

The State Of TEXAS
 County Of TARRANT
 Before Me LARA S. DALE on this day personally appeared SETH SAMPSON
 (notary) (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 23rd day of October, A.D. 2018.



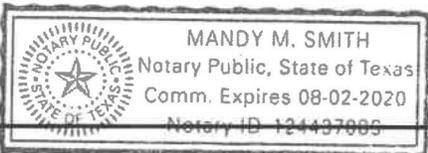
Lara S. Dale
 Notary In And For State Of Texas

JILL L. ALVAREZ, P.E.
 Print Property Owners Name: _____
Jill Alvarez
 Property Owner's Signature: _____

The State Of Texas
 County Of Tarrant
 Before Me Mandy M Smith on this day personally appeared Jill L. Alvarez
 (notary) (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 23rd day of October, A.D. 2018.



Mandy M. Smith
 Notary In And For State Of Texas



SU18-04

ACKNOWLEDGEMENT

All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant Jeth Simpson

Date: 10/22/18

Signature of Owner [Signature]

Date: 10/23/18



SU18-04



Date-11/5/2018

SUBJECT - Oncor's Intent for Development of Vineyard Switch

Dear Grapevine Planning Staff,

This letter is to inform you of Oncor's intent to establish a new substation at Lat-32°56' 16.30 "N / Long-97°3'41.54"W which is within the City of Grapevine City Limits. The property is on the southeast corner of Texan Trail and E. Wall Street.

The reason for this project is to address an increase in projected loading within the Grapevine area.

The current zoning on the property is C-C Community Commercial which requires approval of an SUP for the development of a Substation.

Regards,

Seth Sampson

A handwritten signature in black ink that reads "Seth Sampson".

ROW Siting Specialist
Oncor Electric Delivery Company LLC
115 W 7th Street, Suite 505
Fort Worth, TX 76102



ORDINANCE NO. 2019-007

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS ISSUING SPECIAL USE PERMIT SU18-04 TO ALLOW FOR THE DEVELOPMENT OF A PUBLIC UTILITY DISTRIBUTION FACILITY AND ASSOCIATED EQUIPMENT IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS SPECIAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a special use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas as required by State statutes and the zoning ordinance of the City of Grapevine, Texas and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested special use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the

overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas at a public hearing called by the City Council of the City of Grapevine, Texas did consider the following factors in making a determination as to whether this requested special use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 49 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings, encourage the most appropriate use of land throughout this city; and

WHEREAS, the City Council of the City of Grapevine, Texas does find that there is a public necessity for the granting of this special use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas does find that the special use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas has determined that there is a necessity and need for this special use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified; and, therefore, feels that the issuance of this special use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety, and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a special use permit in accordance with Section 49 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Special Use Permit SU18-04 to allow for the development of public utility distribution facility and associated equipment in a district zoned "CC" Community Commercial District within the following described property: Lot 1, Block 1, Vineyard Switch Addition (1057 Texan Trail), all in accordance with a site plan approved pursuant to Section 49 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including, but not limited to, the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas to reflect the herein special use permit.

Section 3. That in all other respects, the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to

exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE on this the 19th day of February, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

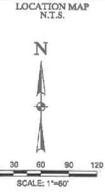
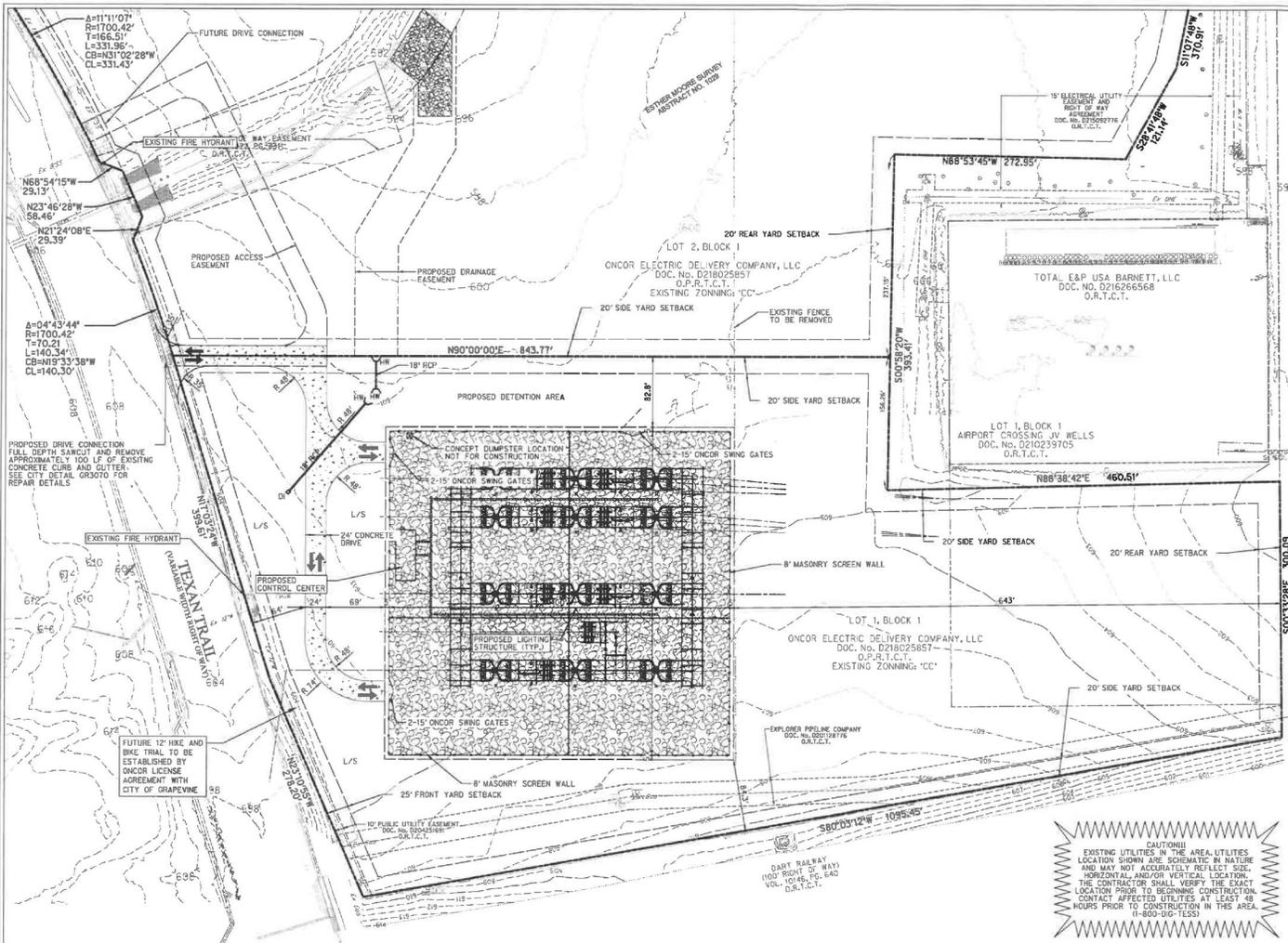
Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

CC ITEM # 6, 28, 29
 PZ ITEM # 8, 15, 16

CASE NO. SU18-04



- NOTES:
1. ALL REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.
 2. SPECIAL USE PERMIT SU18-04 IS A REQUEST TO ALLOW FOR THE DEVELOPMENT OF A PUBLIC UTILITY DISTRIBUTION FACILITY AND ITS ASSOCIATED EQUIPMENT.
 3. SPECIAL USE PERMIT SU18-04 IS A REQUEST TO ALLOW FOR A PUBLIC UTILITY DISTRIBUTION FACILITY AND EQUIPMENT IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT.
 4. A KNOCK-BOX TO BE PROVIDED. LOCATION AND ACCESS TO BE COORDINATED WITH ONCOR.

- LEGEND:
- 105 --- PROPOSED MAJOR CONTOUR LINE
 - 100 --- PROPOSED MAJOR CONTOUR LINE
 - 100 --- EXISTING MAJOR CONTOUR LINE
 - 61.22 --- EXISTING SPOT ELEVATION
 - 61.30 --- PROPOSED FINISHED GRADE ELEVATION
 - 100 --- EXISTING OVERHEAD ELECTRIC
 - 100 --- EXISTING WATER LINE
 - 100 --- SANITARY SEWER
 - 100 --- STORM SEWER
 - 100 --- POWER POLE
 - 100 --- SANITARY SEWER MANHOLE
 - 100 --- WATER VALVE
 - 100 --- FIRE HYDRANT
 - 100 --- WATER METER
 - 100 --- LANDSCAPE
 - 100 --- YARD LIGHTING
 - 100 --- SUBSTATION PAD PAVEMENT PER DETAIL SHEET 154-0
 - 100 --- 8" THICK 4000 PSI REINFORCED CONCRETE PAVEMENT W/ #4 BARS 18" O.C.C.P. OVER 4" MINIMUM SCAFFOLD AND RE-COMPACTED SUBGRADE (95% STD. PROCTOR)

CAUTION!
 EXISTING UTILITIES IN THE AREA UTILITIES LOCATION SHOWN ARE SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT SIZE, HORIZONTAL AND/OR VERTICAL LOCATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION PRIOR TO BEGINNING CONSTRUCTION. CONTACT AFFECTED UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION IN THIS AREA. (1-800-300-1233)

BENCHMARK #1:
 CITY OF GRAPEVINE MONUMENT NO. 71
 12" ALUMINUM ROD WITH CAP SET 0.6' BELOW ACCESS COVER. ACCESS COVER IS STAMPED: CITY OF GRAPEVINE, MON. 7, LOCATED AT THE WETHER STATION OF THE CORPS OF ENGINEERS AT THE GRAPEVINE LAKE HEADQUARTERS ON FARWAY DRIVE, (110 FARWAY DR.)
 N: 7032555.6588
 E: 2411550.1451
 ELEV: 555.31

SITE DATA SUMMARY

ZONING CLASSIFICATION:	C.C.
PRESENT USE OF PROPERTY:	VACANT
PROPOSED ZONING:	S.U.P.
PROPOSED USE OF PROPERTY:	ELECTRIC STATION
TOTAL LOT AREA:	13.65 ACRES
TOTAL OPEN SPACE:	9.42 ACRES
TOTAL BUILDING AREA:	1 - CONTROL CENTER @ APPROX. 1440 SF
TOTAL PAVED AREAS:	3.85 ACRES GRAVEL (C=0.5) 0.28 ACRES PAVEMENT (C=0.9)
PARKING REQUIRED:	NONE REQUIRED

OWNER/APPLICANT
 ONCOR ELECTRIC DELIVERY COMPANY
 115 W. 7TH STREET, SUITE 906
 FORT WORTH, TX 76102
 (817) 215-8807
 CONTACT: BETH SAMMON

ENGINEER
 HALFF ASSOCIATES
 3883 PARKWOOD BLVD, SUITE 800
 FRIEDCO, TX 76034
 (214) 618-4272
 CONTACT: BRIAN M. SATAGAL, PE

CASE NAME: VINEYARD SWITCHING STATION
 CASE NUMBER: SU18-04
 LOCATION: 1251 TEXAS TRAIL

MAYOR _____ SECRETARY _____
 DATE: _____
 PLANNING AND ZONING COMMISSION
 CHAIRMAN _____
 DATE: _____
 SHEET: 2 OF 6
 APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES
 DEPARTMENT OF DEVELOPMENT SERVICES
 CASE NAME: GRAPEVINE SWITCH SUBSTATION
 CASE NO.: SU18-04

- PUBLIC WORKS DEPARTMENT GENERAL NOTES**
1. The Contractor shall be responsible for submitting a copy of the bid proposal for all public improvements to the City of Grapevine at the pre construction meeting. This proposal shall include unit costs, quantities and amounts.
 2. The Owner/Contractor shall be responsible for paying a 5% inspection fee to the City of Grapevine at the pre-construction meeting for all public improvements.
 3. The Contractor shall be responsible for contacting the City of Grapevine Building Department at (817) 410-2813 to request a Time Preservation Inspection prior to any work commencing on the site.
 4. The Contractor shall be responsible for recording all field changes to the plans. The project engineer shall respond to these changes the "As-Built" record drawings.
 5. The City of Grapevine's Construction Inspector enforces policy allows the Contractor to work from 7 a.m. to 7 p.m., Monday through Saturday. No work is allowed on Sundays. Overtime charges of \$45 per hour shall be paid to the City by the Contractor for work outside the normal work week (i.e., 8 a.m. to 6 p.m., Monday through Friday). Saturday work requires a four (4) hour minimum overtime charge.
 6. Each contractor within the proposed development shall guarantee their work for a period of one (1) year after the date of their acceptance by the City of all public improvements. Maintenance bonds shall not be in amount equal to 25 percent of the construction value of the improvements within public right-of-way or easements. This includes reconstruction for public streets.
 7. The City of Grapevine's Code of Ordinances shall be adhered to. Special attention should be given to Appendix F: Grades and Elevation Control. Section 1 of this ordinance allows the Director of Public Works to issue a "Stop-work order" for any development, improvement, or construction which is in violation of this ordinance.

VINEYARD SWITCHING STATION
ONCOR ELECTRIC DELIVERY COMPANY
 TEXAN TRAIL ROAD
 GRAPEVINE, TEXAS 75261



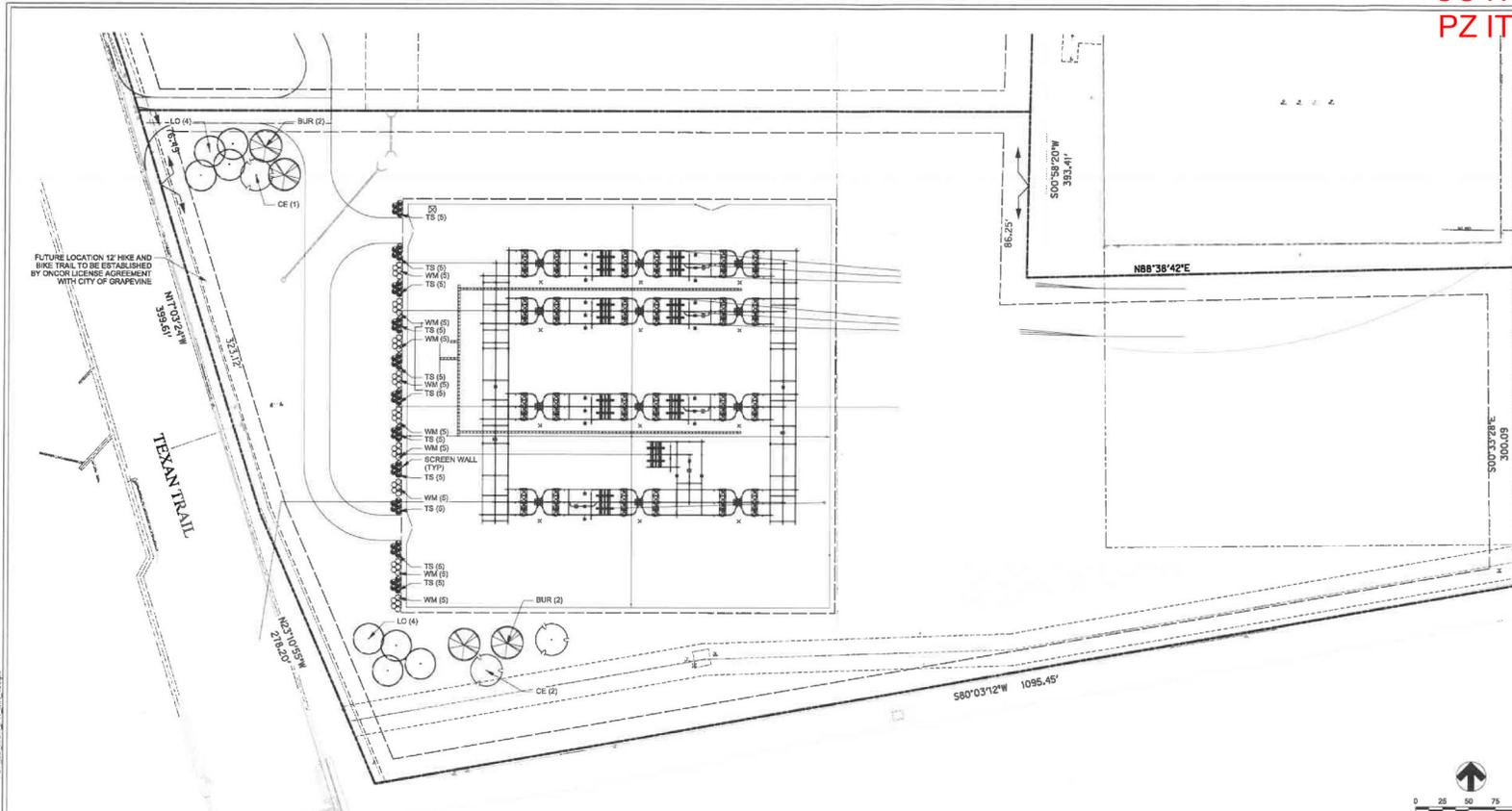
Revision	Description



The seal appearing on this document was authorized by State of Texas, Chapter 15, Article 15.01(15.01)(15.01)(b). Approval of a sealed document without proper qualification by the preparer or engineer is an offense under the Texas Engineering Practice Act. The preparer or engineer is to be held liable in the event of any accident, injury, loss, or damage caused by or resulting from the use of the sealed document.

Project No.: 32743
 Issued: 11/09/2018
 Drawn By: CAD
 Checked By: BMS
 Scale: AS NOTED
 Sheet Title: DIMENSIONAL CONTROL SITE PLAN
SHEET 2 OF 2
 Sheet Number

VINEYARD SWITCHING STATION
ONCOR ELECTRIC DELIVERY COMPANY
TEXAN TRAIL ROAD
GRAPEVINE, TEXAS 75261

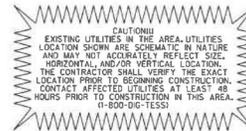


SYMBOL	DESCRIPTION
	3" CAL. LIVE OAK (LO)
	3" CAL. BUR OAK (BUR)
	3" CAL. CEDAR ELM (CE)
	6 GAL. DWARF WAX MYRTLE (WM)
	6 GAL. TEXAS SAGE (TS)

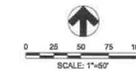
CITY OF GRAPEVINE LANDSCAPE REQUIREMENTS		
SITE AREA	REQUIRED	PROVIDED
677 L.F. OF STREET FRONTAGE (1 TREE PER 50 LF)	13.5 SHADE TREES	15 TREES PROVIDED
PERMETER LANDSCAPE SCREEN SHRUBS BUFFER ALONG PERMETER @ 30' O.C.	399' MIN. WIDTH BUFFER WITH EVERGREEN SHRUBS @ 4F O.C. (160 SHRUBS)	100 SHRUBS (PROVIDED)
TREE MITIGATION/PRESERVATION	SEE TREE SURVEY FOR ADDITIONAL INFORMATION	N/A

LEGEND:

- EXISTING FIBER OPTIC
- EXISTING TELEPHONE LINE
- EXISTING GAS LINE
- EXISTING SANITARY SEWER
- EXISTING OVERHEAD ELECTRIC
- EXISTING UNDERGROUND ELECTRIC
- EXISTING WATER LINE
- EXISTING STORM SEWER
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- EXISTING MAJOR CONTOUR LINE
- EXISTING MINOR CONTOUR LINE
- PROPERTY LINE
- EASEMENT LINE
- ASPHALT
- POWER POLE
- SANITARY SEWER MANHOLE
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- INLET PROTECTION
- SILT FENCE



- NOTES:
1. REQUIRED TREE QUANTITIES PROVIDED ARE BASED ON CITY OF GRAPEVINE LANDSCAPE ORDINANCE REQUIREMENTS IN SECTION 53.
 2. PROVIDED STREET FRONTAGE TREES AND PROVIDED SCREENING BUFFER TREES WERE SHOWN CONCEPTUALLY DUE TO EXISTING UTILITY EASEMENTS.
 3. REQUIRED LANDSCAPE LOCATED IN THE CITY OF GRAPEVINE LANDSCAPE REQUIREMENTS CHART ARE ASSUMPTIONS TAKEN FROM SECTION 53 OF THE ZONING ORDINANCE. FINAL LANDSCAPE REQUIREMENTS ARE TO BE CONFIRMED AND FINALIZED WITH THE CITY OF GRAPEVINE.
 4. IRRIGATION DESIGN TO BE PROVIDED BY A TEXAS LICENSED IRRIGATOR.
 5. CONTRACTOR TO PROVIDE A FULLY FUNCTIONAL IRRIGATION SYSTEM TO ALL PROPOSED PLANT MATERIAL SHOWN.



CASE NAME: VINEYARD SWITCHING STATION
CASE NUMBER: BU-1544
LOCATION: NORTHEAST CORNER OF TEXAN TRAIL & SARTY RAILWAY
ADDRESS: 1057 TEXAN TRAIL.

MAYOR _____ SECRETARY _____

DATE: _____
PLANNING AND ZONING COMMISSION

CHURMAN _____

DATE: _____
SHEET: 3 OF 6

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

DEPARTMENT OF DEVELOPMENT SERVICES

Project No.:	32743
Issued:	07-28-2019
Drawn By:	ATE
Checked By:	BMS
Scale:	AS NOTED
Sheet Title	LANDSCAPE PLAN
L101	
Sheet Number	

1:202518 5:07:15 PM JRS17 HALFF I:\32000832\2001\CAD\DWG\14-1-2019.dwg Sheet



RTPStructural, PLLC
Texas Engineering Firm F-16159
107 N. Calhoun Street, Suite 204
Rockwall, Texas 75087
P: 214.283.2593 www.RTPStructural.com

HAWK CONSTRUCTION
Precast Concrete and Construction
5002 Highway 380
Pritchett, Texas 75947
P: 972.547.6632 F: 972.542.0201
www.HAWKprecast.com

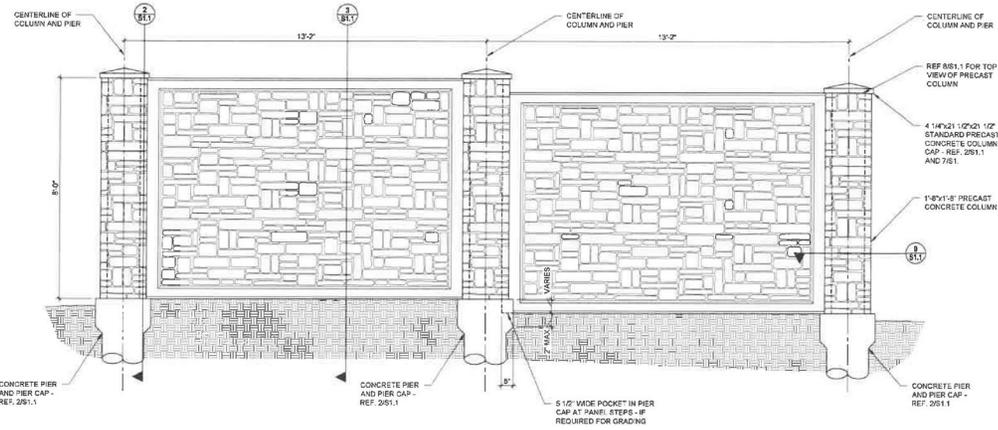
Precast Concrete Security Fence for:
ONCOR - Grapevine Vineyard Switch
Grapevine, Texas

DATE: 1/29/2019
PROJECT NUMBER: 19027

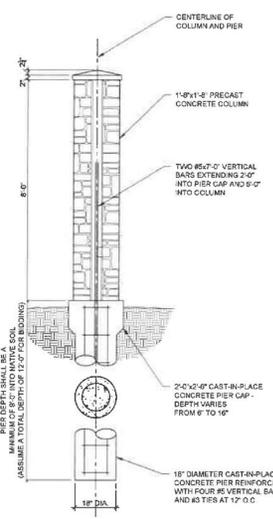
DRAWINGS ISSUED FOR:
CONSTRUCTION

S1.1
STRUCTURAL
FENCE DETAILS

COPYRIGHT © 2019



01 TYPICAL 8'-0" ASHLAR SCREEN WALL ELEVATION
SCALE: 1/2"=1'-0"



02 TYPICAL COLUMN/PIER SECTION
SCALE: 1/2"=1'-0"

03 TYPICAL WALL SECTION
SCALE: 1/2"=1'-0"

CASE NAME: VINEYARD SWITCHING STATION
CASE NUMBER: SU19-04
LOCATION: NORTH-EAST CORNER OF TEXAN TRAIL & DART RAILWAY
ADDRESS: 1087 TEXAN TRAIL

MAJOR	SECRETARY
DATE:	
PLANNING AND ZONING COMMISSION	
	CHAIRMAN
DATE:	
SHEET: 1 OF 1	
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES	
DEPARTMENT OF DEVELOPMENT SERVICES	

GENERAL NOTES

- STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE PROVISIONS OF THE 2015 INTERNATIONAL BUILDING CODE.
- TO ACHIEVE THE FINAL EFFECT OF REAL STONE, VERTICAL-CRETE WALLS ARE COLORED WITH WATER-BASED ACRYLIC STRUCTURAL CONCRETE PAINT DESIGNED FOR SUPERIOR PENETRATION. THE PAINT IS SPECIFICALLY FORMULATED TO ENSURE MOISTURE PROOFING, COLOR STABILITY, AND ULTRA-VIOLET RESISTANCE.

FOUNDATION NOTES

- THE FOUNDATION DESIGN IS BASED ON THE PROVISIONS OF THE 2015 INTERNATIONAL BUILDING CODE.
- THE FOUNDATION SHALL CONSIST OF AUGER-EXCAVATED, STRAIGHT SHAFT REINFORCED CONCRETE PIERS. REFER TO TYPICAL PIER DETAIL FOR BEARING DEPTH.

STRUCTURAL CONCRETE NOTES

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 301 AND ACI 318. ALL CONCRETE SHALL BE LABORATORY DESIGNED AND CONTROLLED.
- CONCRETE IN THE FOLLOWING AREAS SHALL HAVE SAND AND GRAVEL OR CRUSHED STONE COURSE AGGREGATES AND CORRESPONDING TWENTY-EIGHT (28) DAY COMPRESSIVE STRENGTHS AS FOLLOWS:

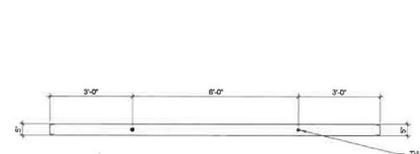
PRECAST PANELS, COLUMNS, AND CAPS	4,000 PSI
CAST-IN-PLACE GROUT FOR PRECAST COLUMNS	3,000 PSI
ALL CAST-IN-PLACE CONCRETE, U.N.C.	3,000 PSI

- ALL CONCRETE SHALL CONTAIN AN AIR-ENTRAINING ADMIXTURE PROVIDING THREE (3) TO SIX (6) PERCENT AIR BY VOLUME.
- CONCRETE PROTECTION FOR STEEL REINFORCEMENT SHALL BE AS FOLLOWS (SEE ACI 318, SECTION 7.7 FOR CONDITIONS NOT INDICATED):

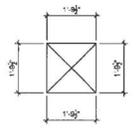
ALL CONCRETE PLACED AGAINST SOIL	3"
FORMED FOUNDATION CONCRETE	1"
PRECAST PANELS EXPOSED TO WEATHER	3/8"
PRECAST COLUMNS EXPOSED TO WEATHER	1 1/4"

REINFORCING STEEL NOTES

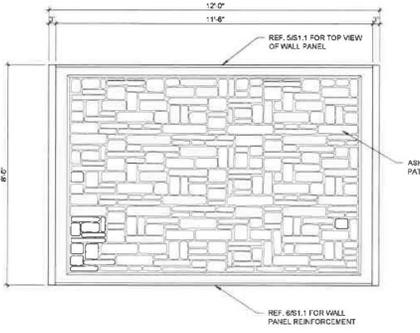
- ALL DETAILING OF STEEL REINFORCEMENT AND ACCESSORIES SHALL CONFORM TO ACI COMMITTEE'S 318 PUBLICATION FOR "ACI DETAILING MANUAL".
- DEFORMED BAR REINFORCEMENT SHALL BE IN CONFORMANCE WITH ASTM A635, GRADE 65.
- SPICES WITHIN CONTINUOUS REINFORCING SHALL BE A MINIMUM OF THIRTY (30) BAR DIAMETERS.
- WELDED WIRE FABRIC SHALL BE ELECTRICALLY WELDED, COLD-DRAWN WIRE IN CONFORMANCE WITH ASTM A186, GRADE 65. WELDED WIRE FABRIC SHALL BE PLACED IN FLAT SHEETS ONLY.
- LAP WELDED WIRE FABRIC AT LEAST 112 SQUARE PLUS WIRE END EXTENSIONS BUT NOT LESS THAN TWELVE (12) INCHES, UNLESS NOTED OTHERWISE. EXTEND MESH ACROSS SUPPORTING BEAMS AND WALLS.



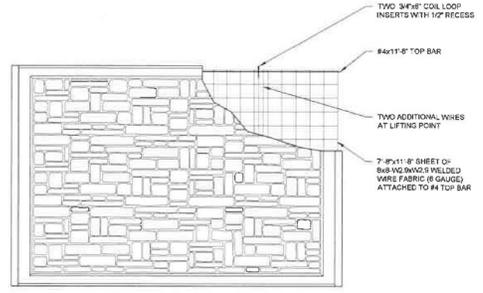
05 TYPICAL PRECAST WALL PANEL - TOP VIEW
SCALE: 1/2"=1'-0"



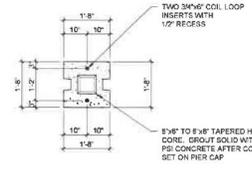
07 TYPICAL PRECAST COLUMN CAP - TOP VIEW
SCALE: 1/2"=1'-0"



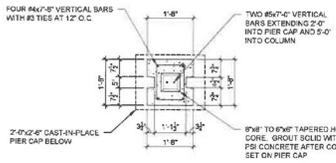
04 TYPICAL PRECAST WALL PANEL - ELEVATION
SCALE: 1/2"=1'-0"



06 TYPICAL PRECAST WALL PANEL - REINFORCEMENT
SCALE: 1/2"=1'-0"



08 TYPICAL PRECAST COLUMN - TOP VIEW
SCALE: 1/2"=1'-0"



09 TYPICAL PRECAST COLUMN - REINFORCEMENT
SCALE: 1/2"=1'-0"

NOTE: PANELS OMITTED FOR CLARITY.

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: FEBRUARY 19, 2019

SUBJECT: PRELIMINARY PLAT APPLICATION
LOT 1R, BLOCK 1, AND LOTS 1 AND 2, BLOCK 2, AIRPORT
CROSSING JV WELLS

PLAT APPLICATION FILING DATE.....February 12, 2019

APPLICANT Seth Sampson, Oncor Electric Delivery

REASON FOR APPLICATIONLot 1 for Oncor substation, Lot 2 for future use and
Lot 1R for Airport Crossing JV Wells

PROPERTY LOCATION Southeast corner of Texan Trail and Coppell Road

ACREAGE..... 41.02

ZONING..... CC

NUMBER OF LOTS 3

PREVIOUS PLATTING 2008

CONCEPT PLANNo

SITE PLAN..... SU18-04

OPEN SPACE REQUIREMENT..... Yes

AVIGATION RELEASE Yes

PUBLIC HEARING REQUIREDNo

**PLAT INFORMATION SHEET
PRELIMINARY PLAT APPLICATION
LOT 1R, BLOCK 1, AND LOTS 1 AND 2, BLOCK 2, AIRPORT CROSSING JV
WELLS**

I. GENERAL:

- The applicant, Seth Sampson is preliminary platting 41.02 acres into three (3) lots. Lot 1 for an Oncor substation, Lot 2 for future use and Lot 1R, Airport Crossing JV Wells for the existing gas wells. The property is located at 1057 Texan Trail.

II. STREET SYSTEM:

- The development has access to Texan Trail.
- Abutting roads: on the City Thoroughfare Plan: Texan Trail
 not on the City Thoroughfare Plan:

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 15.00 / LF		

Periphery Street Fees are not due:

III. STORM DRAINAGE SYSTEM:

- The existing stormwater flows north into an existing drainage easement in the center of Lot 2, Block 2, Airport Crossing JV Wells.

- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for: Lot 1R, Block 1, Airport Crossing JV Wells
- Water and Wastewater Impact Fees are due prior to the issuance of building permits for: Lots 1 and Lot 2, Block 2, Airport Crossing JV Wells
 - Single Family Residential (\$ 2,414/ Lot)
 - Multifamily (\$ 1,134/ Unit)
 - Hotel (\$ 43,632/ Acre)
 - Corporate Office (\$ 20,523/ Acre)
 - Government (\$ 4,414/ Acre)
 - Commercial / Industrial (\$ 5,739 / Acre)

- Open Space Fees are not required for: Lot 1R, Block 1, and Lots 1 & 2, Block 2, Airport Crossing JV Wells
- Open Space Fees are due prior to the preconstruction meeting for public infrastructure improvements for:

- R-5.0, R-TH, Zero Lot District (\$ 1,416.00 / Lot)

- R-7.5, Single Family District (\$ 1,146.00 / Lot)
- R-12.5, Single Family District (\$ 1,071.00 / Lot)
- R-20.0, Single Family District (\$ 807.00 / Lot)

Public Hearing Only

Variances were required on the following items:

- Front building line
- Allowing a setback of 3 feet for the rear property line for an accessory building
- Lot width & depth
- Max. Impervious Area
- Landscaping Regulations, allowing no landscape buffer between the edge of the parking area and the adjacent property line.

The following items associated with this plat are not in accordance with the current subdivision standards:

- 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
- Length of cul-de-sac street exceeds the 600-foot limit:
- Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:

- The right-of-way provides for future widening of public streets that will serve the development of this site.
- The onsite utility easements provide for a utility network to serve the development of this site.

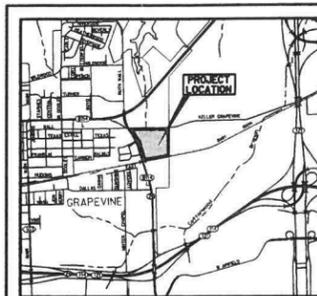
- The onsite drainage easements provide for a drainage network to serve the development of this site.
- The onsite access easements provide cross access capabilities to this site and surrounding property.
- The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:

- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
- The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
- The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
- The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
- The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
- All of the dedications benefit the development to at least the extent of the impact of such on the development.

VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Preliminary Plat of Lot 1R, Block 1, and Lots 1 & 2, Block 2, Airport Crossing JV Wells."



VICINITY MAP
NOT TO SCALE

W.K. PAYNE SURVEY
ABSTRACT NO. 1211

GREY WOLF ADDITION
OF GRAPEVINE
DOC. NO. 206214579
(CAB. A. S.L. 11261)
O.R.T.C.T.

COPPELL ROAD
(60' RIGHT-OF-WAY)

ESTHER MOORE SURVEY
ABSTRACT NO. 1029

ZONE X
(UNSHADED)

LOT 2, BLOCK 2
ONCOR ELECTRIC DELIVERY COMPANY LLC
DOC. NO. D218025857
O.P.R.T.C.T.

23.67 ACRES
1,031,136 SQ. FT.

LOT 1, BLOCK 2
ONCOR ELECTRIC DELIVERY COMPANY LLC
DOC. NO. D218025857
O.P.R.T.C.T.

12.21 ACRES
531,842 SQ. FT.

LOT 1R, BLOCK 1
AIRPORT CROSSING JV WELLS
DOC. NO. D210239705
O.R.T.C.T.

LOT 1, BLOCK 1
AIRPORT CROSSING JV WELLS
DOC. NO. D210239705
O.R.T.C.T.

LOT 1R, BLOCK 1
AIRPORT CROSSING JV WELLS
DOC. NO. D210239705
O.R.T.C.T.

LOT 1, BLOCK 1
AIRPORT CROSSING JV WELLS
DOC. NO. D210239705
O.R.T.C.T.

LOT 1R, BLOCK 1
AIRPORT CROSSING JV WELLS
DOC. NO. D210239705
O.R.T.C.T.

LOT 1, BLOCK 1
AIRPORT CROSSING JV WELLS
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LOT 1R, BLOCK 1
AIRPORT CROSSING JV WELLS
DOC. NO. D210239705
O.R.T.C.T.

LOT 1, BLOCK 1
AIRPORT CROSSING JV WELLS
DOC. NO. D210239705
O.R.T.C.T.

FLOODPLAIN NOTE:
By graphical plotting, the parcel described herein lies within Zone "X" (unshaded) as delineated on the Tarrant County, Texas and Incorporated Areas Flood Insurance Rate Map Number 48439C0100K, dated September 25, 2009, 48439C0100K, dated September 25, 2009, and 48439C0100K, dated September 25, 2009, as published by the Federal Emergency Management Agency, Zone "X" (unshaded) is defined as "Areas determined to be outside the 0.2% annual chance floodplain".

AVIATION RELEASE:

THE STATE OF TEXAS
COUNTY OF TARRANT

WHEREAS, Oncon Electric Delivery Company LLC, hereinafter called "Owner" (whether one or more), is the owner of that certain parcel of land situated in the City of Grapevine, Tarrant County, Texas, being more particularly described as shown on this plat, NOW THEREFORE, in consideration of the sum of ONE AND 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confirmed, Owner does hereby waive, release, remise and quitclaim to the City of Grapevine, Tarrant County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas, Texas and Fort Worth, Texas, their successors and assigns, hereinafter called "Cities", for the use and benefit of the public and its agencies, any and all claims for damages of any kind to persons or property that Owner may suffer by reason of the passage and flight of all aircraft in the air space above Owner's property above the height Zoning Ordinance of the Dallas-Fort Worth International Airport, to an indeterminate height above same, whether such damage shall originate from noise, vibration, fumes, dust, fuel and exhaust particles, and all other effects that may be caused by the operation of aircraft, landing at or taking off from, or operating at or on the Dallas-Fort Worth International Airport.

This instrument does not release the owners or operators of aircraft from liability for damage or injury to person or property caused by falling aircraft or falling physical objects from aircraft, except as stated herein with respect to noise, fumes, dust, fuel, and exhaust particles.

It is agreed that this Release shall be binding upon said owner and his heirs and assigns, and successors in interest to said property, and it is further agreed that this instrument shall be a covenant running with the land and shall be recorded in the Deed Records of the county or counties in which the property is situated.

EXECUTED at _____ Texas, this _____ day of _____, 2019.

By: _____ NAME: Jill Alvarez, P.E.
TITLE: Attorney-in-Fact

The State of Texas
County of Tarrant

Before me, Jill Alvarez, P.E., Attorney-in-Fact, on this day personally appeared known to me (or proved to me on the oath of or through description of identity card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this _____ day of _____, 2019.

Notary Signature
Notary Public
COUNTY OF TARRANT

WHEREAS, Total E&P USA Barnett LLC, hereinafter called "Owner" (whether one or more), is the owner of that certain parcel of land situated in the City of Grapevine, Tarrant County, Texas, being more particularly described as shown on this plat, NOW THEREFORE, in consideration of the sum of ONE AND 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confirmed, Owner does hereby waive, release, remise and quitclaim to the City of Grapevine, Tarrant County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas, Texas and Fort Worth, Texas, their successors and assigns, hereinafter called "Cities", for the use and benefit of the public and its agencies, any and all claims for damages of any kind to persons or property that Owner may suffer by reason of the passage and flight of all aircraft in the air space above Owner's property above the height Zoning Ordinance of the Dallas-Fort Worth International Airport, to an indeterminate height above same, whether such damage shall originate from noise, vibration, fumes, dust, fuel and exhaust particles, and all other effects that may be caused by the operation of aircraft, landing at or taking off from, or operating at or on the Dallas-Fort Worth International Airport.

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It is agreed that this Release shall be binding upon said owner and his heirs and assigns, and successors in interest to said property, and it is further agreed that this instrument shall be a covenant running with the land and shall be recorded in the Deed Records of the county or counties in which the property is situated.

EXECUTED at _____ Texas, this _____ day of _____, 2019.

By: _____ NAME: Dave Leopold
TITLE: President & CEO

The State of Texas
County of Tarrant

Before me, Dave Leopold, on this day personally appeared known to me (or proved to me on the oath of or through description of identity card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this _____ day of _____, 2019.

Notary Signature
Notary Public
COUNTY OF TARRANT

WHEREAS, Total E&P USA Barnett LLC, hereinafter called "Owner" (whether one or more), is the owner of that certain parcel of land situated in the City of Grapevine, Tarrant County, Texas, being more particularly described as shown on this plat, NOW THEREFORE, in consideration of the sum of ONE AND 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confirmed, Owner does hereby waive, release, remise and quitclaim to the City of Grapevine, Tarrant County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas, Texas and Fort Worth, Texas, their successors and assigns, hereinafter called "Cities", for the use and benefit of the public and its agencies, any and all claims for damages of any kind to persons or property that Owner may suffer by reason of the passage and flight of all aircraft in the air space above Owner's property above the height Zoning Ordinance of the Dallas-Fort Worth International Airport, to an indeterminate height above same, whether such damage shall originate from noise, vibration, fumes, dust, fuel and exhaust particles, and all other effects that may be caused by the operation of aircraft, landing at or taking off from, or operating at or on the Dallas-Fort Worth International Airport.

This instrument does not release the owners or operators of aircraft from liability for damage or injury to person or property caused by falling aircraft or falling physical objects from aircraft, except as stated herein with respect to noise, fumes, dust, fuel, and exhaust particles.

It is agreed that this Release shall be binding upon said owner and his heirs and assigns, and successors in interest to said property, and it is further agreed that this instrument shall be a covenant running with the land and shall be recorded in the Deed Records of the county or counties in which the property is situated.

EXECUTED at _____ Texas, this _____ day of _____, 2019.

By: _____ NAME: Dave Leopold
TITLE: President & CEO

The State of Texas
County of Tarrant

Before me, Dave Leopold, on this day personally appeared known to me (or proved to me on the oath of or through description of identity card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this _____ day of _____, 2019.

Notary Signature
Notary Public
COUNTY OF TARRANT

WHEREAS, Oncon Electric Delivery Company LLC, a Delaware Limited Liability Company, is the owner of a 35.86 acre tract of land and Total E&P USA Barnett LLC, a Delaware Limited Liability Company, is the owner of a 35.86 acre tract of land situated in the City of Grapevine, Tarrant County, Texas, and being all of that called 35.86 acre tract of land described in Special Warranty Deed to Oncon Electric Delivery Company LLC, as recorded in County Clerk's Document No. D218025857 in the Official Records of Tarrant County, Texas (O.R.T.C.T.), and being the remainder of that called 41.230 acre tract of land described in Deed to Total E&P USA Barnett LLC, recorded in Document No. D210239705 O.R.T.C.T., said remainder being the 5.139 acre tract as described in Exhibit C-1 of said Document D218025857, and being more particularly described as follows:

BEGINNING at a 1/2-inch found iron rod with yellow plastic cap stamped "WELLS & ASSOC. INC." (hereinafter referred to as "WELLS") at the southeast corner of said 35.86 acre tract and being on the westerly line of Dallas-Fort Worth International Airport, Tract 1 as described by the City of Fort Worth, recorded in Volume 5475, Page 301 Deed Records, Tarrant County, Texas, and being on the north right of way line of the D.A.R.U.I. Railway, as described in a deed recorded in Volume 1014, Page 640 O.R.T.C.T.;

THENCE South 80 degrees 12 minutes 12 seconds West, continuing along said north right of way line and the south line of said 35.86 acre tract, a distance of 1,095.45 feet to a 1/2-inch found iron rod with cap stamped "AZB" for the southwest corner of said 41.230 acre tract and being on the new easterly right of way line of Texas Trail (E, Northwest 1/4);

THENCE North 23 degrees 10 minutes 55 seconds West, departing said common line and along said easterly right of way line, a distance of 273.20 feet to a 5/8-inch found iron rod with 3/4" x 3/4" Aluminum Disk for corner;

THENCE North 17 degrees 03 minutes 24 seconds West, continuing along said easterly right of way line, a distance of 399.61 feet to a 1/2-inch found iron rod with Wier cap for the point of curvature of a circular curve to the left, having a radius of 17,003.42 feet, whose chord bears North 19 degrees 13 minutes 34 seconds West, a distance of 140.30 feet;

THENCE Northwest, continuing along said easterly right of way line and along said circular curve through a central angle of 94 degrees 43 minutes 44 seconds, an arc length of 140.34 feet to a 1/2-inch found iron rod with Wier cap for corner;

THENCE North 21 degrees 24 minutes 06 seconds East, continuing along said easterly right of way line, a distance of 29.39 feet to a 1/2-inch found iron rod with yellow plastic cap stamped "HALFF" (hereinafter referred to as "HALFF" cap) for corner;

THENCE North 23 degrees 46 minutes 25 seconds West, continuing along said easterly right of way line, a distance of 54.49 feet to a point for corner from which a 5/8-inch found iron rod bears South 05 degrees 50 minutes 16 seconds West, a distance of 0.86 feet;

THENCE North 68 degrees 54 minutes 15 seconds West, continuing along said easterly right of way line, a distance of 29.13 feet to a 1/2-inch found iron rod with Wier cap for the point of a circular curve to the left, having a radius of 1,700.42 feet, whose chord bears North 31 degrees 02 minutes 24 seconds West, a distance of 33.43 feet;

THENCE Northwest, continuing along said easterly right of way line and along said circular curve through a central angle of 11 degrees 11 minutes 07 seconds, an arc length of 331.96 feet to a point for corner from which a 1/2-inch found iron rod bears North 31 degrees 02 minutes 24 seconds West, a distance of 0.85 feet;

THENCE North 32 degrees 11 minutes 42 seconds West, continuing along said easterly right of way line, a distance of 66.73 feet to a 1/2-inch found iron rod with Wier cap for corner;

THENCE North 40 degrees 10 minutes 48 seconds West, continuing along said easterly right of way line, a distance of 126.61 feet to a point for corner from which a 1/2-inch found iron rod with Wier cap bears South 45 degrees 28 minutes 04 seconds West, a distance of 1.64 feet;

THENCE North 42 degrees 02 minutes 27 seconds West, a distance of 102.39 feet to a 1/2" Brass Disk on concrete for the south end of a corner clip for the intersection of said Texas Trail and Coppel Road (a 90' right of way);

THENCE North 24 degrees 31 minutes 03 seconds East, along said corner clip, a distance of 15.07 feet to a 1/2-inch found iron rod with HALFF cap for corner from which a 1/2" Brass Disk on concrete for the intersection of the old south right of way line for said Coppel Road and said Texas Trail bears North 25 degrees 21 minutes 34 seconds East, a distance of 5.12 feet;

THENCE North 89 degrees 43 minutes 43 seconds East, along the new south right of way line of said Coppel Road, passing a 1/2-inch found iron rod with HALFF cap for corner, all intersection of said south right of way line and a fence line being the common line of said 35.86 acre tract and said 5.139 acre tract, a distance of 1,643.62 feet and continuing for a total distance of 1,732.52 feet to a 1/2-inch found iron rod with cap stamped "AZB" for corner on the common line of said 35.86 acre tract and said 5.139 acre tract and the westerly line of the Dallas-Fort Worth International Airport, Tract 1 as described in Deed to the City of Fort Worth, as recorded in Volume 5475, Page 301 Deed Records, Tarrant County, Texas;

THENCE South 00 degrees 33 minutes 28 seconds East, departing said new south right of way line and along said common line, a distance of 1,208.95 feet to the POINT OF BEGINNING Containing 1,788,837 square feet or 41.02 acres of land, more or less.

NOW, THEREFORE, ALL MEN BY THESE PRESENTS, that Oncon Electric Delivery Company LLC, a Delaware Limited Liability Company and Total E&P USA Barnett LLC, do hereby adopt the plat of Lot 1, and Lot 2, Block 2 and Lot 1R, Block 1 Airport Crossing JV Wells Addition, an addition to the City of Grapevine, Tarrant County, Texas, and does hereby dedicate to the public for the right-of-way and easements shown thereon. The easements shown thereon are hereby reserved for the purposes as indicated. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of any of the easements is the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed, or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the medical use and accommodation of all public utilities using, or desiring to use the same. Any City or franchised utility shall have the right to remove and/or replace all or parts of any fences, trees, shrubs, or other improvements or growths within in any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on the easements and all City or franchised utility shall at all times have the full right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, maintaining, and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone.

I have reviewed the City's findings concerning dedications and I do agree that the statements are true and correct.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

Witness my hand this _____ day of _____, 2019.

Oncon Electric Delivery Company LLC
Name: Jill Alvarez, P.E.
Title: Attorney-in-Fact

The State of Texas
County of Tarrant

Before me, Jill Alvarez, P.E., Attorney-in-Fact, on this day personally appeared known to me (or proved to me on the oath of or through description of identity card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this _____ day of _____, A.D. 2019.

Notary Signature
Notary Public
COUNTY OF TARRANT

CITY OF FORT WORTH
(DFW AIRPORT)
VOL. 5475, PG. 301
O.R.T.C.T.

ZONE DFW AIRPORT

THENCE North 89 degrees 43 minutes 43 seconds East, along the new south right of way line of said Coppel Road, passing a 1/2-inch found iron rod with HALFF cap for corner, all intersection of said south right of way line and a fence line being the common line of said 35.86 acre tract and said 5.139 acre tract, a distance of 1,643.62 feet and continuing for a total distance of 1,732.52 feet to a 1/2-inch found iron rod with cap stamped "AZB" for corner on the common line of said 35.86 acre tract and said 5.139 acre tract and the westerly line of the Dallas-Fort Worth International Airport, Tract 1 as described in Deed to the City of Fort Worth, as recorded in Volume 5475, Page 301 Deed Records, Tarrant County, Texas;

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THENCE North 89 degrees 43 minutes 43 seconds East, along the new south right of way line of said Coppel Road, passing a 1/2-inch found iron rod with HALFF cap for corner, all intersection of said south right of way line and a fence line being the common line of said 35.86 acre tract and said 5.139 acre tract, a distance of 1,643.62 feet and continuing for a total distance of 1,732.52 feet to a 1/2-inch found iron rod with cap stamped "AZB" for corner on the common line of said 35.86 acre tract and said 5.139 acre tract and the westerly line of the Dallas-Fort Worth International Airport, Tract 1 as described in Deed to the City of Fort Worth, as recorded in Volume 5475, Page 301 Deed Records, Tarrant County, Texas;

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SURVEYOR'S CERTIFICATE:
I, Douglas A. Calhoun of Half Associates Inc. a Registered Professional Land Surveyor of the State of Texas, do hereby declare that I prepared this plat from an actual and accurate survey on the land and that the corner monuments shown hereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the State of Texas and the City of Grapevine.

Registered Professional Land Surveyor
State of Texas No. 5619
Half Associates Inc.

PLANNING & ZONING COMMISSION:
Date Approved: _____
Chairman: _____
Secretary: _____

GRAPEVINE CITY COUNCIL
Date Approved: _____
Mayor: _____
City Secretary: _____

OWNER
TOTAL E&P USA BARNETT LLC
P.O. BOX 17209
FORT WORTH, TX 76102
(817) 723-1100 BUSINESS

OWNER/DEVELOPER
JILL ALVAREZ, P.E., ATTORNEY-IN-FACT
ONCON ELECTRIC DELIVERY CO. LLC
115 W. 7th STREET
SUITE 505
FORT WORTH, TX 76102
(817) 215-6061 BUSINESS
jalvarez@onconor.com

SURVEYOR
DOUGLAS A. CALHOUN, RPLS
SURVEY MANAGER
HALFF ASSOCIATES, INC.
4000 FOSSIL CREEK BLVD.,
FORT WORTH, TEXAS 76137
(817) 764-7505 DIRECT
dcalhoun@halff.com

OWNER'S CERTIFICATE:
STATE OF TEXAS
COUNTY OF TARRANT

WHEREAS, Oncon Electric Delivery Company LLC, a Delaware Limited Liability Company, is the owner of a 35.86 acre tract of land and Total E&P USA Barnett LLC, a Delaware Limited Liability Company, is the owner of a 35.86 acre tract of land situated in the City of Grapevine, Tarrant County, Texas, and being all of that called 35.86 acre tract of land described in Special Warranty Deed to Oncon Electric Delivery Company LLC, as recorded in County Clerk's Document No. D218025857 in the Official Records of Tarrant County, Texas (O.R.T.C.T.), and being the remainder of that called 41.230 acre tract of land described in Deed to Total E&P USA Barnett LLC, recorded in Document No. D210239705 O.R.T.C.T., said remainder being the 5.139 acre tract as described in Exhibit C-1 of said Document D218025857, and being more particularly described as follows:

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THENCE North 17 degrees 03 minutes 24 seconds West, continuing along said easterly right of way line, a distance of 399.61 feet to a 1/2-inch found iron rod with Wier cap for the point of curvature of a circular curve to the left, having a radius of 17,003.42 feet, whose chord bears North 19 degrees 13 minutes 34 seconds West, a distance of 140.30 feet;

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I have reviewed the City's findings concerning dedications and I do agree that the statements are true and correct.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

Witness my hand this _____ day of _____, 2019.

Oncon Electric Delivery Company LLC
Name: Jill Alvarez, P.E.
Title: Attorney-in-Fact

The State of Texas
County of Tarrant

Before me, Jill Alvarez, P.E., Attorney-in-Fact, on this day personally appeared known to me (or proved to me on the oath of or through description of identity card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

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Notary Public
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Witness my hand this _____ day of _____, 2019.

Oncon Electric Delivery Company LLC
Name: Jill Alvarez, P.E.
Title: Attorney-in-Fact

The State of Texas
County of Tarrant

Before me, Jill Alvarez, P.E., Attorney-in-Fact, on this day personally appeared known to me (or proved to me on the oath of or through description of identity card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the

MEMO TO: HONORABLE MAYOR AND CITY COUNCIL MEMBERS
AND MEMBERS OF THE PLANNING AND ZONING
COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER ^{BR}
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: FEBRUARY 19, 2019

SUBJECT: AM19-01 – ADDITION OF SECTION 41B TRANSIT DISTRICT
OVERLAY TO THE GRAPEVINE COMPREHENSIVE ZONING
ORDINANCE

RECOMMENDATION:

Staff recommends the City Council to consider adoption of a new Section 41B. Transit District Overlay to the Grapevine Comprehensive Zoning Ordinance, and take any action necessary.

BACKGROUND:

As commuter rail became a reality, City Council authorized a sizable investment in the beautiful new Grapevine Main Station and Hotel Vin at the northeast corner of Dallas Road and South Main Street. At the same time, City Council and the Planning and Zoning Commission had the vision and foresight to begin planning for a zoning overlay with standards that would guide the significant development that was sure to follow along the Dallas Road Corridor. Numerous public meetings and workshops were held over the last several years, and common themes emerged from them. These included but were not limited to: a walkable environment, a mix of unique and exciting uses, a focus on higher density but owner-occupied residential products, and architecture that was compatible with the Main Street Historic District with its own, unique style.

Council and the Planning and Zoning Commission also felt that a zoning overlay should be optional; that property owners should be able to develop their property as permitted by the Zoning Ordinance under their existing zoning, but that the overlay should contain enough incentives and benefits that they would choose to use it instead. The attached overlay prepared by ArchiTexas and Mesa Planning addresses all of the goals set out by City Council and the Planning and Zoning Commission. This document focuses heavily on pedestrian elements, encourages exciting, diverse uses, and provides the opportunity for unique moderate to high-density, owner-occupied residential products that are not

available anywhere else in Grapevine. There are also extensive architectural standards that will ensure both pleasing and enduring buildings.

Lastly, City Council and the Planning and Zoning Commission asked staff to investigate parking options, including the possibility of shared parking areas that would provide more functional buildable area especially for uniquely sized and shaped lots. Staff is working with WGI Parking Planners to investigate the current parking situation on Dallas Road and Main Street, and the projected future parking needs as Dallas Road develops. They will provide recommendations for dealing with these needs, including the possibility of shared parking solutions. WGI will present their findings and recommendations in the near future, and if directed to do so, staff will incorporate these recommendations into the Transit District Overlay for City Council and Planning and Zoning Commission approval.

Summary of Transit District Overlay

- 1) Introduction
- 2) Boundaries of District
- 3) Implementation and Application to Existing Zoning

These are the administrative portions of the Overlay, which address its purpose and describe its boundaries. These sections also describe how the Overlay is applied, and describe the benefits a developer would gain by choosing it. There is also language stating that the overlay is voluntary, and that a property may develop under its current zoning classification. These were all important concepts to Council and P&Z.

4) Intensity Sub-Districts & Uses: Three Intensity Sub-Districts are designated (High, Medium, Low), based on their proximity to the Grapevine Main Station, major thoroughfares, and other properties.

Examples of preferred uses appropriate to Grapevine's Transit District are presented with each of the Intensity Sub-Districts. However, other uses not listed may be approved if appropriate. **All uses incorporating the overlay are Conditional Uses.**

5) Design and Development Standards (Including Sign Standards): These standards make up the bulk of the document. This is by far the most important component of the overlay, providing form for the District, and makes the overlay unique to Grapevine. Everything from lot coverage to height to building materials are covered in this section, and it is heavily illustrated to help convey the intent of each component. There are **specific standards** tailored for each Intensity Sub-District and location, **and general standards** that apply to all development.

These standards function much like the highly successful Multi-Family Design Standards recently approved by Council.

Parking: WGI Parking Consultants are currently working on a parking study. However, until that is complete, it is anticipated that all projects within the overlay will comply with the Zoning Ordinance parking requirements unless an alternative parking plan is approved by the Planning and Zoning Commission and Council.

ORDINANCE NO. 2019-008

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE OF ORDINANCES FOR GRAPEVINE, TEXAS BY ADDING SECTION 41B TRANSIT DISTRICT OVERLAY; REPEALING CONFLICTING ORDINANCES; PROVIDING A PENALTY NOT TO EXCEED TWO THOUSAND DOLLARS (\$2,000.00); PROVIDING A SEVERABILITY CLAUSE; DECLARING AN EMERGENCY; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, Section 41B of the Zoning Ordinance of the City of Grapevine regulates Transit District Overlay; and

WHEREAS, the City Council wishes to add Section 41B of the Zoning Ordinance; and

WHEREAS, the City Council of the City of Grapevine deems the passage of this ordinance as necessary to protect the public, health, safety, and welfare; and

WHEREAS, the City Council is authorized by law to adopt the provisions contained herein, and has complied with all the prerequisites necessary for the passage of this ordinance, including but not limited to the Open Meetings Act.

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That Section 41B. Transit District Overlay, is hereby added in its entirety.

See attached Exhibit "A".

Section 4. That all ordinances or any parts thereof in conflict with the terms of this ordinance shall be and hereby are deemed repealed and of no force or effect provided, however, that the ordinance or ordinances under which the cases currently filed and pending in the Municipal Court of the City of Grapevine, Texas shall be deemed repealed only when all such cases filed and pending under such ordinance or ordinances have been disposed of by a final conviction or a finding of not guilty, nolo contendere, or dismissal.

Section 5. Any person, firm or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed two thousand dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 6. If any section, article, paragraph, sentence, clause, phrase or word in this ordinance, or application thereto any person or circumstance is held invalid or unconstitutional by a Court of competent jurisdiction, such holding shall not affect the validity of the remaining portions of this ordinance; and the City Council hereby declares it would have passed such remaining portions of the ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

Section 7. The fact that the present ordinances and regulations of the City of Grapevine, Texas are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the public creates an emergency which requires that this ordinance become effective from and after the date of its passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of February 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

GRAPEVINE TRANSIT DISTRICT



**A PLANNING DOCUMENT THAT IMPLEMENTS THE CITY VISION OF
AN ACTIVE PEDESTRIAN - MIXED USE SETTING**

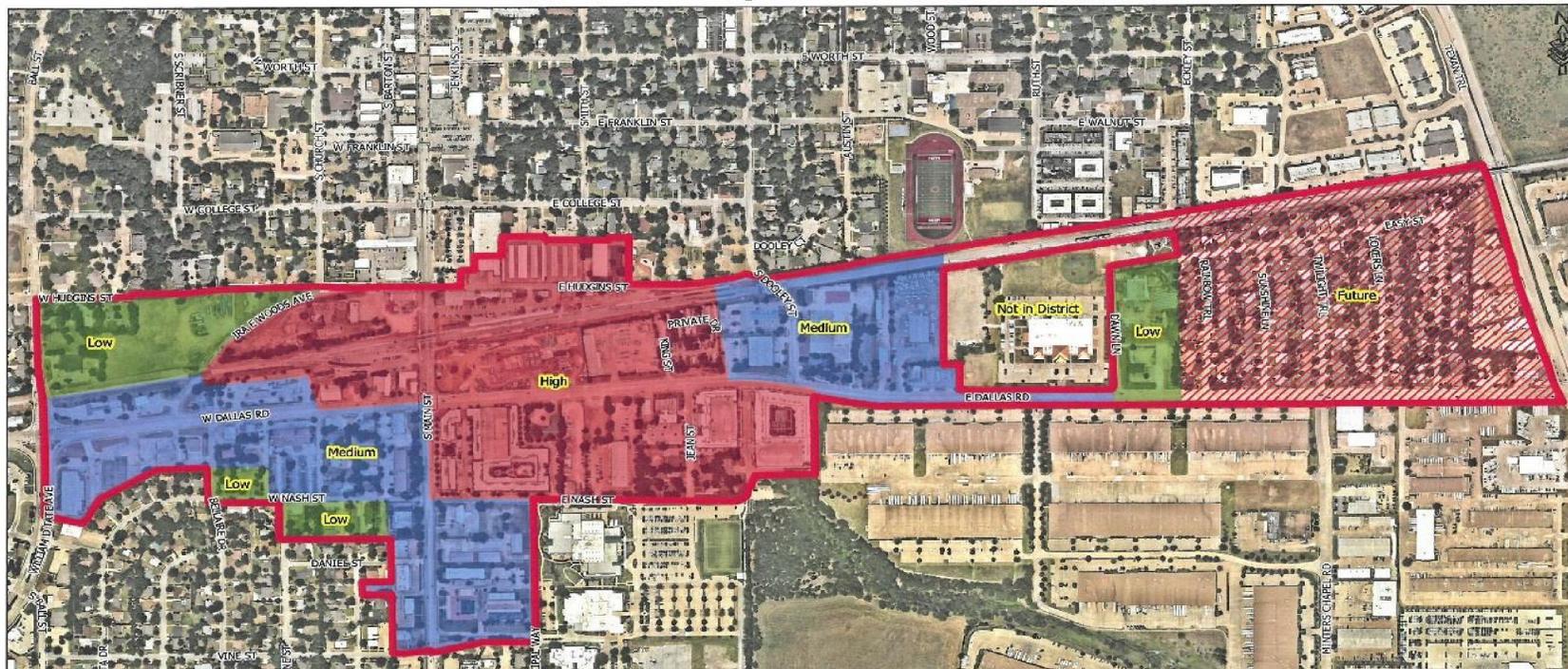
TRANSIT DISTRICT PLAN - APPROACH

The Grapevine Transit District is comprised of three sub-districts consisting of various parcels of varying frontage, size, and configuration to which proposed levels of intensity are applied.

Intensity means intensity of land use AND intensity of pedestrian activity

The three sub-districts are High-Intensity, Medium-Intensity, and Low-Intensity

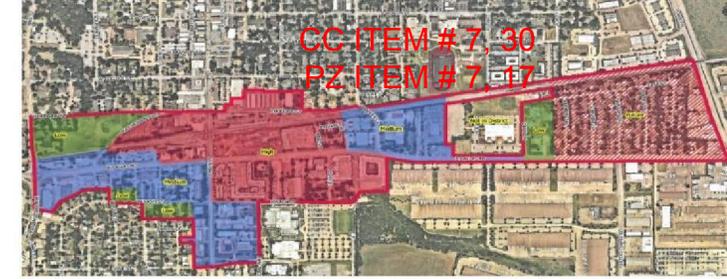
Intensity Sub-Districts



-  Proposed Rail Corridor Study Boundary
-  Not Included In Study
-  Low Intensity
-  Medium Intensity
-  High Intensity

GRAPEVINE TRANSIT DISTRICT

Preferred Uses in the Transit District Overlay



High-Intensity Sub District

- Local and Regional Restaurants
- High Density Mixed Use
- Craft Brewery
- Retail
- Artisan/Craft Studio
- Office
- Live Work Space
- Street/Sidewalk Vendors

Medium- Intensity Sub District

- Less Intensive Retail
- Educational/Vocational Institutional
- Urban Corporate Campus
- Mod. Density Residential
- Office
- Live / Work Space
- Single Family Attached
- Street/Sidewalk Vendors

Low-Intensity Sub District

- Low Intensity Residential
- Duplex

	Intensity Sub-District		
	High	Medium	Low
Entertainment	X		
Attractions	X		
Restaurant	X	X	
Winery	X	X	
Craft Brewery	X	X	
Distillery	X	X	
Retail	X	X	
Artisan/Craft Studios & Shops	X	X	
Temporary Retail (Vendors/Kiosks)	X	X	
Mixed Use	X	X	
Office	X	X	
Personal Service	X	X	
Educational/Vocational Institution		X	
Live/Work Space	X	X	
Condominium / Townhome	X	X	X
Single Family attached	X	X	X
Two Family			X
Single Family Detached			X

ALL USES IN PROPOSED DEVELOPMENTS WITHIN THE OVERLAY WILL BE CONDITIONAL USES REVIEWED BY COUNCIL AND P&Z.

GRAPEVINE TRANSIT DISTRICT

INTENSITY SUB-DISTRICT SPECIFIC STANDARDS

The following Matrix indicates which of the "Intensity Sub-District/Parcel Specific Standards" applies within a particular Intensity Sub-District of the Grapevine Transit District:

Guideline/Standard	High Intensity	Medium Intensity	Low Intensity
1. Rail/ Street Definition			
a. Addressment of Rail Frontage	X	X	
b. Addressment of Primary Street Front	X	X	
c. Addressment of Secondary Street Front	X	X	
d. Lot Occupancy, Urban Areas	X	X	
e. Lot Occupancy Single Family Detached			X
f. Lot Occupancy Single Family Attached		X	X
g. Extend Established Streetscape Themes	X	X	
2. Circulation and Connectivity			
a. A General Circulation Plan	X	X	

The document is based on directions from the City Council at the TOD Workshop meeting in March

- Part One: Standards that apply to conditions in certain Development Intensity Districts
- Part Two: Design Standards which apply to all development within the Transit District
- Part Three: Sign Standards



GRAPEVINE TRANSIT DISTRICT

Part One

Intensity District specific standards accomplishes important directive of the City Council and P&Z

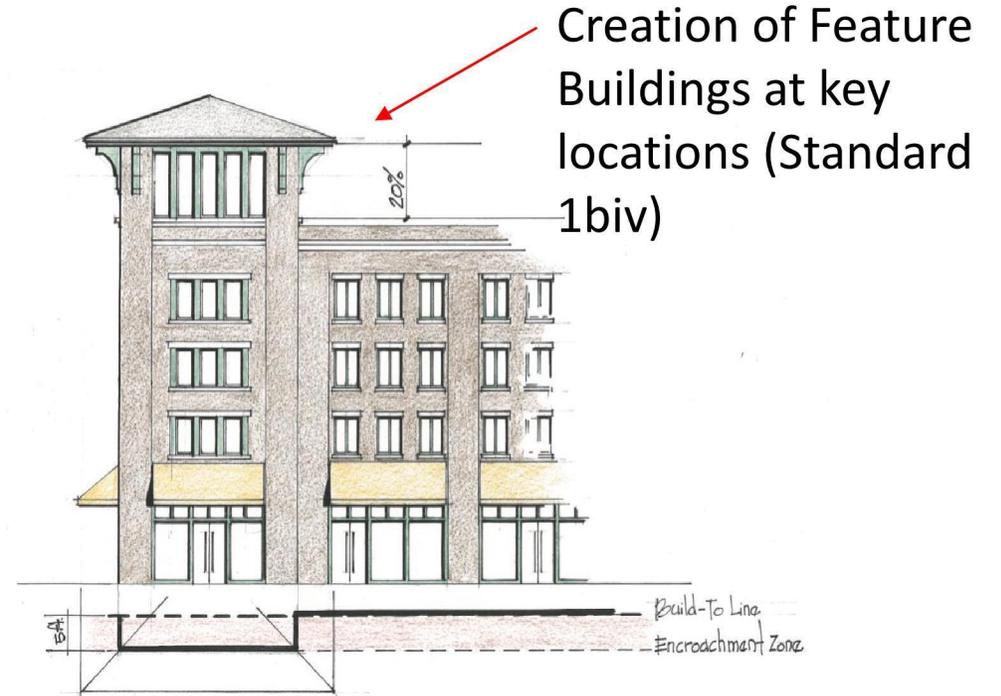
- Pedestrian active core
- Townscape form



GRAPEVINE TRANSIT DISTRICT

Part One

Example of District Specific Standards which accomplish creation of a coherent Townscape form



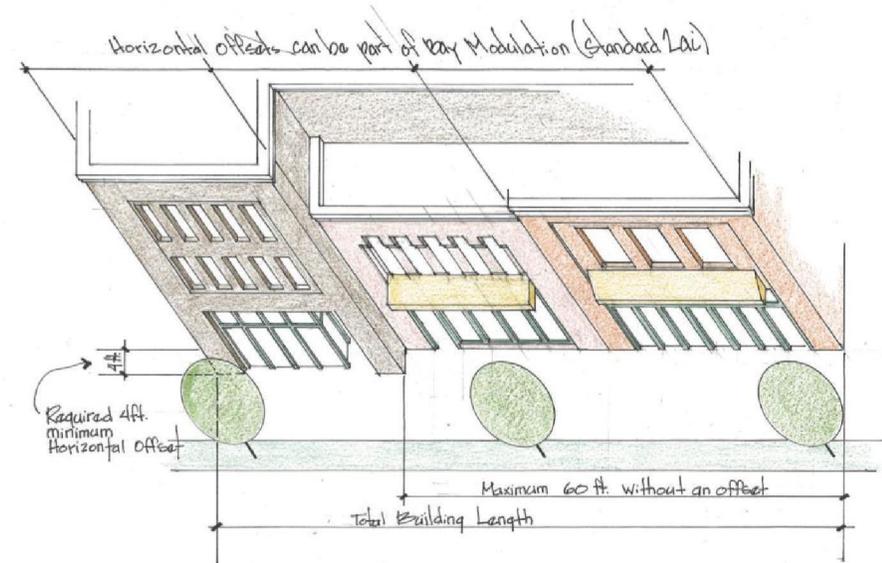
Creation of an interface with the public pedestrian street for all uses...especially residential uses. (Standard 2e)

GRAPEVINE TRANSIT DISTRICT

Part Two

Generally applicable design standards -accomplishes important directives of the Council and P&Z:

- Design distinction
- Transition to adjacent historic and/or residential areas
- Higher design quality

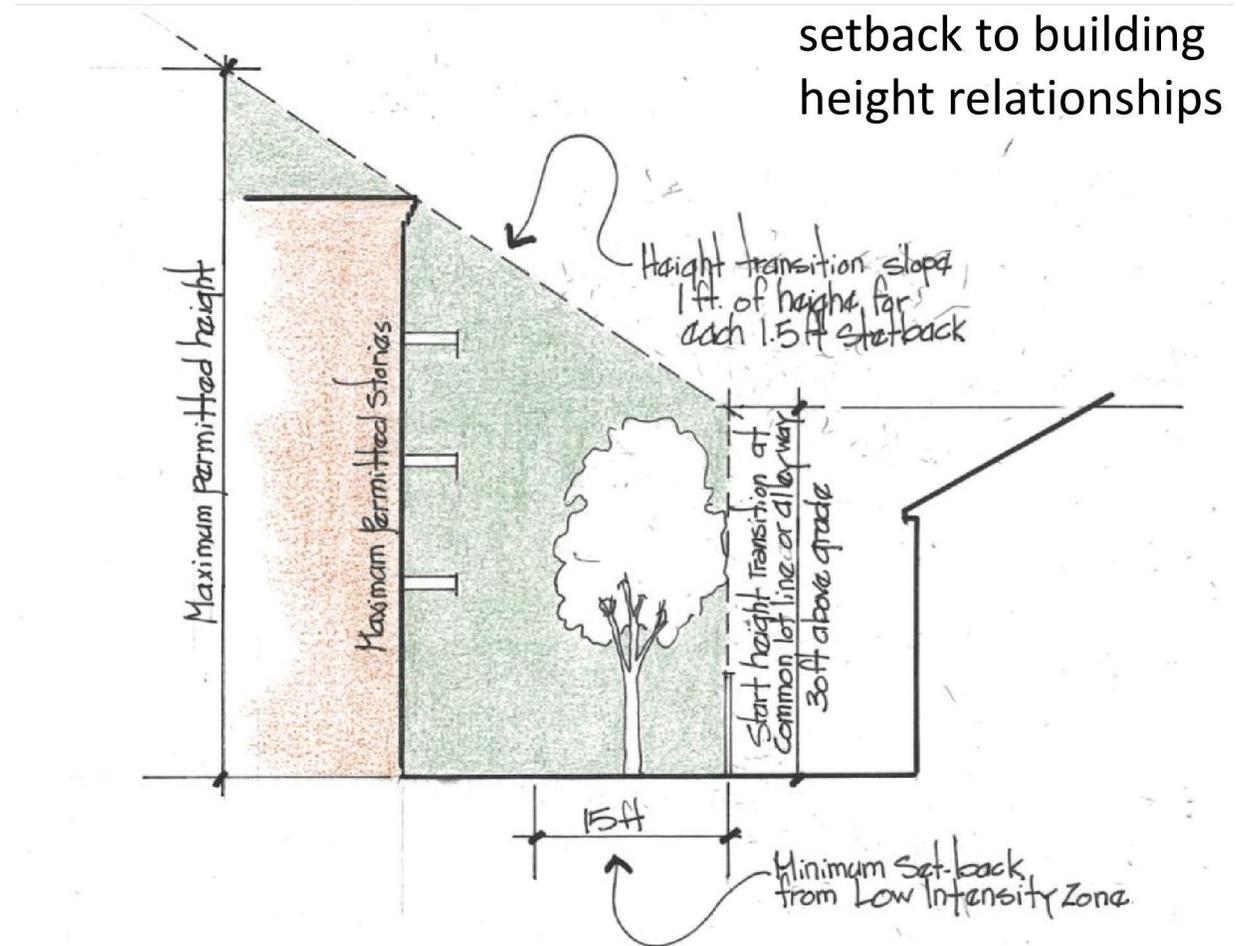


GRAPEVINE TRANSIT DISTRICT

Part Two

Example of District Specific Standards which accomplish transition of adjacent historic and/or residential areas

Standard 2av =
setback to building
height relationships

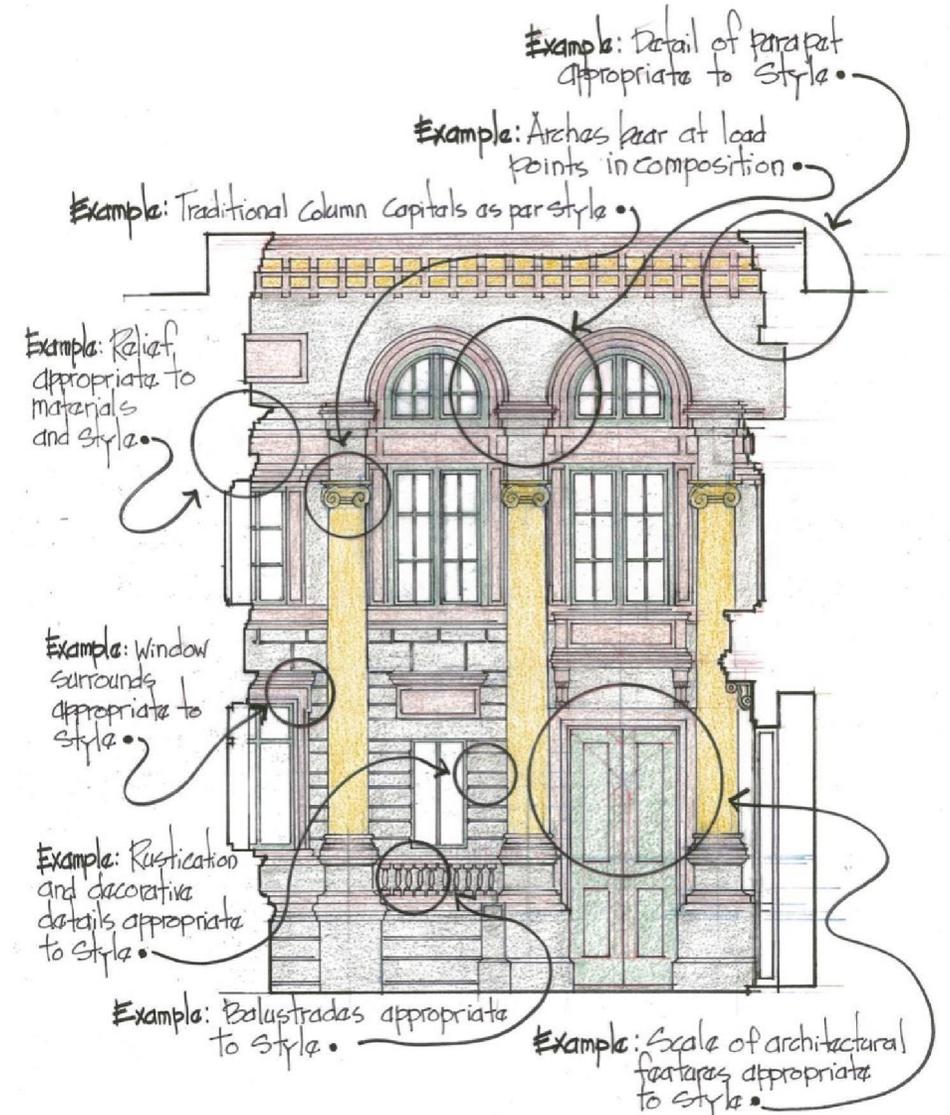


GRAPEVINE TRANSIT DISTRICT

Part Two

Example of Generally Applicable Standards which promote higher design integrity

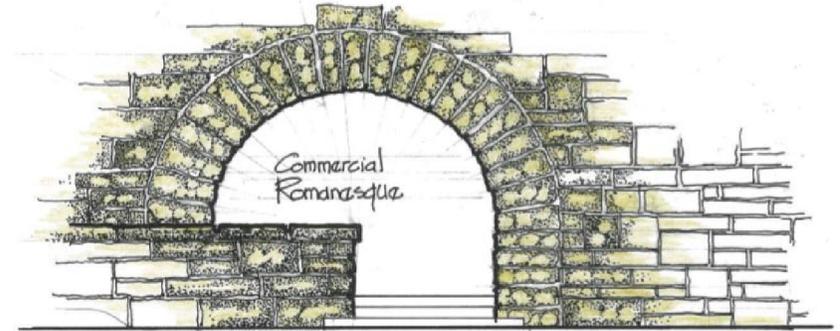
Standard 3a = Integrity of style usage



GRAPEVINE TRANSIT DISTRICT

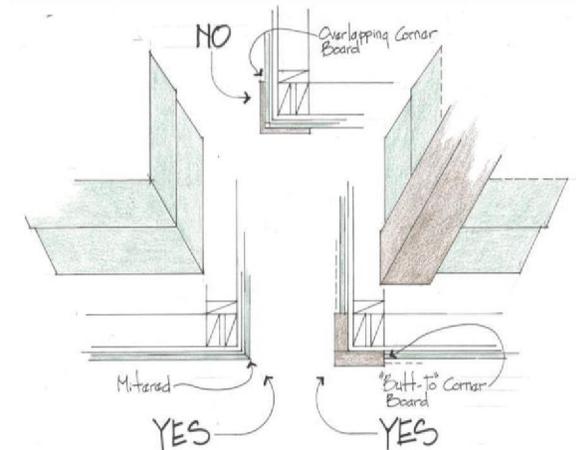
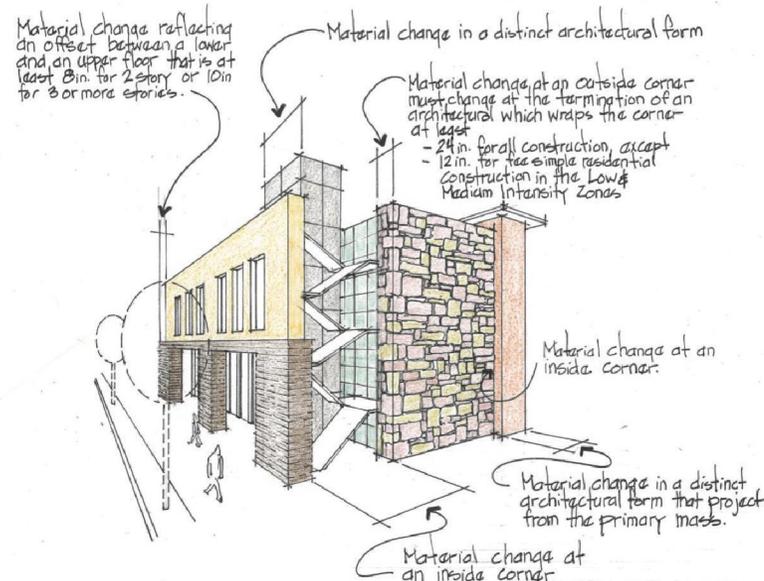
Part Two

Example of Generally Applicable Standards which promote better quality of construction



Standard 4a ii = Proper use of stone

Standard 3k iv = proper way to make material changes



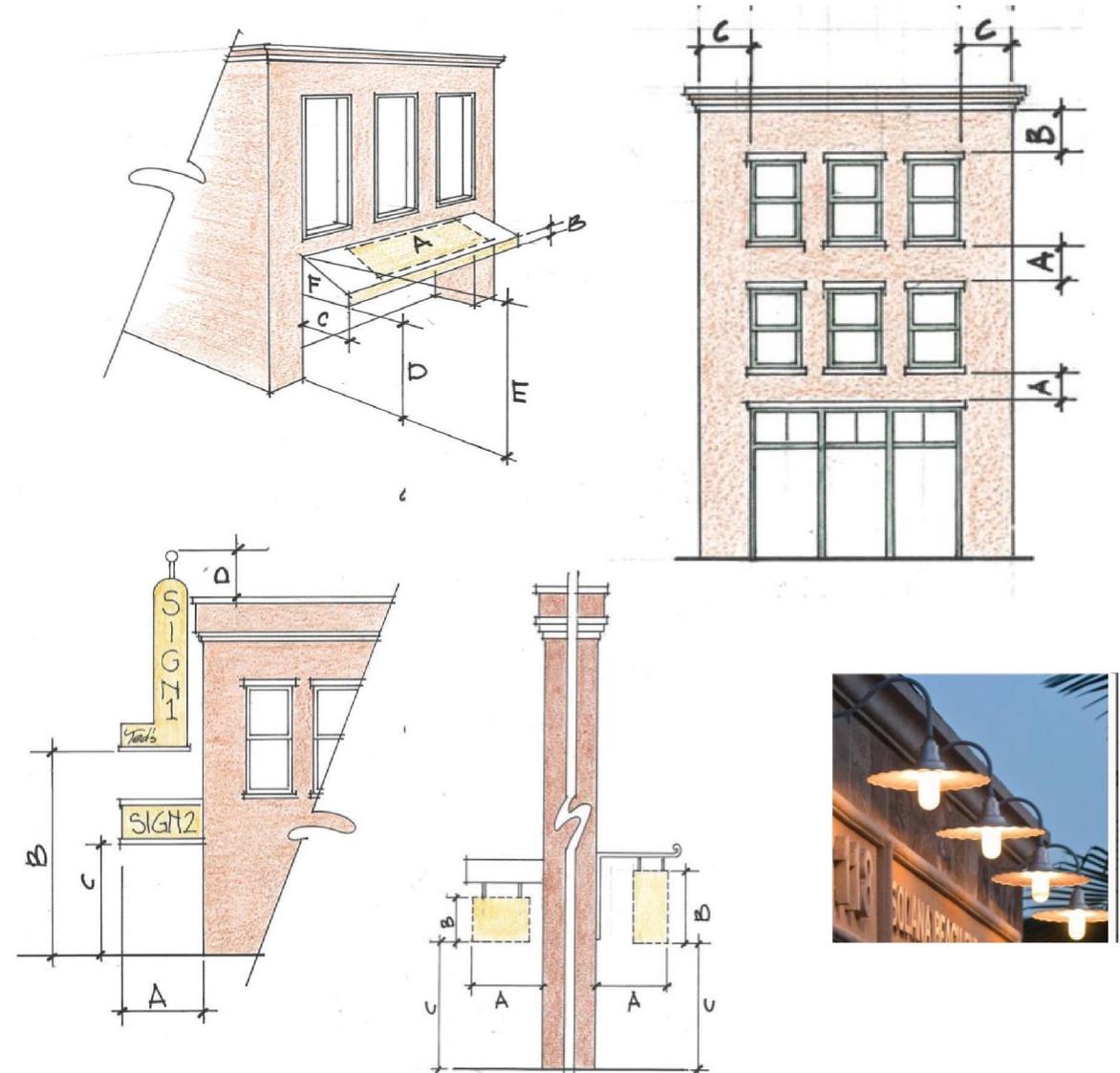
Standard 4a iv = making corners in siding

GRAPEVINE TRANSIT DISTRICT

Part Three

Sign Standards accomplishes two important outcomes:

- Creation of a place for signs
- Higher quality of sign
- Historic continuity of sign type



GRAPEVINE TRANSIT DISTRICT

Urban Design Structure which is implemented throughout the Overlay.

There are 3 parts to the structure:

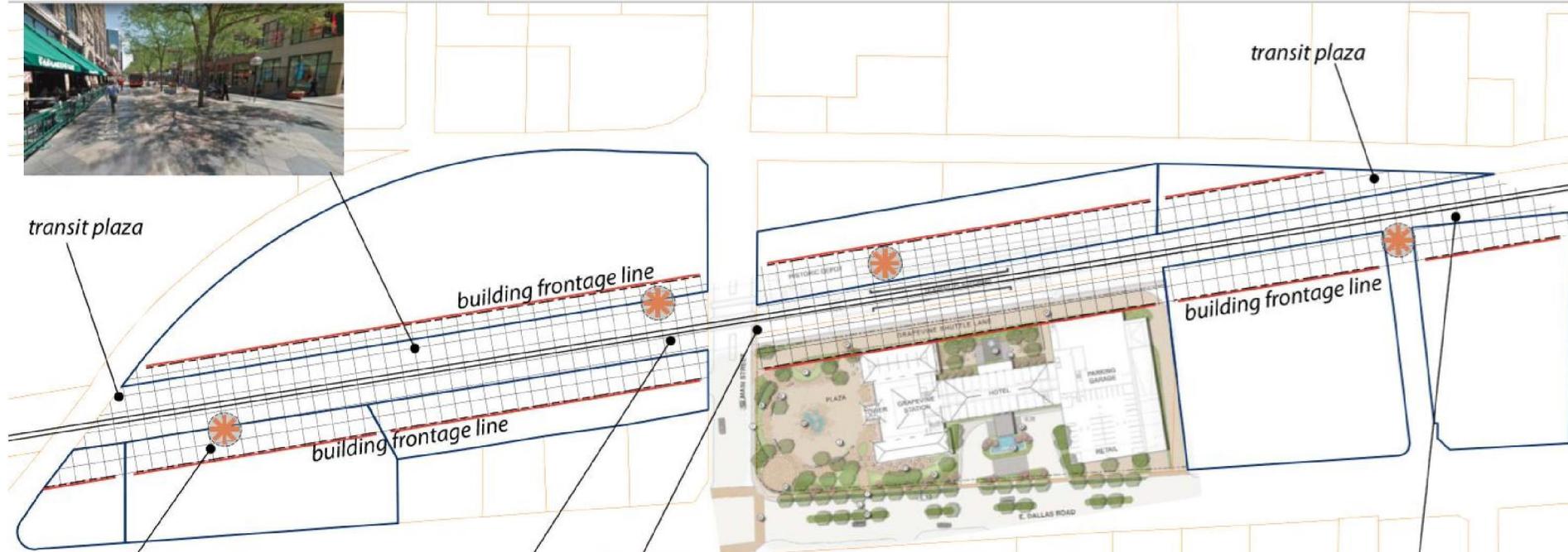
- The creation of a pedestrian hub at the core
- A legible streetscape which communicates “district” and location within it.
- The interface between public and private wherein the extent of private participation of completing the vision is clear (like San Antonio Riverwalk)



TRANSIT DISTRICT THAT IS *TRANSIT CENTERED*

CC ITEM # 7, 30
PZ ITEM # 7, 17

Many Parcels in the High Intensity District have double frontage and are large



GRAPEVINE TRANSIT DISTRICT

The overall Urban Design Plan –Appendix C



GRAPEVINE TRANSIT DISTRICT

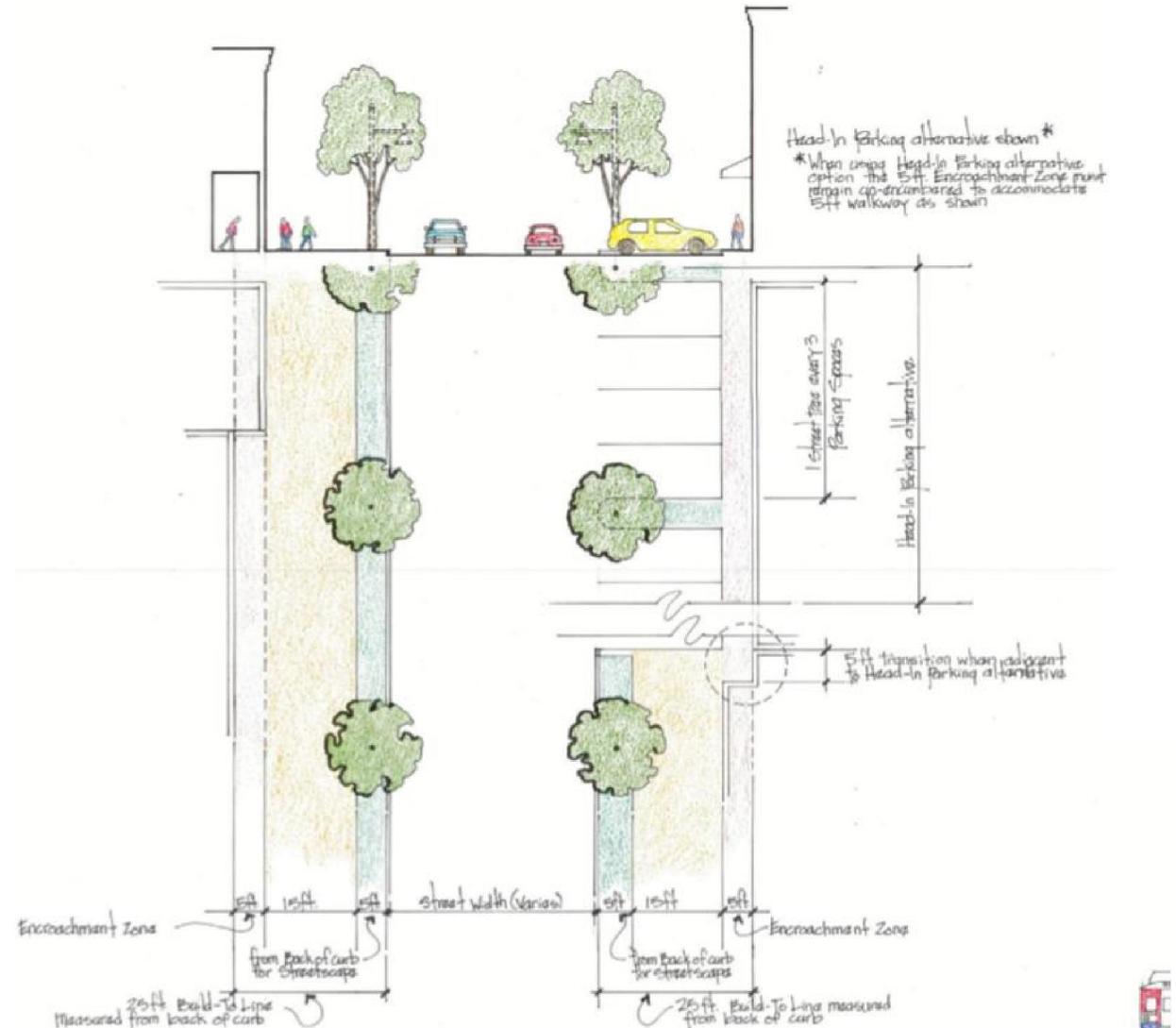
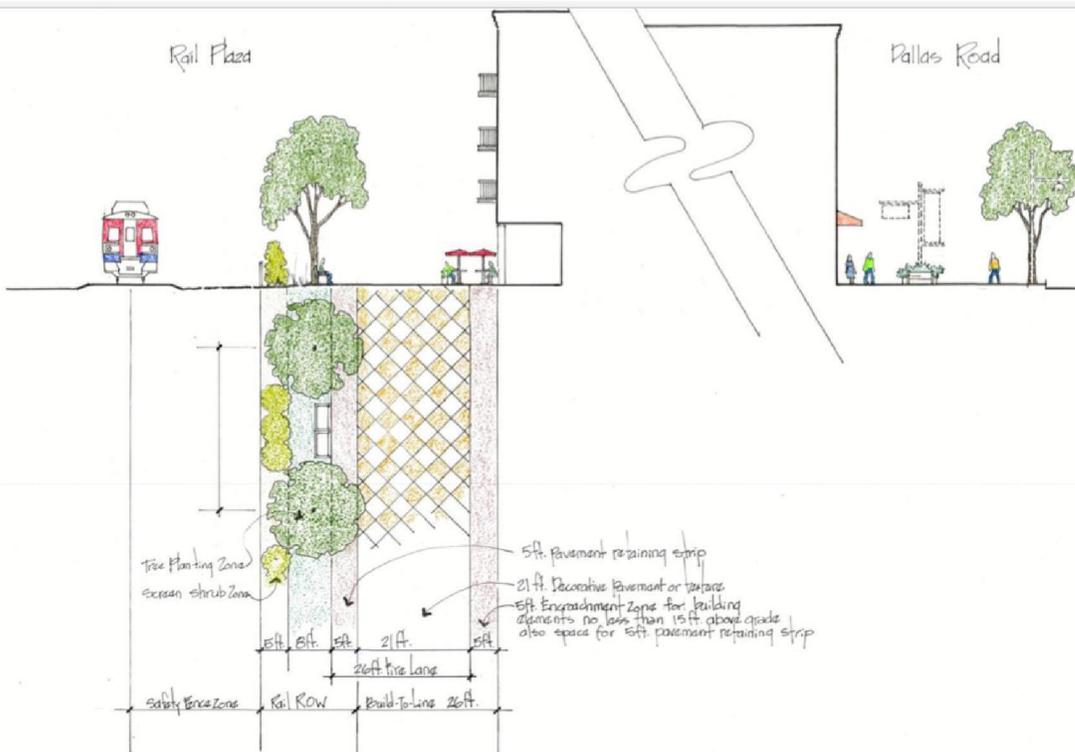
Dallas Road

- The private portion builds to the public improvements planned for this area, thereby completing the street section.



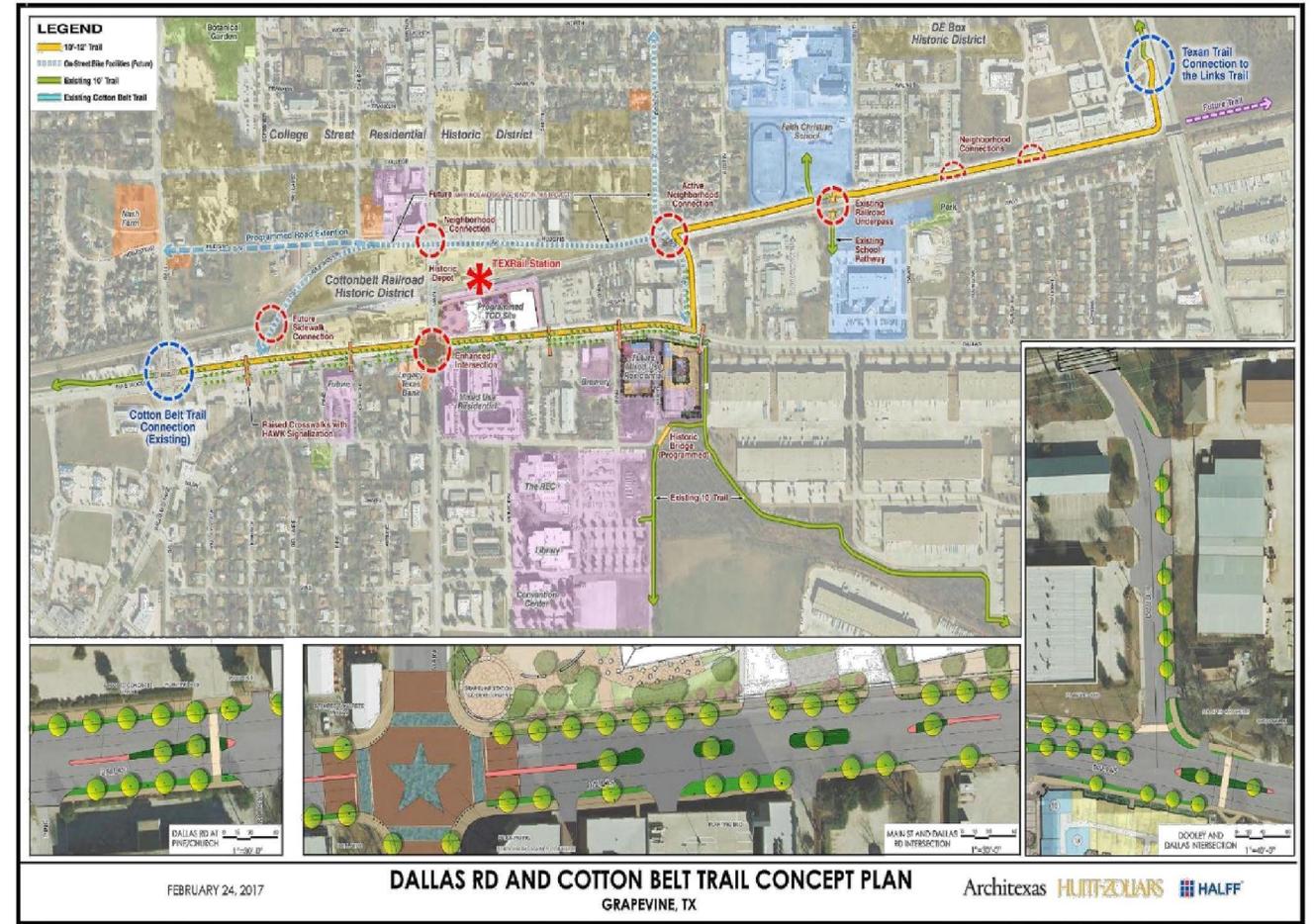
GRAPEVINE TRANSIT DISTRICT

- Other streets (Example)



GRAPEVINE TRANSIT DISTRICT

- Exhibits “D” and “E” assure continuity within the Transit District in terms of thematic landscape and streetscape.
- Exhibit “F” is an approved Plant Listing



GRAPEVINE TRANSIT DISTRICT



**A PLANNING DOCUMENT THAT IMPLEMENTS THE CITY VISION OF
AN ACTIVE PEDESTRIAN - MIXED USE SETTING**

ITEM 07
AM19-01

**CORRESPONDING
EXHIBIT IS THE LAST
ITEM IN THIS PACKET.**

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: FEBRUARY 19, 2019

SUBJECT: FINAL PLAT APPLICATION
LOTS 1-5, BLOCK 1R, KIMBALL GLEN
(BEING A REPLAT OF LOTS 1 AND 2, BLOCK 1, KIMBALL GLEN
AND 0.546 ACRES OF UNPLATTED LAND)

PLAT APPLICATION FILING DATE.....February 12, 2019

APPLICANT Jeff Avery, Briar Pointe, LP.

REASON FOR APPLICATION..... Platting property to build five (5) residential homes

PROPERTY LOCATION 2114, 2310 and 2316 North Kimball Road

ACREAGE..... 1.426

ZONING R-7.5

NUMBER OF LOTS 5

PREVIOUS PLATTING 2016

CONCEPT PLAN No

SITE PLAN..... No

OPEN SPACE REQUIREMENT..... Yes

AVIGATION RELEASE Yes

PUBLIC HEARING REQUIRED Yes

**PLAT INFORMATION SHEET
FINAL PLAT APPLICATION
LOTS 1-5, BLOCK 1R, KIMBALL GLEN
(BEING A REPLAT OF LOTS 1 AND 2, BLOCK 1, KIMBALL GLEN AND 0.546
ACRES OF UNPLATTED LAND)**

I. GENERAL:

- The applicant, Jeff Avery with Briar Pointe, LP is final platting 1.426 acres into five (5) residential lots. The property is located at 2114, 2310 and 2316 North Kimball Road.

II. STREET SYSTEM:

- The development has access to Kimball Road.
- ALL abutting roads: are on the City Thoroughfare Plan:
 are not on the City Thoroughfare Plan:

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 15.00 / LF		

Periphery Street Fees are not due: Developer and City will construct and improve east side of Kimball Road from Dove Road intersection through Kimball Glen Development per a Developer Agreement. Developer contribution will be curb and gutter plus sidewalk cost for the frontage adjacent to Kimball Glen Development per City Code.

III. STORM DRAINAGE SYSTEM:

- The site drains south.

- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for:
- Water and Wastewater Impact Fees are due prior to the issuance of building permits for: Lots 1-5, Block 1R, Kimball Glen
 - Single Family Residential (\$ 2,414/ Lot)
 - Multifamily (\$ 1,134/ Unit)
 - Hotel (\$ 43,632/ Acre)
 - Corporate Office (\$ 20,523/ Acre)
 - Government (\$ 4,414/ Acre)
 - Commercial / Industrial (\$ 5,739 / Acre)
- Open Space Fees are not required for:
- Open Space Fees are due prior to the preconstruction meeting for public infrastructure improvements for: Lots 1-5, Block 1R, Kimball Glen
 - R-5.0, R-TH, Zero Lot District (\$ 1,416.00 / Lot)
 - R-7.5, Single Family District (\$ 1,146.00 / Lot)
 - R-12.5, Single Family District (\$ 1,071.00 / Lot)
 - R-20.0, Single Family District (\$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
 - Front building line
 - Allowing a setback of 3 feet for the rear property line for an accessory building
 - Lot width & depth
 - Max. Impervious Area
 - Landscaping Regulations, allowing no landscape buffer between the edge of the parking area and the adjacent property line.
- The following items associated with this plat are not in accordance with the current subdivision standards:
 - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
 - Length of cul-de-sac street exceeds the 600-foot limit:
 - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
 - The right-of-way provides for future widening of public streets that will serve the development of this site.
 - The onsite utility easements provide for a utility network to serve the development of this site.
 - The onsite drainage easements provide for a drainage network to serve the development of this site.
 - The onsite access easements provide cross access capabilities to this site and surrounding property.

The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:

The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.

The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.

The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.

The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.

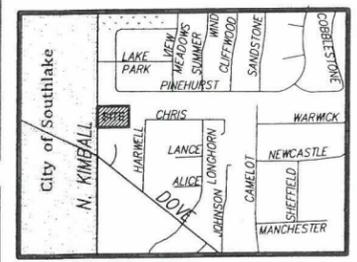
The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.

All of the dedications benefit the development to at least the extent of the impact of such on the development.

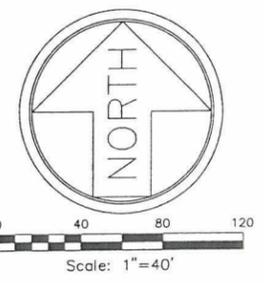
VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Final Plat of Lots 1-5, Block 1R, Kimball Glen."

OWNER'S CERTIFICATE



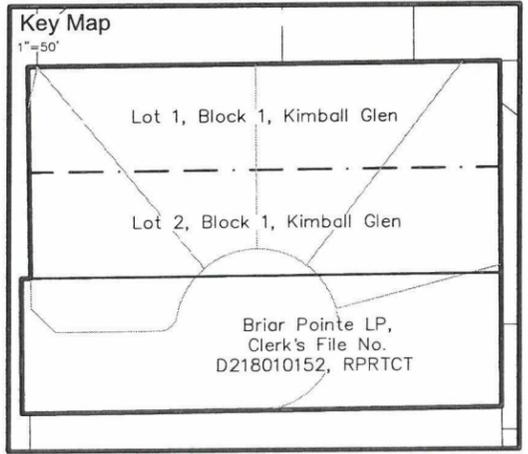
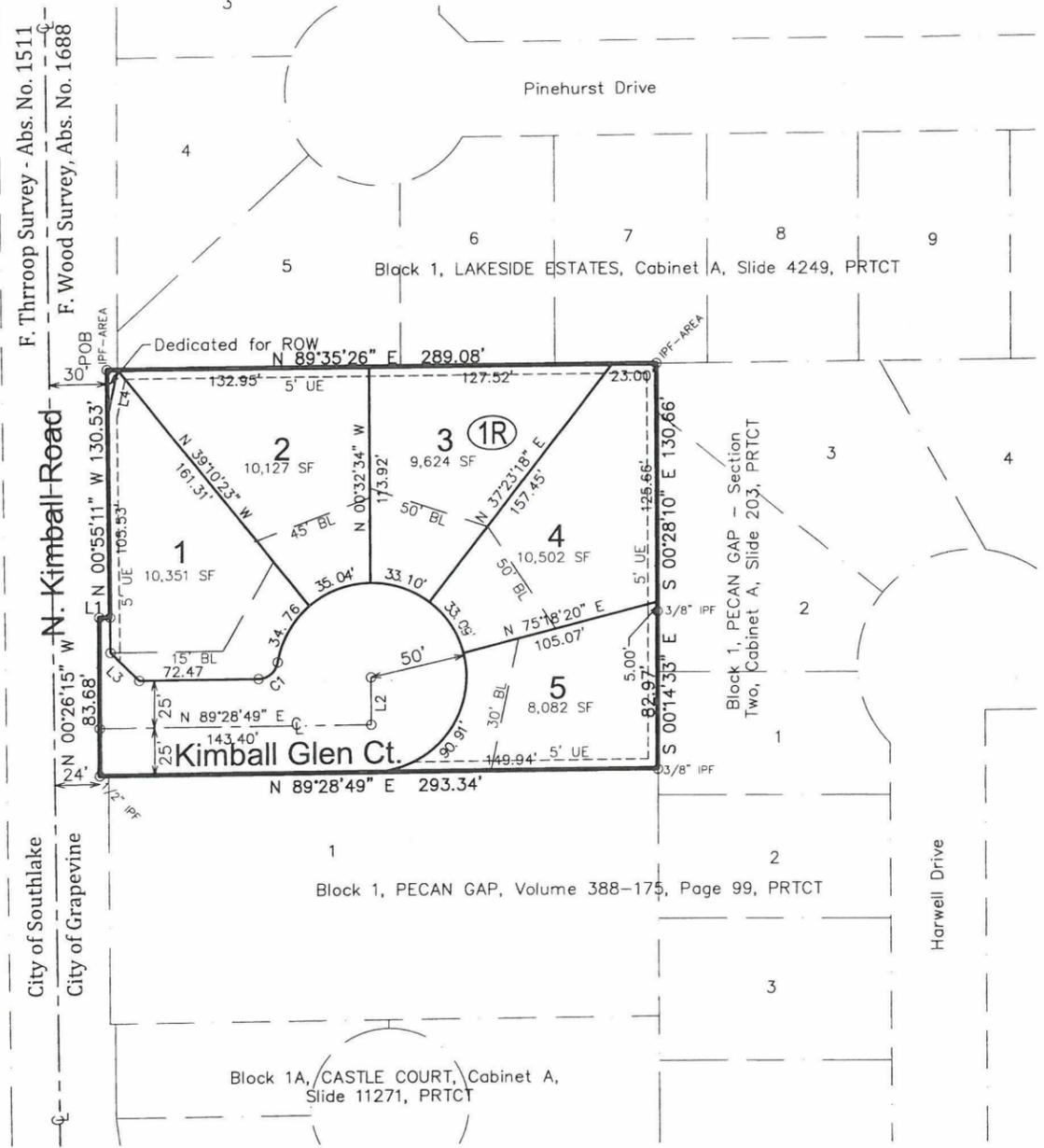
Vicinity Map



Owner/Developer
Jeff Avery
Briar Pointe LP
1314 Worthington Drive
Grapevine, TX 76051
Voice: 214.212.0558
Email: jeff@averyhomedfw.com

Surveyor
Roger W. Hart, RPLS
Area Surveying, Inc.
6080 S. Hulen St., Suite 360 #226
Fort Worth, TX 76132
Voice: 817.294.4490
Email: roger@areasurveying.com

- Notes:**
1. Bearings based on the Texas State Plane Coordinate System, North Central Zone and were obtained by GPS observations using the Texas Real Time Kinetic Network.
 2. According to Flood Insurance Rate Map Number 48439C0105K, dated September 25, 2009, this property does not lie in the 100-Year Flood Plain.
 3. Upon approval of this Replat, the existing buildings on this property shall be removed.
 4. The intended land use is single family residential.
 5. Abbreviations:
POB = Point Of Beginning
IPF = Iron Pin Found
ROW = Right-Of-Way
BL = Building Line
UE = Utility Easement
PRTCT = Plat Records, Tarrant County, Texas
RPRTCT = Real Property Records, Tarrant County, Texas
IPF-AREA = 1/2" Iron Pin Found with yellow cap stamped "AREA SURVEYING"
 6. Summary:
Total Platted Area = 62,138 SF
ROW Dedicated = 13,452 SF
Net Platted Area = 48,686 SF
Easement Dedication = 3,933



SURVEYOR'S CERTIFICATION

I, Roger W. Hart, of Area Surveying, Inc., a Registered Professional Land Surveyor of the State of Texas, do hereby declare that I prepared this plat from an actual and accurate survey on the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the State of Texas and the City of Grapevine.

Roger W. Hart,
RPLS No. 4484
Area Surveying, Inc.

STATE OF TEXAS §
COUNTY OF TARRANT §

Before me _____ on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this _____ day of _____, A.D. 2018.

Notary Signature

AVIGATION RELEASE

THE STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS, Briar Pointe LP, hereinafter called "Owner" (whether one or more), is the owner of that certain parcel of land situated in the City of Grapevine, Tarrant County, Texas, being said property as described as shown on this plat. NOW THEREFORE, in consideration of the sum of ONE AND 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confessed, Owner does hereby waive, release, remise and quitclaim to the City of Grapevine, Tarrant County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas, Texas and Fort Worth, Texas, their successors and assigns, hereinafter called "Cities", for the use and benefit of the public and its agencies, any and all claims for damages of any kind to persons or property that Owner may suffer by reason of the passage and flight of all aircraft in the air space above Owner's property above the height restriction as presently established by Ordinance No. 73-50 for the City of Grapevine, known as the Airport Zoning Ordinance of the Dallas-Fort Worth International Airport, to an infinite height above same, whether such damage shall originate from noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft, landing at, or taking off from, or operating at or on the Dallas-Fort Worth International Airport. This instrument does not release the owners or operators of aircraft from liability for damage to person or property caused by falling aircraft or falling physical objects from aircraft, except as stated herein with respect to noise, fumes, dust, fuel, and lubricant particles. It is agreed that this Release shall be binding upon said owner and his heirs and assigns, and successors in interest to said property; and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of the county or counties in which the property is situated.

EXECUTED at _____, Texas, this _____ day of _____, 20____.

OWNER

STATE OF TEXAS §
COUNTY OF TARRANT §

Before me _____ on this day personally appeared _____ known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this _____ day of _____, A.D. 20____.

Notary Signature

STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS, Briar Pointe LP is the owner of a 1.426 of an acre tract of land in the Franklin Wood Survey, Abstract Number 1688, situated in the City of Grapevine, Tarrant County, Texas, and being Lots 1 and 2, Block 1, Kimball Glen, an addition to the City of Grapevine, Tarrant County, Texas, according to the plat recorded in Clerk's File Number D216207597, Real Property Records, Tarrant County, Texas; Together With a tract of land described in a deed to Briar Pointe LP, recorded in Clerk's File Number D218010152, Real Property Records, Tarrant County, Texas, and being described as one (1) tract by metes and bounds as follows:

- Beginning at a 1/2" iron pin found with yellow cap stamped "AREA SURVEYING" in the east line of North Kimball Road for the Northwest corner of Lot 1;
- Thence North 89 degrees 35 minutes 26 seconds East a distance of 289.08 feet to a 1/2" iron pin found with yellow cap stamped "AREA SURVEYING" for the Northeast corner of Lot 1;
- Thence South 00 degree 28 minutes 10 seconds East a distance of 130.66 feet along the east line of Lot 1 and Lot 2, to a 3/8" iron pin found for the southeast corner of Lot 2, and for the northeast corner of said Briar Pointe tract;
- Thence South 00 degrees 14 minutes 33 seconds East a distance of 82.97 feet to a 3/8" iron pin found for the southeast corner of said Briar Pointe tract;
- Thence South 89 degrees 28 minutes 49 seconds West a distance of 293.34 feet to a 1/2" iron pin found in the east line of North Kimball Road for the southwest corner of said Briar Pointe tract;
- Thence North 00 degrees 26 minutes 15 seconds West a distance of 83.68 feet along the east line of North Kimball Road to a 3/8" iron pin found for the northwest corner of said Briar Pointe tract;
- Thence North 89 degrees 37 minutes 09 seconds East a distance of 5.57 feet along the north line of said Briar Pointe tract to a 1/2" iron pin found with yellow cap stamped "AREA SURVEYING" for the southwest corner of Lot 2;
- Thence North 00 degree 55 minutes 11 seconds West a distance of 130.53 feet along west line of Lot 2 and Lot 1, and along the east line of North Kimball Road to the Point of Beginning, said described tract containing 1.426 acres of land.

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS, THAT Briar Pointe LP and CDZ Proertites LLC, do hereby adopt this plat of 1 through 5, Block 1R, Kimball Glen, an addition to the City of Grapevine, Tarrant County, Texas, and does hereby dedicate to the public use forever the right-of-way and easements shown hereon. The easements shown hereon are hereby reserved for the purposes as indicated. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of paving on the easements is the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed, or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using, or desiring to use same. Any City or franchised utility shall have the full right to remove and keep removed all or parts of any fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all City or franchised utilities shall at all times have the full right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone.

We have reviewed the City's findings concerning dedications and I do agree that the statements are true and correct.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

Witness our hands this the _____ day of _____, 20____.

Briar Pointe LP

Title



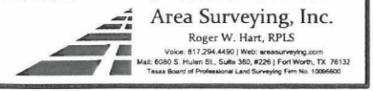
PLANNING & ZONING COMMISSION:
Date Approved: _____
Chairman: _____
Secretary: _____

GRAPEVINE CITY COUNCIL:
Date Approved: _____
Mayor: _____
City Secretary: _____

Final Plat Of
Lots 1-5, Block 1R,
Kimball Glen
(Being a replat of Lots 1 & 2, Block 1, Kimball Glen and 0.546 acres of unplatted land)
To the City of Grapevine, Tarrant County, Texas.

Five Lots
1.426 Acre
Existing & Proposed Zoning: R-7.5
February, 2019

This Plat Filed on _____ Instrument # D _____



Line Table

LINE	BEARING	DISTANCE
L1	N 89°37'09" E	5.57'
L2	S 00°31'11" E	25.00'
L3	S 45°43'08" E	21.29'
L4	S 11°45'02" W	25.57'

Curve Table

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	10.50	14.66	13.50	N 49°28'39" E	80°00'20"

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: FEBRUARY 19, 2019

SUBJECT: APPROVAL OF 2019 NCTCOG CALL FOR PROJECTS:
TRANSPORTATION ALTERNATIVES SET-ASIDE PROGRAM

RECOMMENDATION: City Council consider approval of a resolution authorizing the City Manager to submit the Cotton Belt Trail Corridor project in response to the 2019 NCTCOG Transportation Alternatives Set-Aside Program and ordinance appropriating funds.

FUNDING SOURCE: Upon approval of the attached appropriation ordinance, funds will be available in the Quality of Life Fund.

BACKGROUND: On December 17, 2019, the North Central Texas Council of Governments (NCTCOG) issued a call for projects for the Transportation Alternatives Set-Aside Program. Projects eligible for this program include on and off road pedestrian and bicycle facilities. A local match of at least 20% is required for all project submittals. Project applications are due to NCTCOG by Friday, March 1, 2019.

Staff is proposing to submit one individual project application for two segments of the Cotton Belt Trail Corridor in the City of Grapevine (see attached exhibit).

The Cotton Belt Trail Section 1 (CBT1), which is 0.25 miles in length, follows the TEXRail line from Texan Trail east to the DFW Cotton Belt Through Station including the bridge over Texan Trail. In this section, Grapevine would be responsible for design, environmental clearance, and construction costs. These costs are estimated at \$1,800,000.

Cotton Belt Trail Section 2 (CBT2), which is 1.86 miles in length, is along the DART Cotton Belt rail line from the DFW North Station to Coppell city limits via the proposed DFW Through Station. Grapevine would only be responsible for the construction costs of this section of trail as the design and environmental clearances have been secured by DART. Staff expects that, if awarded, this segment of the project funding would be assigned directly to DART by the NCTCOG and constructed by DART. Estimated construction costs are \$1,600,000.

Funding necessary for both trail sections is estimated to be \$3.4 million. There is approximately \$2,700,000 in the Transportation Alternatives Set-Aside Program funds available for the western sub-region. Staff is recommending the City Council authorize the attached resolution of local funding support in the amount of \$680,000 (20% local match). In addition, staff is requesting \$340,000 for design and construction contingencies above the required local match. The additional \$340,000 will make our application more competitive and allow us to advance the design outside the federal procurement processes.

The total City funding would be \$1,020,000.

This proposal is similar to how the City is advancing the current Dallas Road/Cotton Belt Trail project. Staff believes the regional significance of the Cotton Belt Trail will make our application highly competitive. In addition, we understand from the NCTCOG staff that other neighboring communities to the east along the corridor are seeking similar funding to close the remaining funding gaps in the 26 -mile trail from other funding sources. Lastly, staff would expect the construction of the trail at a later time in an active passenger rail corridor to be 25-50% higher.

Staff recommends approval.

RESOLUTION NO. 2019-010

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO SUBMIT A TRANSPORTATION ALTERNATIVES PROJECT APPLICATION FOR THE COTTON BELT TRAIL SECTION 1 AND SECTION 2 PROJECT TO NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine intends to submit a Transportation Alternatives Project application for the Cotton Belt Trail Section 1 and Section 2 project to the North Central Texas Council of Governments prior to the March 01, 2019 deadline; and, and

WHEREAS, the Regional Transportation Council, comprised primarily of local elected officials, is the regional transportation policy board associated with the North Central Texas Council of Governments and the regional forum for cooperative decisions on transportation; and,

WHEREAS, the Regional Transportation Council will award funding on June 13, 2019 for active transportation projects through the Transportation Alternatives Set-Aside Program Call for Projects; and,

WHEREAS, the Regional Transportation Council requires the submittal of a resolution as part of the Transportation Alternatives Set-Aside Program Call for Projects application submission.

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein as if copied in their entirety.

Section 2. The City of Grapevine supports the Cotton Belt Trail Section 1 and 2 as applied for in the 2019 Transportation Alternatives Set-Aside Program Call for Projects application.

Section 3. The City of Grapevine will serve as the public sponsor and lead project contact on this project. The City of Grapevine agrees to designate a single point of contact for the project.

Section 4. The City of Grapevine commits to fund or pass through funds from other sources for a minimum local cash match of 20% of the total project cost.

Section 5. The City of Grapevine confirms that City of Grapevine, not the Regional Transportation Council, will be responsible for any cost overruns.

Section 6. The City of Grapevine understands and acknowledges that all awarded funding is provided on a reimbursement basis.

Section 7. The City of Grapevine confirms the project timeline is realistic and commits that if the project is selected for funding, an agreement will be executed within one year of selection and the project will advance to construction within three years from the date of selection.

Section 8. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of February, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

ORDINANCE NO. 2019-009

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS APPROPRIATING \$1,020,000 IN THE QUALITY OF LIFE FUND FOR THE LOCAL MATCH OF THE COTTON BELT TRAIL CORRIDOR PROJECT; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine desires to appropriate funds for the local match of the Cotton Belt Trail Corridor project in Grapevine; and

WHEREAS, funding of \$1,020,000 is available in the Quality of Life fund; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this ordinance is in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated herein above are true and correct and are incorporated herein by reference, as if copied in their entirety.

Section 2. That the City Council hereby approves the use of funds from the Quality of Life Fund.

Section 3. That the City Council hereby appropriates \$1,020,000 in the Quality of Life Fund for the local match and construction of the Cotton Belt Trail Corridor project;

Section 4. The fact that the present ordinances and regulations of the City of Grapevine, Texas are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the public creates an emergency which requires that this ordinance become effective from and after the date of its passage, and it is accordingly so ordained.

Section 5. That this ordinance shall take effect immediately upon passage by the City Council of the City of Grapevine, Texas.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of February 2019.

APPROVED:

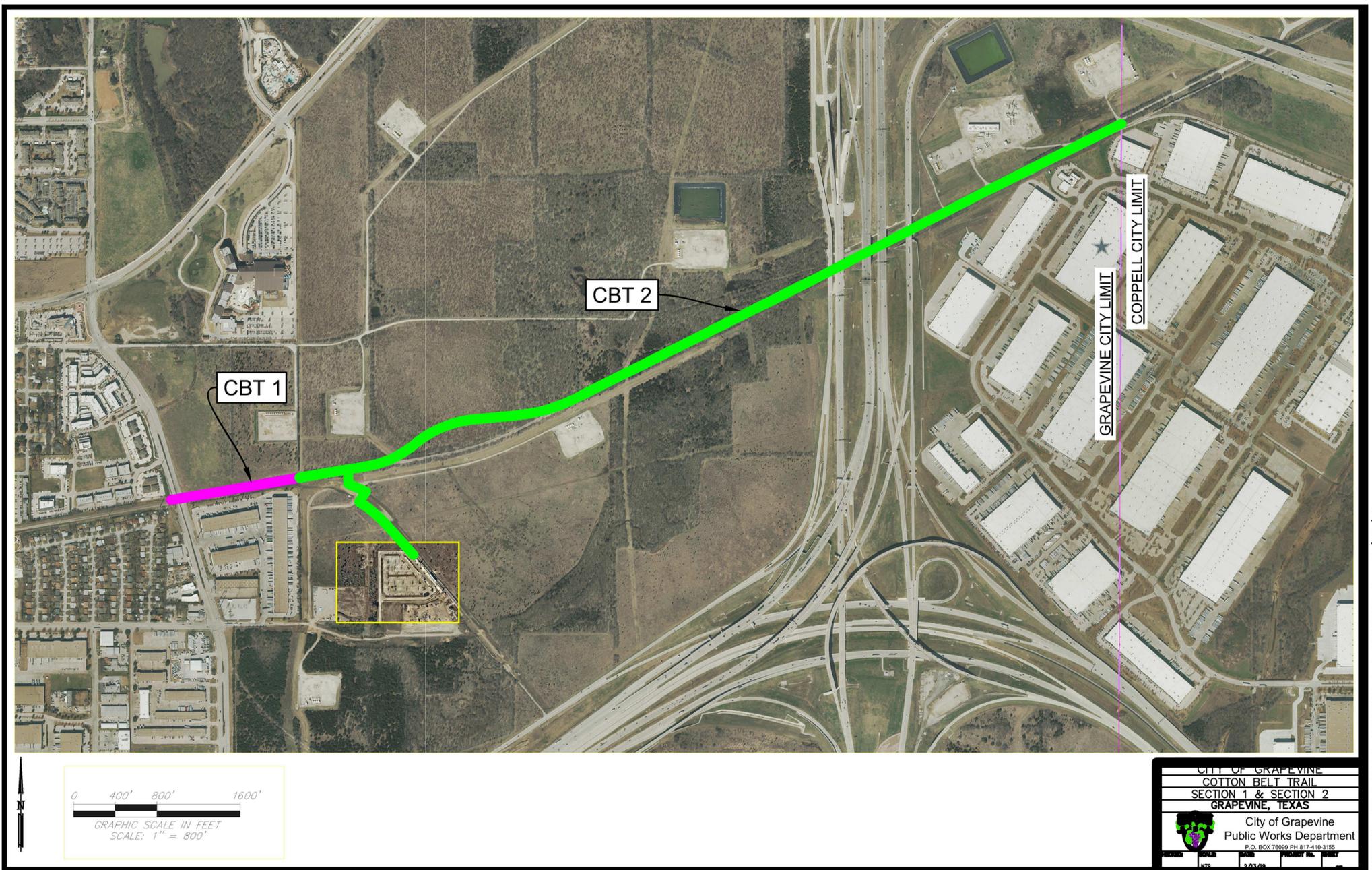
William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney



CITY OF GRAPEVINE	
COTTON BELT TRAIL	
SECTION 1 & SECTION 2	
GRAPEVINE, TEXAS	
	City of Grapevine
	Public Works Department
	P.O. BOX 78099 PH 817-210-3155

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: FEBRUARY 19, 2019

SUBJECT: APPROVAL TO RENEW AN ANNUAL CONTRACT FOR OFFICE SUPPLIES

RECOMMENDATION: City Council to consider the renewal of an annual contract for the purchase of office supplies with Office Depot, Inc.

FUNDING SOURCE: Funds for this purchase are limited to the budgeted amount by each department for an annual estimated budgeted amount of \$150,000.

BACKGROUND: This purchase will be made in accordance with an existing interlocal agreement with The National Intergovernmental Purchasing Alliance (National IPA) as allowed by Texas Local Government Code, Section 271 and Texas Government Code, Section 791. The contract was for an initial one-year period with four optional, one-year renewals. If approved, this will be the final renewal available.

Bids were taken by the Cooperative and a contract was awarded to Office Depot. The Purchasing staff reviewed the contract for specification compliance and pricing and determined that the contract would provide the best service and pricing for meeting the needs of the City.

Staff recommends approval.

LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: FEBRUARY 19, 2019

SUBJECT: APPROVAL OF A RESOLUTION TO ESTABLISH A COOPERATIVE PURCHASE INTERLOCAL AGREEMENT WITH THE REGION 14 EDUCATION SERVICE CENTER IN TEXAS

RECOMMENDATION: City Council to consider a resolution authorizing an Interlocal Agreement with the Region 14 Education Service Center in Texas. This agreement would allow the City of Grapevine, Texas to purchase various goods and services through contracts established through the National Cooperative Purchasing Alliance (NCPA) Program.

FUNDING SOURCE: No funding source would be necessary for this agreement.

BACKGROUND: This request is for approval of an Interlocal Agreement with the Region 14 Education Service Center in Texas and the City of Grapevine, Texas in order to participate in various contracts established through NCPA. The City is allowed by the Interlocal Cooperation Act Texas Government Code, Chapter 791 and Texas Local Government Code, Section 271.101 and 271.102, to enter into interlocal agreements for the performance of governmental functions and services.

Staff recommends approval.

LW

RESOLUTION NO. 2019-011

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO ENTER INTO AN INTERLOCAL AGREEMENT WITH THE REGION 14 EDUCATION SERVICE CENTER AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Section 271.101 and 271.102 and Interlocal Cooperation Act Texas Government Code, Chapter 791 to enter into interlocal agreements with other qualified entities in the State of Texas; and

WHEREAS, the Region 14 Education Service Center in Texas is a qualified entity as authorized by Section 271.102 of the Texas Local Government Code; and

WHEREAS, the City of Grapevine, Texas has requested to enter into an Interlocal Agreement with the Region 14 Education Service Center in Texas to purchase various goods and services through contracts established through The National Cooperative Purchasing Alliance (NCPA) Program; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein as by reference as if copied in their entirety.

Section 2. That the City Manager or his designee is authorized to take all steps necessary to consummate an Interlocal Agreement with the Region 14 Education Service Center in Texas.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of February, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER **BR**

MEETING DATE: FEBRUARY 19, 2019

SUBJECT: APPROVAL OF A RESOLUTION FOR THE PURCHASE OF MERAKI SECURITY LICENSES

RECOMMENDATION: City Council to consider a resolution authorizing the purchase of Meraki security licenses from General Datatech, L.P. for the IT Department.

FUNDING SOURCE: Funds for this purchase are available in account 100-43465-101-002 (Misc. Equipment Maintenance) for an amount not to exceed \$41,773.

BACKGROUND: This purchase is for one year of software maintenance on the Meraki network software to manage the citywide firewalls and wireless access points.

This purchase will be made in accordance with an existing interlocal agreement with The Texas Department of Information Resources (DIR) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to General Datatech, L.P. The IT Department and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

Staff recommends approval.

LW/LW

RESOLUTION NO. 2019-012

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE MERAKI SECURITY LICENSES THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791 to enter into an interlocal agreement with other qualified agencies in the State of Texas; and

WHEREAS, The Texas Department of Information Resources (DIR) is a qualified purchasing cooperative program as authorized by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791; and

WHEREAS, the City of Grapevine, Texas has established an interlocal agreement with the DIR and wishes to utilize established contracts meeting all State of Texas bidding requirements; and

WHEREAS, DIR has established a contract No. DIR-TS0-4167 for IT Products and Related Services with General Datatech, L.P.; and

WHEREAS, the City of Grapevine, Texas has a need for Meraki security licenses for the City; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase of Meraki security licenses from General Datatech, L.P. through an interlocal agreement with DIR for an amount not to exceed \$41,773.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase Meraki security licenses for the City.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of February, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: FEBRUARY 19, 2019

SUBJECT: APPROVAL OF A RESOLUTION FOR THE PURCHASE OF VMWARE SUPPORT SERVICES

RECOMMENDATION: City Council to consider a resolution authorizing the purchase of VMware support services from SHI Government Solutions for the IT Department.

FUNDING SOURCE: Funds for this purchase are available in account 100-44500-101-002 (IT License and Maintenance Fees) for an amount not to exceed \$89,914.

BACKGROUND: This purchase is for one year of software license maintenance of VMWare software. This software is used for the virtual desktop infrastructure and for the management and administration tools. The software license includes upgrading our software from the standard version to the enterprise version (due to the number of virtual desktops in our environment) and also provides prepaid training credits for staff from VMware.

This purchase will be made in accordance with an existing interlocal agreement with The Texas Department of Information Resources (DIR) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to SHI Government Solutions. The IT Department and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

Staff recommends approval.

AP/LW

RESOLUTION NO. 2019-013

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE VMWARE SUPPORT SERVICES THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791 to enter into an interlocal agreement with other qualified agencies in the State of Texas; and

WHEREAS, The Texas Department of Information Resources (DIR) is a qualified purchasing cooperative program as authorized by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791; and

WHEREAS, the City of Grapevine, Texas has established an interlocal agreement with the DIR and wishes to utilize established contracts meeting all State of Texas bidding requirements; and

WHEREAS, the DIR has an established contract No. DIR-TSO-3926 for IT Products and Related Services with SHI Government Solutions; and

WHEREAS, the City of Grapevine, Texas has a need for VMware support services for the City; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase of VMware support services from SHI Government Solutions through an interlocal agreement with DIR for an amount not to exceed \$89,914.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase VMware support services for the City.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of February, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER **BR**

MEETING DATE: FEBRUARY 19, 2019

SUBJECT: APPROVAL TO RENEW ANNUAL CONTRACTS FOR MASONRY SERVICES

RECOMMENDATION: City Council to consider the renewals of annual contracts for masonry services with Chibli Stone Works, Inc.; Caststone Solutions Co. and Austin Masonry Construction for the Parks and Recreation Department.

FUNDING SOURCE: Funds for this purchase are currently available in account 100-43355-312-3 (Recreation Facility Maintenance) in an estimated annual amount of \$100,000.

BACKGROUND: The purpose of this contract is to establish annual pricing for masonry services.

Bids were taken in accordance with Local Government Code Chapter 252, Subchapter B, Section 252.021 (a) and Section 252.041 (a). The contracts were for an initial one-year period with four, one-year optional renewals. If approved, this will be for the second renewal available.

Based on the evaluation of the bid by the Parks and Recreation and Purchasing staff it was determined the primary contract will be with Chibli Stone Works, Inc., secondary will be with Caststone Solutions Co. and tertiary with Austin Masonry Construction to ensure availability without interruption of road projects.

Staff recommends approval.

MH/LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: FEBRUARY 19, 2019

SUBJECT: APPROVAL OF A RESOLUTION FOR THE PURCHASE AND INSTALLATION OF NEW GYM FLOORING

RECOMMENDATION: City Council to consider a resolution authorizing the purchase and installation of new gym flooring at The REC from Ponder Company, Inc. for the Parks and Recreation Department.

FUNDING SOURCE: Funds for this purchase are currently available in account 174-74004-118-002 (The REC Repairs & Maintenance) for a total amount not to exceed \$90,021.

BACKGROUND: This purchase is for the replacement of the south gym wood floor. This wood floor is over 20 years old and there are broken and cracked planks causing some safety concerns.

This purchase will be made in accordance with an existing interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to Ponder Company, Inc. The Facility Services and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would best meet the needs of the City.

Staff recommends approval.

CH/LW

RESOLUTION NO. 2019-014

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE FOR THE PURCHASE AND INSTALLATION OF NEW GYM FLOORING AT THE REC THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791 to enter into an interlocal agreement with other qualified agencies in the State of Texas; and

WHEREAS, The Local Government Purchasing Cooperative (BuyBoard) is a qualified purchasing cooperative program as authorized by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791; and

WHEREAS, the City of Grapevine, Texas has established an interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) and wishes to utilize established contracts meeting all State of Texas bidding requirements; and

WHEREAS, The Local Government Purchasing Cooperative (BuyBoard) has an established contract No. 560-18 for Indoor and Outdoor and Sports Surfaces, Repair and Renovation, and Gym Floor Refurnishing with Ponder, Company, Inc.; and

WHEREAS, the City of Grapevine, Texas has a need to purchase and install new gym flooring at The REC; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase and installation of new gym flooring at The REC from Ponder Company, Inc. through an interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) for an amount not to exceed \$90,021.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase and installation of said new gym flooring.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of February, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: FEBRUARY 19, 2019

SUBJECT: APPROVAL OF A RESOLUTION FOR THE PURCHASE OF TWO FORD TRUCKS

RECOMMENDATION: City Council to consider a resolution authorizing the purchase of two Ford trucks from Sam Pack's Five Star Ford for the Fire Department.

FUNDING SOURCE: Funds for this purchase are available in account 325-48910-210-002 (Motor Vehicles) for a total amount not to exceed \$73,287.

BACKGROUND: The purchase of two Ford pickup trucks to replace units 10517 and 10526 for the Fire Department approved in the FY 2019 vehicle replacement list.

Purchases will be made in accordance with an existing interlocal agreement with Tarrant County, Texas as allowed by Texas Local Government Code, Section 271 and Texas Government Code, Section 791.

Bids were taken by the cooperative and a contract was awarded to Sam Pack's Five Star Ford. The Fleet Services and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

Staff recommends approval.

PH/LW

RESOLUTION NO. 2019-015

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE TWO FORD TRUCKS FOR THE FIRE DEPARTMENT THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791 to enter into an interlocal agreement with other qualified agencies in the State of Texas; and

WHEREAS, Tarrant County, Texas is a qualified purchasing cooperative program as authorized by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791; and

WHEREAS, the City of Grapevine, Texas, has established an interlocal agreement with Tarrant County, Texas and wishes to utilize established contracts meeting all State of Texas bidding requirements; and

WHEREAS, Tarrant County, Texas has an established contract No. 2019-041, Purchase of Pickup Trucks, Vans, and Utility Vehicles with Sam Pack's Five Star Ford; and

WHEREAS, the City of Grapevine, Texas has a need to purchase two Ford trucks; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase of two Ford trucks from Sam Pack's Five Star Ford through an interlocal agreement with Tarrant County, Texas for an amount not to exceed \$73,287.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of said two Ford trucks.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of February 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: FEBRUARY 19, 2019

SUBJECT: APPROVAL OF A RESOLUTION FOR THE PURCHASE OF A FORD ESCAPE

RECOMMENDATION: City Council to consider a resolution authorizing the purchase of a Ford Escape from Sam Pack's Five Star Ford for the Police Department.

FUNDING SOURCE: Funds for this purchase are available in account 325-48910-209-003 (Motor Vehicles) for a total amount not to exceed \$19,928.

BACKGROUND: This is to purchase a 2019 Ford Escape for the Police Department Criminal Investigation Division.

This purchase will be made in accordance with an existing interlocal agreement with the State of Texas Term Contracts Program as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the cooperative and a contract was awarded to Sam Pack's Five Star Ford. The Fleet Services and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

Staff recommends approval.

PH/LW

RESOLUTION NO. 2019-016

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE A FORD ESCAPE FOR THE POLICE DEPARTMENT THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791 to enter into an interlocal agreement with other qualified agencies in the State of Texas; and

WHEREAS, the State of Texas Term Contracts Program is a qualified purchasing cooperative program as authorized by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791; and

WHEREAS, the City of Grapevine, Texas has established an interlocal agreement with the State of Texas Term Contracts Program and wishes to utilize an established contracts meeting all State of Texas bidding requirements; and

WHEREAS, the State of Texas Term Contracts Program has an established contract No. 072-A1 for Fleet Trucks, Automobiles and Law Enforcement Vehicles with Sam Pack's Five Star Ford; and

WHEREAS, the City of Grapevine, Texas has a need to purchase a Ford Escape for the Police Department; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase of a Ford Escape from Sam Pack's Five Star Ford through an interlocal agreement with the State of Texas Term Contracts Program for an amount not to exceed \$19,928.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of said Ford Escape.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of February, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER ^{BR}

MEETING DATE: FEBRUARY 19, 2019

SUBJECT: APPROVAL FOR THE PURCHASE OF PERFORMO ASSET PERFORMANCE AND MAINTENANCE SOFTWARE

RECOMMENDATION: City Council to consider approval for the purchase of Performo asset performance and maintenance software or the Facility Services Department from Wizard Software Solutions.

FUNDING SOURCE: Funds for this purchase are available in account 174-74004-118-018 (Service Center Storage Area) in the amount not to exceed \$33,980.

BACKGROUND: The Facility Services work order system (Workorderama Software) is in need of an upgrade to improve its capabilities and maintain customer support from the supplier. The upgrade enables staff to receive and complete work orders from a mobile device which improves the staff's efficiency in addressing work order requests. This upgrade offers the ability to customize the program to meet our staff's specific needs and provides better database management, system reliability, increased productivity, improved reporting, and improved communication.

A resolution for the initial purchase of Workorderama Software, as a sole source vendor, was approved by Council on September 15, 2009. This approval request is to upgrade that software to Performo which is also provided by Wizard Software Solutions. The purchase of Performo asset performance and maintenance software will be made as a sole source purchase from Wizard Software Solutions in accordance with Local Government Code Chapter 252, Subchapter B, §252.022. General Exemptions (a)(7)(A).

Staff recommends approval.

CH/LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: FEBRUARY 19, 2019

SUBJECT: APPROVAL OF THE PURCHASE OF A NEW GATE VALVE

RECOMMENDATION: City Council to consider approval of the purchase of a new gate valve from Legacy Contracting, L.P. for the Public Works Department.

FUNDING SOURCE: Funds for this purchase are currently available in 200-43360-534-000 (Water Supply Infrast.) for an amount not to exceed \$28,303.

BACKGROUND: This purchase is needed to replace a 30-year-old GA valve with a new CLA-VAL valve on the discharge side of a high service pump within the Water Treatment Plant. The GA valve has been repaired once and is no longer operating properly. These valves are pressure differential valves which allow for pressure optimization and efficiency as water is placed into the distribution system.

Informal quotes were taken in accordance with the City Purchasing Policy. Formal bids and advertisements are not required for purchases under \$50,000. Three quotes were submitted as noted below. Legacy Contracting, L.P. submitted the lowest quote meeting specifications.

Legacy Contracting, L.P. \$28,303
Gavlick Pump Company \$32,000
DXP \$32,500

Staff recommends approval.

KM/LW

STATE OF TEXAS
COUNTY OF TARRANT
CITY OF GRAPEVINE

The City Council of the City of Grapevine, Texas met in Regular Session on this the 5th day of February, 2019 in the City Council Chambers, Second Floor, 200 South Main Street, with the following members present:

William D. Tate	Mayor
Darlene Freed	Mayor Pro Tem
Sharron Rogers	Council Member
Mike Lease	Council Member
Chris Coy	Council Member
Duff O'Dell	Council Member
Paul Slechta	Council Member

constituting a quorum, and with the following members of the City Staff:

Bruno Rumbelow	City Manager
Jennifer Hibbs	Assistant City Manager
John F. Boyle, Jr.	City Attorney
Matthew C.G. Boyle	Assistant City Attorney
Tara Brooks	City Secretary

Call to Order

Mayor Tate called the meeting to order at 6:31 p.m.

Item 1. Executive Session

Mayor Tate announced the City Council would recess to the City Council Conference Room to conduct a closed session regarding:

- A. Consultation with and legal advice from the City Attorney regarding pending litigation (Morrissey, et al. v. Grapevine – Cause No. 348-303736-18), pursuant to Section 551.071, Texas Government Code.
- B. Real property relative to deliberation to the purchase, exchange, lease, sale or value of real property (City property, Public Works, and the 185 acres) pursuant to Section 551.072, Texas Government Code.
- C. Conference with City Manager and Staff to discuss and deliberate commercial and financial information received from business prospects the City seeks to have locate, stay, or expand in the City; deliberate the offer of a financial or other incentive; with which businesses the City is conducting economic development negotiations pursuant to Section 551.087, Texas Government Code.

The City Council recessed to the City Council Conference Room and began the closed session at 6:34 p.m. The closed session ended at 7:23 p.m.

Mayor Tate left the closed session at 6:50 p.m. during the discussions relative to Section 551.072 and filed an Affidavit of Conflict of Interest with the City Secretary.

Upon reconvening in open session in the Council Chambers, Mayor Tate asked if there was any action necessary relative to Sections 551.071 or 551.087.

City Manager Bruno Rumbelow requested Council approve the Harvest Hall Economic Development Agreement, the Grapevine Main Management Agreement, and the First Amendment to the Development Services Agreement for Grapevine Main and authorize the City Manager to execute same and all associated documents and to take all other necessary action.

Motion was made to approve the Harvest Hall Economic Development Agreement, the Grapevine Main Management Agreement, and the First Amendment to the Development Services Agreement for Grapevine Main and authorize the City Manager to execute same and all associated documents and to take all other necessary action.

Motion: O'Dell
 Second: Slechta
 Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta
 Nays: None
 Approved: 7-0

Mayor Pro Tem Freed asked if there was any action relative to Section 551.072.

City Manager Rumbelow requested approval of the acquisition of 619 Church Street consistent with the terms discussed in Executive Session and authorize the City Manager to execute all necessary documents and to take all other necessary action.

Motion was made to approve the acquisition of 619 Church Street consistent with the terms discussed in Executive Session and authorize the City Manager to execute all necessary documents and to take all other necessary action.

Motion: Lease
 Second: Rogers
 Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta
 Nays: None
 Abstains: Tate
 Approved: 6-0-1

NOTE: City Council continued with the Regular portion of the Agenda in open session in the City Council Chambers.

Mayor Tate called the regular meeting to order at 7:32 p.m.

REGULAR MEETING

Item 2. Invocation

Council Member Duff O'Dell delivered the invocation.

Item 3. Posting the Colors and the Pledges of Allegiance

Boy Scout Troop 905 posted the colors and led the Pledges of Allegiance.

Item 4. Citizen Comments

There was no one wishing to speak during citizens comments.

PUBLIC HEARING AND RELATED ITEMS

Item 5. City Council to conduct a public hearing relative to the adoption of the Youth Programs Standards of Care.

Mayor Tate opened the public hearing.

Parks and Recreation Director Kevin Mitchell presented this item in conjunction with Item 6. The Youth Programs Standards of Care will provide basic child care regulations for day camp activities operated by the City of Grapevine Parks and Recreation Department, allowing the department to qualify for an exemption from the requirements of the Texas Child Care Standards and Regulations within the Texas Human Resources Code. Last year, the City had over 2,000 children enrolled in the summer camps and had over 11,000 children attend The Rec's drop off area.

No one spoke during the public hearing.

Motion was made to close the public hearing.

Motion: Lease

Second: Slechta

Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta

Nays: None

Approved: 7-0

Item 6. Consider **Ordinance No. 2019-002** adopting the Youth Programs Standards of Care by amending the Code of Ordinances Section 16-19 and take any necessary action.

Parks and Recreation Director Mitchell presented this item in conjunction with Item 5.

Motion was made to approve Ordinance No. 2019-002 adopting the Youth Programs Standards of Care.

Motion: Coy

Second: Freed

Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta
 Nays: None
 Approved: 7-0

ORDINANCE NO. 2019-002

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AMENDING THE GRAPEVINE CODE OF ORDINANCES BY ADDING SECTION 16-19, ADOPTING THE YOUTH PROGRAMS STANDARDS OF CARE, CITY OF GRAPEVINE, TEXAS; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE

PRESENTATIONS

Item 7. Parks Director to present gateway signage for Northwest Highway and State Highway 114.

Parks and Recreation Director Mitchell presented the proposed sign for the corner of Northwest Highway and State Highway 114 and answered questions from Council.

Council discussed this item.

Item 8. Human Resources Director to present Human Resources Department update.

Human Resources Director Rachel Huitt and Assistant Human Resources Director Stephanie Jenkins presented the Human Resources' accomplishments for Fiscal 2018 and their planned projects for 2019.

NEW BUSINESS

Item 9. Consider **Ordinance No. 2019-003** amending the Master Thoroughfare Plan, as amended in its entirety by Ordinance No. 2004-78, to reflect modifications in proposed cross-sections, roadway classifications and alignments, and take any necessary action.

Public Works Director Bryan Beck presented the proposed changes to the Master Thoroughfare Plan and answered Council's questions.

Council discussed this item. Following the discussion City Manager Rumbelow requested Council table this item to allow for a public comments on the proposed changes.

Motion was made to table Ordinance No. 2019-003 amending the Master Thoroughfare Plan.

Motion: Lease
 Second: Rogers
 Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta

Nays: None
 Approved: 7-0

Consent Agenda

Consent items are deemed to need little Council deliberation and were acted upon as one business item. Any member of the City Council or member of the audience may request that an item be withdrawn from the consent agenda and placed before the City Council for full discussion.

Council Member Rogers requested Item 13 be removed from the consent agenda. Council considered this item following consideration of the remaining consent agenda items.

Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations.

Item 10. Consider the mid-year appointment of Chuck Pacioni to the Convention and Visitor's Board.

Council Member Sharron Rogers recommended appointing Chuck Pacioni to serve as the representative from a hotel with over 500 rooms on the Convention and Visitor's Bureau Board to complete an unexpired term.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
 Second: Freed
 Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta
 Nays: None
 Approved: 7-0

Item 11. Consider **Resolution No. 2019-005** authorizing the purchase of synthetic turf for Oak Grove Softball Park from Geo Surfaces.

Parks and Recreation Director Mitchell recommended approval of the resolution authorizing the purchase of synthetic turf for a total amount not to exceed \$73,890. The turf will be installed in multiple common areas, public art, bullpens and batting cages at the Oak Grove Softball Park.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
 Second: Freed
 Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta
 Nays: None
 Approved: 7-0

RESOLUTION NO. 2019-005

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE SYNTHETIC TURF THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT AND PROVIDING AN EFFECTIVE DATE

Item 12. Consider **Resolution No. 2019-006** authorizing the purchase of exercise equipment for The REC from Team Marathon Fitness.

Parks and Recreation Director Mitchell recommended approval of the resolution authorizing the purchase of exercise equipment as part of the annual equipment replacement in a total amount not to exceed \$93,731.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
 Second: Freed
 Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta
 Nays: None
 Approved: 7-0

RESOLUTION NO. 2019-006

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE EXERCISE EQUIPMENT THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT AND PROVIDING AN EFFECTIVE DATE

Item 14. Consider **Resolution No. 2019-008** authorizing the purchase of two compact track loaders from Holt Texas.

Public Works Director Beck recommended approval of the resolution authorizing the purchase of two track loaders for a total amount not to exceed \$205,681.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
 Second: Freed
 Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta
 Nays: None
 Approved: 7-0

RESOLUTION NO. 2019-008

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE TWO COMPACT TRACK LOADERS THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT AND PROVIDING AN EFFECTIVE DATE

Item 15. Consider Amendment No. 1 for the addition of environmental design work associated with the HSIP traffic signal improvements project.

Public Works Director Beck recommended approval of the amendment to the agreement for the HSIP traffic signal improvements project for an amount not to exceed \$26,000. This amendment to the agreement with Lee Engineering will allow for additional environmental design work.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell

Second: Freed

Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta

Nays: None

Approved: 7-0

Item 16. Consider **Resolution No. 2019-009** calling the 2019 City Officers Election to be held on Saturday, May 4, 2019, designating the polling place and, if necessary, a run-off election to be held on June 8, 2019.

City Secretary Tara Brooks recommended approval of the resolution calling the 2019 City Officers Election to elect members to Council, Place 3 and Council, Place 4.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell

Second: Freed

Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta

Nays: None

Approved: 7-0

RESOLUTION NO. 2019-009

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, PROVIDING FOR THE 2019 GENERAL ELECTION TO BE HELD ON MAY 4, 2019; DETERMINING THE POLLING PLACE; PROVIDING SPECIFIC INSTRUCTIONS FOR THE CONDUCTING OF SAID ELECTION; REPEALING INCONSISTENT RESOLUTIONS AND PROVIDING AN EFFECTIVE DATE

Item 17. Consider the minutes of the January 15, 2019 Regular City Council meeting.

City Secretary Brooks recommended approval of the minutes as provided.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell

Second: Freed

Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta

Nays: None

Approved: 7-0

Item 13. Consider **Resolution No. 2019-007** approving the Tarrant County contract with McClendon Construction Co., Inc. for the 44th Year Community Development Block Grant (CDBG) street reconstruction project.

Public Works Director Beck answered questions from Council. This item approves the contract with McClendon Construction Co, Inc. for the 44th Year Community Development Block Grant project for an estimated amount of \$85,647.70. The project will include the reconstruction of the 500 block of South Dooley Street (from Franklin to College Streets) including new curb and gutter, concrete paving, sidewalks on both sides of the road, handicap ramps, and driveway approaches.

Motion was made to approve Resolution No. 2019-007 approving the Tarrant County contract with McClendon Construction Co., Inc.

Motion: Rogers

Second: Coy

Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta

Nays: None

Approved: 7-0

RESOLUTION NO. 2019-007

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, APPROVING THE 44th YEAR COMMUNITY DEVELOPMENT BLOCK GRANT PROGRAM PROJECT CONTRACTOR, CONTRACT PRICE AND PROVIDING AN EFFECTIVE DATE

ADJOURNMENT

Motion was made to adjourn the meeting at 8:18 p.m.

Motion: Slechta

Second: Coy

Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta

Nays: None

Approved: 7-0

Passed and approved by the City Council of the City of Grapevine, Texas on this the 19th day of February, 2019.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: FEBRUARY 19, 2019

SUBJECT: PRELIMINARY PLAT APPLICATION
LOTS 1-5, BLOCK 1, AND LOTS 1-5, BLOCK 2, GRAPEVINE HILL
ADDITION

PLAT APPLICATION FILING DATE.....February 12, 2019

APPLICANT Osama Nashed, P.E., ANA Consultants, LLC

REASON FOR APPLICATION Platting site into 10 residential lots

PROPERTY LOCATION 409 North Dooley Street

ACREAGE..... 1.46

ZONING R-5.0

NUMBER OF LOTS 10

PREVIOUS PLATTING No

CONCEPT PLAN No

SITE PLAN No

OPEN SPACE REQUIREMENT Yes

AVIGATION RELEASE Yes

PUBLIC HEARING REQUIRED No

**PLAT INFORMATION SHEET
PRELIMINARY PLAT APPLICATION
LOTS 1-5, BLOCK 1, AND LOTS 1-5, BLOCK 2, GRAPEVINE HILL ADDITION**

I. GENERAL:

- The applicant, Osama Nashed with ANA Consultants, LLC is preliminary platting 1.46 acres into ten (10) lots. The property is located at 409 North Dooley Street.

II. STREET SYSTEM:

- The development has access to North Dooley Street.
- Abutting roads: on the City Thoroughfare Plan: Dooley Street
 not on the City Thoroughfare Plan:

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 15.00 / LF		

Periphery Street Fees are not due:

III. STORM DRAINAGE SYSTEM:

- The existing stormwater flows northeast towards North Dooley Street.
- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for:
- Water and Wastewater Impact Fees are due prior to the issuance of building permits for: Lots 1-5, Block 1, and Lots 1-5, Block 2, Grapevine Hills Addition

- Single Family Residential (\$ 2,414/ Lot)
- Multifamily (\$ 1,134/ Unit)
- Hotel (\$ 43,632/ Acre)
- Corporate Office (\$ 20,523/ Acre)
- Government (\$ 4,414/ Acre)
- Commercial / Industrial (\$ 5,739 / Acre)

- Open Space Fees are not required for:
- Open Space Fees are due prior to the preconstruction meeting for public infrastructure improvements for: Lots 1-5, Block 1, and Lots 1-5, Block 2, Grapevine Hills Addition

- R-5.0, R-TH, Zero Lot District (\$ 1,416.00 / Lot)
- R-7.5, Single Family District (\$ 1,146.00 / Lot)
- R-12.5, Single Family District (\$ 1,071.00 / Lot)
- R-20.0, Single Family District (\$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
 - Front building line
 - Allowing a setback of 3 feet for the rear property line for an accessory building
 - Lot width & depth
 - Max. Impervious Area
 - Landscaping Regulations, allowing no landscape buffer between the edge of the parking area and the adjacent property line.
- The following items associated with this plat are not in accordance with the current subdivision standards:
 - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
 - Length of cul-de-sac street exceeds the 600-foot limit:
 - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
- The right-of-way provides for future widening of public streets that will serve the development of this site.
 - The onsite utility easements provide for a utility network to serve the development of this site.
 - The onsite drainage easements provide for a drainage network to serve the development of this site.
 - The onsite access easements provide cross access capabilities to this site and surrounding property.

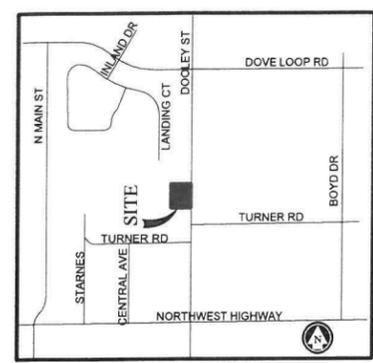
- The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:

- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
- The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
- The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
- The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
- The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
- All of the dedications benefit the development to at least the extent of the impact of such on the development.

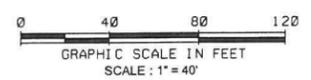
VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Preliminary Plat of Lots 1-5, Block 1, and Lots 1-5, Block 2, Grapevine Hill Addition."

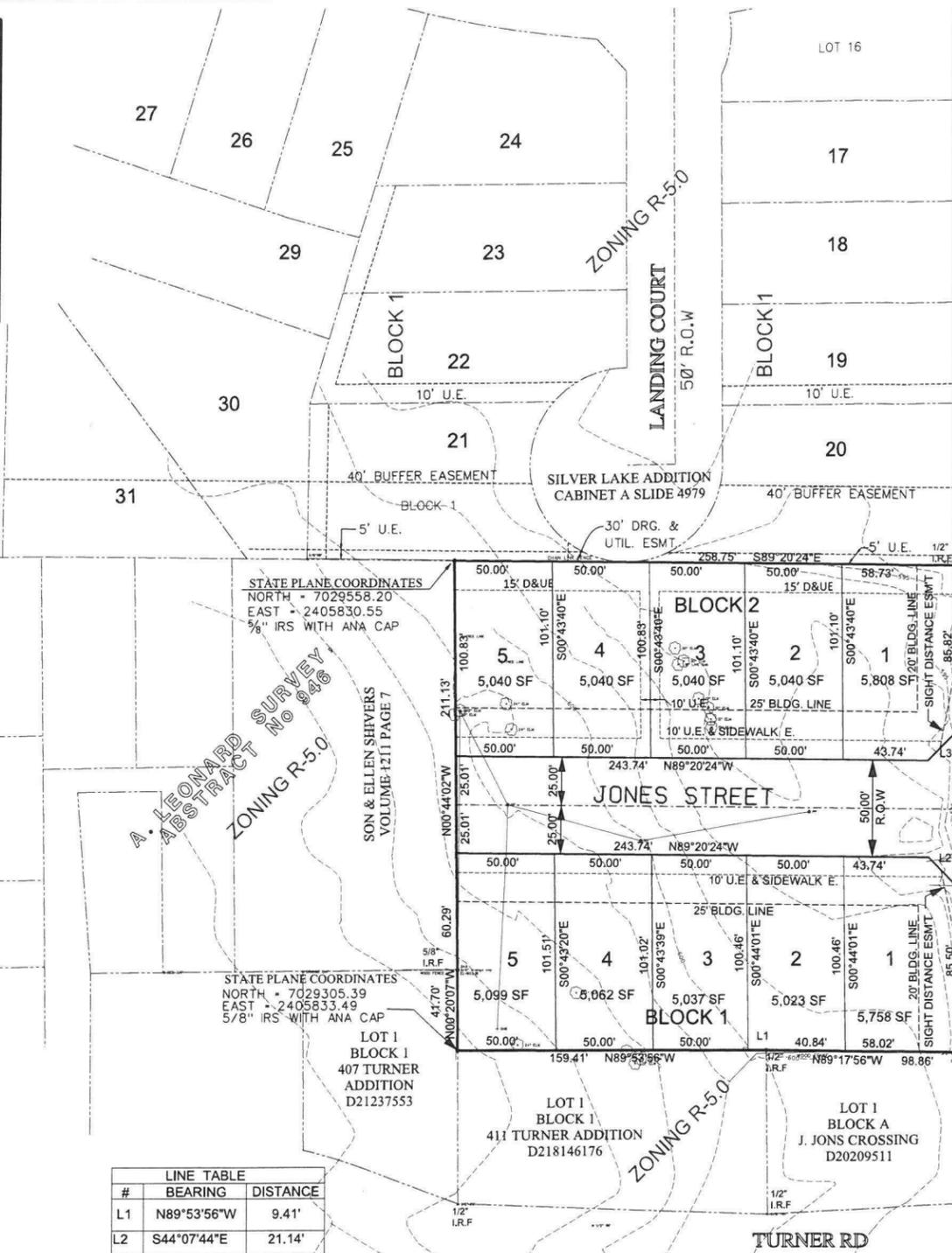


VICINITY MAP

N.T.S.



SCALE: 1" = 40'



LINE TABLE		
#	BEARING	DISTANCE
L1	N89°53'56"W	9.41'
L2	S44°07'44"E	21.14'
L3	N44°27'29"E	20.78'

NOTES
 1. BEARINGS SHOWN HEREON ARE REFERENCED TO THE TEXAS STATE PLANE COORDINATE SYSTEM (NORTH CENTRAL ZONE, NAD 83) BASED ON LEICA GEOSYSTEMS NORTH TEXAS SMARTNET NETWORK. DISTANCES AND AREA SHOWN HEREON ARE SURFACE.
 2. LANDSCAPING WITHIN THE SIGHT DISTANCE EASEMENT SHALL BE DESIGNED TO PROVIDE UNOBSTRUCTED CROSS-VISIBILITY AT A LEVEL BETWEEN THREE (3) TO SIX (6) AS PER CITY CODE.
 By graphic scale the subject property appears to lie in Zone X, not shaded, (area determined to outside 500-year floodplain) according to the FEMA Flood Insurance Rate Map for Tarrant County, Texas, Map No. 48439C0095K, effective September 25, 2009.

OWNER
 GRAPEVINE JOINT HILL VENTURE
 6508 COLLEYVILLE BLVD # 300
 COLLEYVILLE, TX 76034
 (817) 480-7319

DEVELOPER
 BAYLEY YANDELL LTD
 1105 GLADE RD, SUITE 100
 COLLEYVILLE, TX 76034
 (817) 825-8946



ENGINEER/SURVEYOR
 A.N.A. CONSULTANTS, L.L.C.
 5000 THOMPSON ROAD
 COLLEYVILLE, TEXAS 76034
 TEL. (817) 335-9900
 FAX (817) 335-9955
 F.R.N. 10090800

MONTELENA LP
 501 TURNER RD
 GRAPEVINE TX
 ORION PLACE Block 1 Lot 1R
 D197078992

STATE OF TEXAS:
 COUNTY OF TARRANT:

Whereas, Grapevine Hill Joint venture is the owner of 1.49 acre of land situated in the A. Leonard Survey, Abstract No. 946, City of Grapevine, Tarrant County, Texas, being that tract described in Instrument Number D217079227, Deed Records, Tarrant County, Texas and being more particularly described by metes and bounds as follows:

Beginning at a 1/2 inch iron rod with yellow cap found for corner for the northeast corner for said 1.48 acre tract and the southeast corner Lot 20, Block 1, Silver Lake Addition, an addition to the City of Grapevine, Tarrant County, Texas according to the plat recorded Cabinet A, Slide 4979, Plat Records, Tarrant County, being in the West Right-of-Way line of N. Dooley Street;

Thence South 00 degrees 33 minutes 58 seconds East, 251.34 feet with the west Right-of-Way line of said N. Dooley street to 5/8 inch iron rod found (inside a tree root) for the southeast corner of said 1.49 acre tract in the north line of Lot 1, Block A, J. Jones Crossing, an addition to the City of Grapevine, Tarrant County, Texas according to the plat recorded in Instrument Number D20209511, Plat Records, Tarrant County;

Thence North 89 degrees 17 minutes 56 seconds West, 98.86 feet with the north line of said Lot 1, to a disturbed 1/2 inch iron rod found for the northwest corner of said Lot 1, and the northeast corner of Lot 1, Block 1, 411 Turner Addition, an Addition to the City of Grapevine, as recorded in Instrument Number D218146176, Plat Records, Tarrant County, Texas in the south line of said 1.49 acre tract;

Thence North 89 degrees 53 minutes 56 seconds West, 159.41 feet with the north line of said Lot 1, 411 Turner Addition to 5/8 inch iron rod with yellow stamped "ANA" for the southwest corner of said 1.49 acre tract and the northwest corner of said Lot 1, in the east line of Lot 1, Block 1, 407 Turner Addition, as recorded in Instrument Number D21237553, Plat Records, Tarrant County, Texas;

Thence North 00 degrees 20 minutes 07 seconds West, 41.70 feet with the east line of said Lot 1, 407 Turner to a 5/8 inch iron rod found for the northeast corner of said Lot 1, 407 Turner and the southeast corner of that certain tract of land described in deed to Son & Ellen Shivers as recorded in Volume 1211, Page 7, deed Records, Tarrant County, Texas, in the west line of said 1.49 acre tract;

Thence North 00 degrees 44 minutes 02 seconds West, 211.13 feet with the east line of said Son & Ellen Shivers tract and the west line of said 1.49 acre tract to a 5/8 inch iron rod with yellow cap stamped "ANA" for the northwest corner of said 1.49 acre tract in the south line of Lot 21, Block 1, of said Silver Lake Addition;

Thence South 89 degrees 20 minutes 24 seconds East, 258.75 feet to the Point Of Beginning and containing 65,041 square feet or 1.49 acre of land more or less,

PLANNING AND ZONING COMMISSION:
 Date Approved: _____
 Chairman: _____
 Secretary: _____
 GRAPEVINE CITY COUNCIL
 Date Approved: _____
 Mayor: _____
 City Secretary: _____



BY: _____
 PRELIMINARY PLAT
 OF LOTS 1-5
 BLOCK 1 AND
 LOTS 1-5, BLOCK 2
 GRAPEVINE HILL ADDITION
 IN THE
 A. LEONARD SURVEY, ABSTRACT No 946
 SITUATED IN THE
 CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS
 10 LOTS 1.46 ACRES
 ZONED R-5.0 RESIDENTIAL
 JANUARY 2019

PROJECT NO.	DATE	REVISIONS
180420		
DRAWN BY	DATE	REVISIONS
APPROVED BY		
DATE		

PRELIMINARY PLAT OF LOTS 1-5
 BLOCK 1 AND LOTS 1-5, BLOCK 2
 GRAPEVINE HILL ADDITION

5000 Thompson Terrace
 Colleyville, TX 76034
 (817) 335-9900
 FAX: (817) 335-9955
 TBPLS F. NO: 10090800



CASE NO.
 SHEET 1 OF 1

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: FEBRUARY 19, 2019

SUBJECT: FINAL PLAT APPLICATION
LOTS 1-5, BLOCK 1, AND LOTS 1-5, BLOCK 2, GRAPEVINE HILL
ADDITION

PLAT APPLICATION FILING DATE.....February 12, 2019

APPLICANT Osama Nashed, P.E., ANA Consultants, LLC

REASON FOR APPLICATION..... Platting site into 10 residential lots

PROPERTY LOCATION409 North Dooley Street

ACREAGE..... 1.46

ZONING R-5.0

NUMBER OF LOTS 10

PREVIOUS PLATTINGNo

CONCEPT PLANNo

SITE PLANNo

OPEN SPACE REQUIREMENT..... Yes

AVIGATION RELEASE Yes

PUBLIC HEARING REQUIREDNo

**PLAT INFORMATION SHEET
FINAL PLAT APPLICATION
LOTS 1-5, BLOCK 1, AND LOTS 1-5, BLOCK 2, GRAPEVINE HILL ADDITION**

I. GENERAL:

- The applicant, Osama Nashed with ANA Consultants, LLC is final platting 1.46 acres into ten (10) lots. The property is located at 409 North Dooley Street.

II. STREET SYSTEM:

- The development has access to North Dooley Street.
- Abutting roads: on the City Thoroughfare Plan: Dooley Street
 not on the City Thoroughfare Plan:

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 15.00 / LF		

Periphery Street Fees are not due:

III. STORM DRAINAGE SYSTEM:

- The existing stormwater flows northeast towards North Dooley Street.
- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for:
- Water and Wastewater Impact Fees are due prior to the issuance of building permits for: Lots 1-5, Block 1, and Lots 1-5, Block 2, Grapevine Hills Addition
 - Single Family Residential (\$ 2,414/ Lot)
 - Multifamily (\$ 1,134/ Unit)
 - Hotel (\$ 43,632/ Acre)
 - Corporate Office (\$ 20,523/ Acre)
 - Government (\$ 4,414/ Acre)
 - Commercial / Industrial (\$ 5,739 / Acre)
- Open Space Fees are not required for:
- Open Space Fees are due prior to the preconstruction meeting for public infrastructure improvements for: Lots 1-5, Block 1, and Lots 1-5, Block 2, Grapevine Hills Addition
 - R-5.0, R-TH, Zero Lot District (\$ 1,416.00 / Lot)
 - R-7.5, Single Family District (\$ 1,146.00 / Lot)
 - R-12.5, Single Family District (\$ 1,071.00 / Lot)
 - R-20.0, Single Family District (\$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
 - Front building line
 - Allowing a setback of 3 feet for the rear property line for an accessory building
 - Lot width & depth
 - Max. Impervious Area
 - Landscaping Regulations, allowing no landscape buffer between the edge of the parking area and the adjacent property line.
- The following items associated with this plat are not in accordance with the current subdivision standards:
 - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
 - Length of cul-de-sac street exceeds the 600-foot limit:
 - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
- The right-of-way provides for future widening of public streets that will serve the development of this site.
 - The onsite utility easements provide for a utility network to serve the development of this site.
 - The onsite drainage easements provide for a drainage network to serve the development of this site.
 - The onsite access easements provide cross access capabilities to this site and surrounding property.

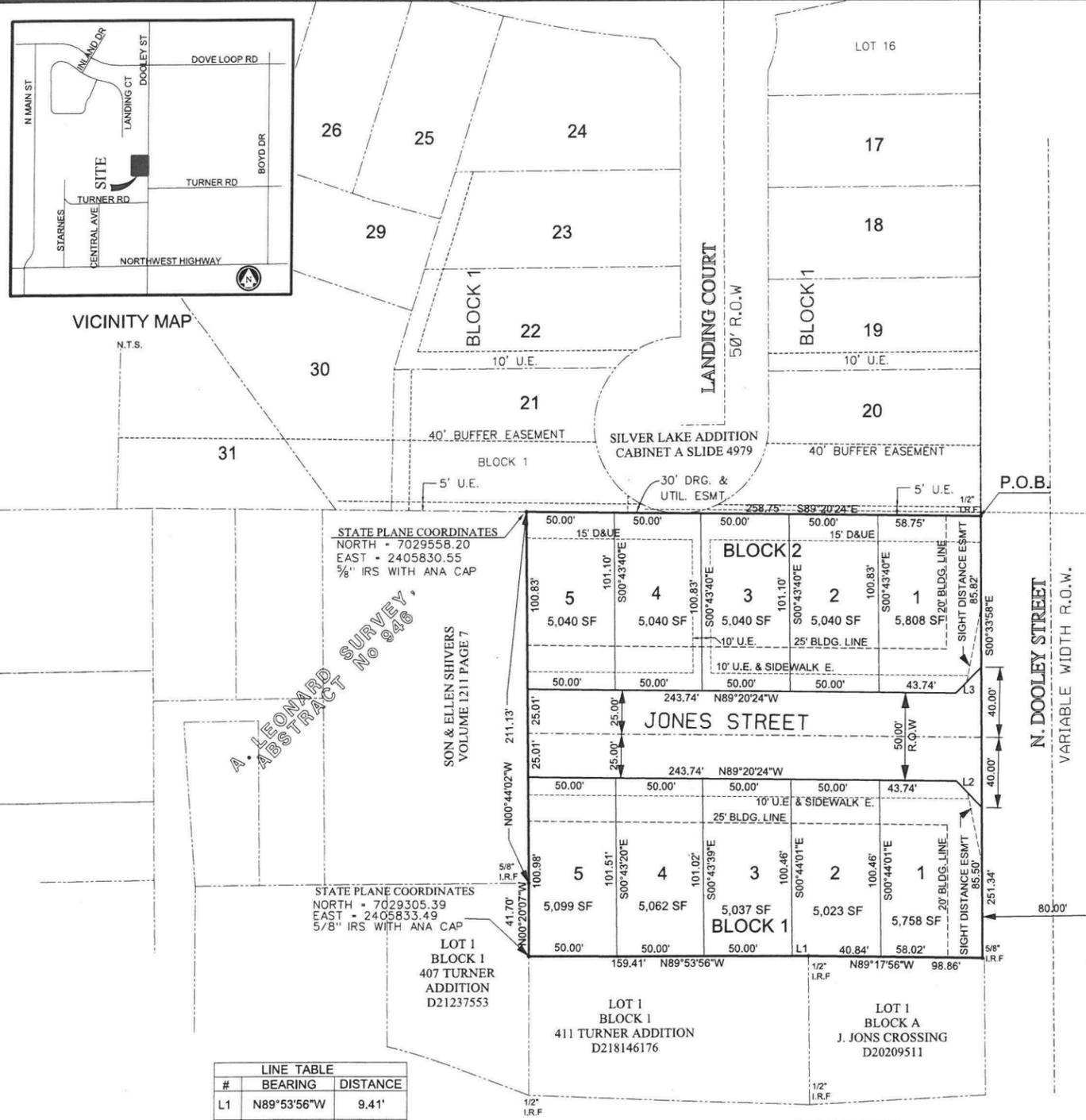
- The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:

- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
- The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
- The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
- The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
- The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
- All of the dedications benefit the development to at least the extent of the impact of such on the development.

VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Final Plat of Lots 1-5, Block 1, and Lots 1-5, Block 2, Grapevine Hill Addition."



STATE PLANE COORDINATES
NORTH - 7029558.20
EAST - 2405830.55
5/8" IRS WITH ANA CAP

A. LEONARD SURVEY, ABSTRACT No 946
SON & ELLEN SHIVERS
VOLUME 1211 PAGE 7

STATE PLANE COORDINATES
NORTH - 7029305.39
EAST - 2405833.49
5/8" IRS WITH ANA CAP

#	BEARING	DISTANCE
L1	N89°53'56"W	9.41'
L2	S44°07'44"E	21.14'
L3	N44°27'29"E	20.78'

NOTES
1. BEARINGS SHOWN HERON ARE REFERENCED TO THE TEXAS STATE PLANE COORDINATE SYSTEM (NORTH CENTRAL ZONE, NAD 83) BASED ON LEICA GEOSYSTEMS NORTH TEXAS SMARTNET NETWORK. DISTANCES AND AREA SHOWN HERON ARE SURFACE.
2. LANDSCAPING WITHIN THE SIGHT DISTANCE EASEMENT SHALL BE DESIGNED TO PROVIDE UNOBSTRUCTED CROSS-VISIBILITY AT A LEVEL BETWEEN THREE (3) TO SIX (6) AS PER CITY CODE.
By graphic scale the subject property appears to lie in Zone X, not shaded, (area determined to outside 500-year floodplain) according to the FEMA Flood Insurance Rate Map for Tarrant County, Texas, Map No. 48439C0095K, effective September 25, 2009.
A. Total Platted Area = 65040.50 SF
B. Net Platted Area = 51902.07 SF
C. ROW = 13138.43 SF
D. Easement Dedication = 8358.11 SF

SURVEYOR'S CERTIFICATION
I, Edward Khalil, of ANA Consultants, LLC, a Registered Professional Land Surveyor of the State of Texas, do hereby declare that I prepared this plat from an actual and accurate survey on the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the State of Texas and the City of Grapevine.
SIGNATURE: _____
DATE: _____
ANA Consultants, LLC



OWNER
GRAPEVINE JOINT HILL VENTURE
6508 COLLEYVILLE BLVD # 300
COLLEYVILLE, TX 76034
(817) 480-7319

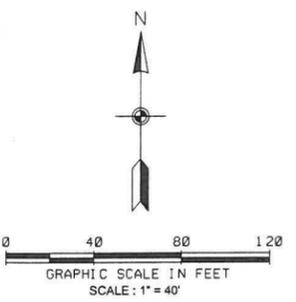
DEVELOPER
BAYLEY YANDELL LTD
1105 GLADE RD, SUITE 100
COLLEYVILLE, TX 76034
(817) 825-8946



ENGINEER/SURVEYOR
A.N.A. CONSULTANTS, L.L.C.
5000 THOMPSON ROAD
COLLEYVILLE, TEXAS 76034
TEL. (817) 335-9900
FAX (817) 335-9955
F.R.N.10090800

AVIGATION RELEASE
THE STATE OF TEXAS §
COUNTY OF TARRANT §
WHEREAS, GRAPEVINE HILL JOINT VENTURE, hereinafter called OWNER, is the owner of that certain parcel of land situated in the City of Grapevine, Tarrant County, Texas, being said property as described as shown on this plat.
NOW THEREFORE, In consideration of the sum of ONE AND 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confessed, Owner does hereby waive, release, remise and quitclaim to the City of Grapevine, Tarrant County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas, Texas and Fort Worth, Texas, their successors and assigns, hereinafter called "Cities", for the use and benefit of the public and its agencies, any and all claims for damages of any kind to persons or property that Owner may suffer by reason of the passage and flight of all aircraft in the air space above Owner's property above the height restriction as presently established by Ordinance No. 73-50 for the City of Grapevine, known as the Airport Zoning Ordinance of the Dallas-Fort Worth International Airport, to an infinite height above same, whether such damage shall originate from noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft, landing at, or taking off from, or operating at or on the Dallas-Fort Worth International Airport.
This instrument does not release the owners or operators of aircraft from liability for damage to person or property caused by falling aircraft or falling physical objects from aircraft, except as stated herein with respect to noise, fumes, dust, fuel, and lubricant particles.
It is agreed that this Release shall be binding upon said owner and his heirs and assigns, and successors in interest to said property; and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of the county or counties in which the property is situated.

EXECUTED at _____, Texas, this ____ day of _____, 20____.
OWNER _____
The State of _____
County of _____
Before me _____ on this day personally appeared _____ known to me (or proved to me on the oath of _____ or through _____ (description of identity card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.
Given under my hand and seal of office this ____ day of _____, A.D. 20____.
SEAL _____
Notary Signature _____

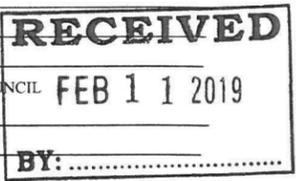


STATE OF TEXAS:
COUNTY OF TARRANT:
Whereas, Grapevine Hill Joint venture is the owner of 1.49 acre of land situated in the A. Leonard Survey, Abstract No. 946, City of Grapevine, Tarrant County, Texas, being that tract described in Instrument Number D217079227, Deed Records, Tarrant County, Texas and being more particularly described by metes and bounds as follows:
Beginning at a 1/2 inch iron rod with yellow cap found for corner for the northeast corner for said 1.49 acre tract and the southeast corner Lot 20, Block 1, Silver Lake Addition, an addition to the city of Grapevine, Tarrant County, Texas according to the plat recorded Cabinet A, Slide 4979, Plat Records, Tarrant County, being in the West Right-of-Way line of N. Dooley Street;
Thence South 00 degrees 33 minutes 58 seconds East, 251.34 feet with the west Right-of-Way line of said N. Dooley street to 5/8 inch iron rod found (inside a tree root) for the southeast corner of said 1.49 acre tract in the north line of lot 1, Block A, J. Jones Crossing, an addition to the City of Grapevine, Tarrant County, Texas according to the plat recorded in Instrument Number D20209511, Plat Records, Tarrant County;
Thence North 89 degrees 17 minutes 56 seconds West, 98.86 feet with the north line of said Lot 1, to a disturbed 1/2 inch iron rod found for the northwest corner of said Lot 1, and the northeast corner of Lot 1, Block 1, 411 Turner Addition, an Addition to the City of Grapevine, as recorded in Instrument Number D218146176, Plat Records, Tarrant County, Texas in the south line of said 1.49 acre tract;
Thence North 89 degrees 53 minutes 56 seconds West, 159.41 feet with the north line of said Lot 1, 411 Turner Addition to 5/8 inch iron rod with yellow stamped "ANA" for the southwest corner of said 1.49 acre tract and the northwest corner of said Lot 1, in the east line of Lot 1, Block 1, 407 Turner Addition, as recorded in Instrument Number D21237553, Plat Records, Tarrant County, Texas;
Thence North 00 degrees 20 minutes 07 seconds West, 41.70 feet with the east line of said Lot 1, 407 Turner to a 5/8 inch iron rod found for the northeast corner of said Lot 1, 407 Turner and the southeast corner of that certain tract of land described in deed to Son & Ellen Shivers as recorded in Volume 1211, Page 7, deed Records, Tarrant County, Texas, in the west line of said 1.49 acre tract;
Thence North 00 degrees 44 minutes 02 seconds West, 211.13 feet with the east line of said Son & Ellen Shivers tract and the west line of said 1.49 acre tract to a 5/8 inch iron rod with yellow cap stamped "ANA" for the northwest corner of said 1.49 acre tract in the south line of Lot 21, Block 1, of said Silver Lake Addition;

Thence South 89 degrees 20 minutes 24 seconds East, 258.75 feet to the Point Of Beginning and containing 65,041 square feet or 1.49 acre of land more or less,
NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS, THAT Grapevine Hill Joint venture does hereby adopt this plat of Grapevine Hills Addition, an addition to the City of Grapevine, Tarrant County, Texas, and does hereby dedicate to the public use forever the right-of-way and easements shown hereon. The easements shown hereon are hereby reserved for the purposes as indicated. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of paving on the easements is the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed, or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using, or desiring to use same. Any City or franchised utility shall have the full right to remove and keep removed all or parts of any fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all City or franchised utilities shall at all times have the full right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone.
"I have reviewed the City's findings concerning dedications and I do agree that the statements are true and correct."
This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

Witness my hand this the ____ day of _____, 20____.
(Signature of Owner) _____
(Title) _____
The State of _____
County of _____
Before me _____ on this day personally appeared _____ known to me (or proved to me on the oath of _____ or through _____ (description of identity card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.
Given under my hand and seal of office this ____ day of _____, 20____.

PLANNING AND ZONING COMMISSION:
Date Approved: _____
Chairman: _____
Secretary: _____
GRAPEVINE CITY COUNCIL FEB 11 2019
Date Approved: _____
Mayor: _____
City Secretary: _____



FINAL PLAT
OF LOTS 1-5
BLOCK 1 AND
LOTS 1-5, BLOCK 2
GRAPEVINE HILL ADDITION
IN THE
A. LEONARD SURVEY, ABSTRACT No 946
SITUATED IN THE
CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS
10 LOTS 1.46 ACRES
ZONED R-5.0 RESIDENTIAL
JANUARY 2019

This Plat Filed on _____ Instrument # D _____

PROJECT NO.	180420	APR	EKK	DATE
REVISIONS				

FINAL PLAT
GRAPEVINE HILL ADDITION

5000 Thompson Terrace
Colleyville, TX 76034
(817) 335-9900
FAX: (817) 335-9955
TBPLS F. NO: 10090800



CASE NO. _____
SHEET 1 OF 1

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: FEBRUARY 19, 2019

SUBJECT: PRELIMINARY PLAT APPLICATION
LOTS 1-8, BLOCK 1, STATHAM ESTATES

PLAT APPLICATION FILING DATE.....February 12, 2019

APPLICANTSteve Homeyer

REASON FOR APPLICATION..... Platting site into 8 residential lots

PROPERTY LOCATION 315 North Main Street

ACREAGE..... 1.76

ZONING R-5.0

NUMBER OF LOTS 8

PREVIOUS PLATTINGNo

CONCEPT PLANNo

SITE PLAN.....No

OPEN SPACE REQUIREMENT..... Yes

AVIGATION RELEASE Yes

PUBLIC HEARING REQUIREDNo

**PLAT INFORMATION SHEET
PRELIMINARY PLAT APPLICATION
LOTS 1-8, BLOCK 1, STATHAM ESTATES**

I. GENERAL:

- The applicant, Steve Homeyer is preliminary platting 1.76 acres into eight (8) lots. The property is located at 315 N. Main Street.

II. STREET SYSTEM:

- The development has access to North Main Street.
- Abutting roads: on the City Thoroughfare Plan: N. Main Street
 not on the City Thoroughfare Plan:

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 15.00 / LF		

Periphery Street Fees are not due:

III. STORM DRAINAGE SYSTEM:

- The existing stormwater flows northwest.
- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for:
- Water and Wastewater Impact Fees are due prior to the issuance of building permits for: Lots 1-8, Block 1, Statham Estates
 - Single Family Residential (\$ 2,414/ Lot)
 - Multifamily (\$ 1,134/ Unit)
 - Hotel (\$ 43,632/ Acre)
 - Corporate Office (\$ 20,523/ Acre)
 - Government (\$ 4,414/ Acre)
 - Commercial / Industrial (\$ 5,739 / Acre)
- Open Space Fees are not required for:
- Open Space Fees are due prior to the preconstruction meeting for public infrastructure improvements for: Lots 1-8, Block 1, Statham Estates
 - R-5.0, R-TH, Zero Lot District (\$ 1,416.00 / Lot)
 - R-7.5, Single Family District (\$ 1,146.00 / Lot)
 - R-12.5, Single Family District (\$ 1,071.00 / Lot)
 - R-20.0, Single Family District (\$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
 - Front building line
 - Allowing a setback of 3 feet for the rear property line for an accessory building
 - Lot width & depth
 - Max. Impervious Area
 - Landscaping Regulations, allowing no landscape buffer between the edge of the parking area and the adjacent property line.
- The following items associated with this plat are not in accordance with the current subdivision standards:
 - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
 - Length of cul-de-sac street exceeds the 600-foot limit:
 - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
- The right-of-way provides for future widening of public streets that will serve the development of this site.
 - The onsite utility easements provide for a utility network to serve the development of this site.
 - The onsite drainage easements provide for a drainage network to serve the development of this site.
 - The onsite access easements provide cross access capabilities to this site and surrounding property.

- The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:

- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
- The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
- The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
- The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
- The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
- All of the dedications benefit the development to at least the extent of the impact of such on the development.

VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: “Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Preliminary Plat of Lots 1-8, Block 1, Statham Estates.”

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS, THE BENALI FAMILY REVOCABLE TRUST, is the owner of a 1.76 acre tract of land situated in the ARCHIBALD F. LEONARD SURVEY, ABSTRACT NUMBER 946, City of Grapevine, Tarrant County, Texas, being all of that certain tract of land described to The Benali Family Revocable Trust in the Special Warranty Deed filed for record in Instrument Number D209141892, Official Public Records, Tarrant County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod found for the Southwest corner of said Benali tract, being the Northwest corner of Lot 26, Block 1 and the Northeast corner of Lot 24, Block 1 of Banyan Place, an addition to the City of Grapevine, Texas, recorded in Cabinet 388-217, Page 16, Plat Records, Tarrant County, Texas (P.R.T.C.T.), and being the Southwest corner of Lot 22R, Block 1 of Banyan Place Lots 21R & 22R, an addition to the City of Grapevine, Texas, recorded in Cabinet B, Page 249, P.R.T.C.T.;

THENCE North 00°27'11" East, with the West line of said Benali tract and the common East line of Lot 22R, Block 1 and Lot 21R, Block 1 of said Banyan Place Lots 21R & 22R, and Lot 20, Block 1 of said Banyan Place, a distance of 199.91 feet to a 1/2-inch iron rod with plastic cap stamped "VDT 1928" found for the Northwest corner of said Benali tract, being in the East line of said Lot 20, Block 1 and being the Southwest corner of Lot 1, Block 1 of Palpani Addition, an addition to the City of Grapevine, Texas, recorded in Instrument Number D212014907, P.R.T.C.T.;

THENCE North 89°32'43" East, with the North line of said Benali tract and the common South line of said Lot 1, Block 1, a distance of 384.56 feet to a 1/2-inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set for the Northeast corner of said Benali tract and being in the West right-of-way line of Main Street (50' Right-of-Way);

THENCE South 00°12'43" West, with the East line of said Benali tract and the common West right-of-way line of Main Street, a distance of 195.45 feet to a 1/2-inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set for the Southeast corner of said Benali tract;

THENCE South 89°28'45" West, with the South line of said Benali tract and the common North line of Lot 1, Block 1 of Cook's Subdivision, an addition to the City of Grapevine, Texas, recorded in Cabinet 388-H, Page 345, P.R.T.C.T., and Lots 28, 27 and 26, Block 1 of said Banyan Place, a distance of 385.41 feet to the POINT OF BEGINNING, containing 1.76 acres of land, more or less.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS: THAT, THE BENALI FAMILY REVOCABLE TRUST, does hereby adopt this plat of STATHAM ESTATES, an addition to the City of Grapevine, Tarrant County, Texas, and does hereby dedicate to the public use forever the right-of-way and easements shown hereon. The easements shown hereon are hereby reserved for the purposes as indicated. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of paving on the easements is the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed, or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using, or desiring to use same. Any City or franchised utility shall have the full right to remove and keep removed all or parts of any fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all City or franchised utilities shall at all times have the full right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone.

"I have reviewed the City's findings concerning dedications and I do agree that the statements are true and correct."

The plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

Witness my hand this _____ day of _____, 2019.

OWNER: THE BENALI FAMILY REVOCABLE TRUST

BY: _____
Mohamed Benali
Trustee

STATE OF TEXAS §
COUNTY OF TARRANT §

BEFORE ME, the undersigned authority, on this day personally appeared MOHAMED BENALI, Trustee of THE BENALI FAMILY REVOCABLE TRUST, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2019.

Notary Public In and for the State of Texas

CERTIFICATE OF SURVEYOR

STATE OF TEXAS §
COUNTY OF TARRANT §

I, TED A. GOSSETT, Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual survey made on the ground and that the monuments shown hereon were found or placed with 1/2-inch iron rods with green plastic caps stamped "EAGLE SURVEYING" under my direction and supervision in accordance with the current provisions of the Texas Administrative Code and the Ordinances of the City of Grapevine, Tarrant County, Texas.

PRELIMINARY
this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document

Ted A. Gossett, R.P.L.S., # 5991

STATE OF TEXAS §
COUNTY OF TARRANT §

BEFORE ME, the undersigned authority, on this day personally appeared TED A. GOSSETT, Registered Professional Land Surveyor, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2019.

John Cox, Notary Public In and for the State of Texas

GRAPEVINE CITY COUNCIL

Date Approved: _____

William D. Tate, Mayor
City of Grapevine, Texas

ATTEST: _____

City Secretary

PLANNING & ZONING COMMISSION

Date Approved: _____

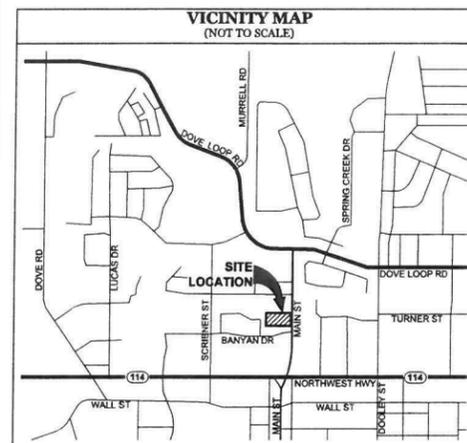
Chalman
Planning and Zoning Chairman

ATTEST: _____

City Secretary

PRELIMINARY PLAT
STATHAM ESTATES
LOTS 1 - 8, BLOCK 1

BEING 1.76 ACRES OF LAND SITUATED IN THE ARCHIBALD F. LEONARD SURVEY, ABSTRACT NO. 946, CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS



- GENERAL NOTES**
- The purpose of this plat is to create eight (8) residential Lots and dedicate right-of-way for development.
 - This property is located in "Non-shaded Zone X" as scaled from the F.E.M.A. Flood Insurance Rate Map dated September 25, 2009 as shown on Map Number 48439C0105K.
 - The grid coordinates shown on this survey are based on GPS observations utilizing the Altira RTKNET Cooperative network, NAD 83(2011) State Plane Coordinate System (Texas North Central Zone - 4202).
 - Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
 - All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
 - The bearings and distances shown on this plat are based on GPS observations utilizing the Altira RTKNET Cooperative network, NAD 83(2011) Datum.

AVIGATION RELEASE

NOW THEREFORE, in consideration of the sum of ONE AND 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confessed, Owner does hereby waive, release, remise and quitclaim to the City of Grapevine, Tarrant County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas, Texas and Fort Worth, Texas, their successors and assigns, hereinafter called "Cities", for the use and benefit of the public and its agencies, any and all claims for damages of any kind to persons or property that Owner may suffer by reason of the passage and flight of all aircraft in the air space above Owner's property above the height restriction as presently established by Ordinance No. 73-50 for the City of Grapevine, known as the Airport Zoning Ordinance of the Dallas-Fort Worth International Airport, to an infinite height above same, whether such damage shall originate from noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft, landing at, or taking off from, or operating at or on the Dallas-Fort Worth International Airport.

This instrument does not release the owners or operators of aircraft from liability for damage to person or property caused by falling aircraft or falling physical objects from aircraft, except as stated herein with respect to noise, fumes, dust, fuel, and lubricant particles.

It is agreed that this Release shall be binding upon said owner and his heirs and assigns, and successors in interest to said property; and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of the county or counties in which the property is situated.

EXECUTED at _____, Texas, this _____ day of _____, 2019.

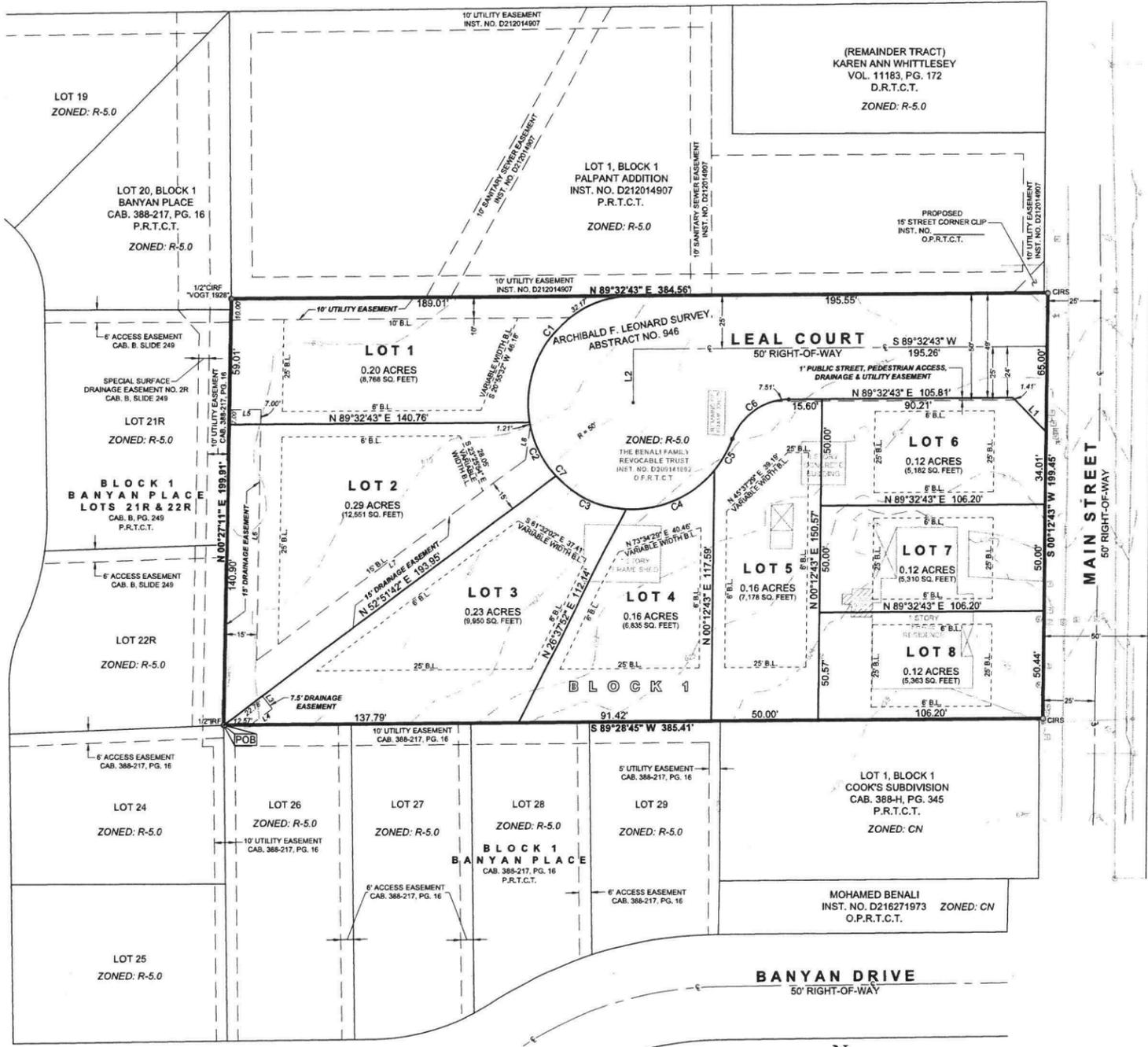
Mohamed Benali, Trustee
The Benali Family Revocable Trust

STATE OF TEXAS §
COUNTY OF TARRANT §

BEFORE ME, the undersigned authority, on this day personally appeared MOHAMED BENALI, Trustee of THE BENALI FAMILY REVOCABLE TRUST, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2019.

Notary Public In and for the State of Texas



LEGEND

PG = PAGE
VOL = VOLUME
CAB = CABINET
POB = POINT OF BEGINNING
IRF = IRON ROD FOUND
CIRF = CAPPED IRON ROD FOUND
CIRS = CAPPED IRON ROD SET
INST. NO. = INSTRUMENT NUMBER
D.R.T.C.T. = DEED RECORDS TARRANT COUNTY, TEXAS
P.R.T.C.T. = PLAT RECORDS TARRANT COUNTY, TEXAS
O.P.R.T.C.T. = OFFICIAL PUBLIC RECORDS TARRANT COUNTY, TEXAS

LINE TABLE

LINE	BEARING	DISTANCE
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L2	S 00°27'11" E	25.00'
L3	S 37°08'18" E	7.50'
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C7	217.95'	50.00'	249°44'49"	S 35°19'44" E	82.04'

Project: 1808.026-04
Date: 02/09/2019
Drafter: JDC

EAGLE SURVEYING, LLC
210 S. Elm Street, Suite: 104
Denton, TX 76201
(940) 222-3009
TX Firm #10194177

SURVEYOR
Eagle Surveying, LLC
Contact: John Cox
210 S. Elm Street, Suite: 104
Denton, TX 76201
(940) 222-3009

ENGINEER
Homeyer Engineering, Inc.
Contact: Steve Homeyer
315 N. Main Street
Lewisville, TX 75029
(972) 906-9985

OWNER
The Benali Family Revocable Trust
Contact: Mohamed Benali
315 N. Main Street
Grapevine, TX 76051

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: FEBRUARY 19, 2019

SUBJECT: FINAL PLAT APPLICATION
LOTS 1-8, BLOCK 1, STATHAM ESTATES

PLAT APPLICATION FILING DATE.....February 12, 2019

APPLICANTSteve Homeyer

REASON FOR APPLICATION..... Platting site into 8 residential lots

PROPERTY LOCATION 315 North Main Street

ACREAGE..... 1.76

ZONING R-5.0

NUMBER OF LOTS 8

PREVIOUS PLATTINGNo

CONCEPT PLANNo

SITE PLAN.....No

OPEN SPACE REQUIREMENT..... Yes

AVIGATION RELEASE Yes

PUBLIC HEARING REQUIREDNo

**PLAT INFORMATION SHEET
FINAL PLAT APPLICATION
LOTS 1-8, BLOCK 1, STATHAM ESTATES**

I. GENERAL:

- The applicant, Steve Homeyer is preliminary platting 1.76 acres into eight (8) lots. The property is located at 315 N. Main Street.

II. STREET SYSTEM:

- The development has access to North Main Street.
- Abutting roads: on the City Thoroughfare Plan: N. Main Street
 not on the City Thoroughfare Plan:

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 15.00 / LF		

Periphery Street Fees are not due:

III. STORM DRAINAGE SYSTEM:

- The existing stormwater flows northwest.
- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for:
- Water and Wastewater Impact Fees are due prior to the issuance of building permits for: Lots 1-8, Block 1, Statham Estates
 - Single Family Residential (\$ 2,414/ Lot)
 - Multifamily (\$ 1,134/ Unit)
 - Hotel (\$ 43,632/ Acre)
 - Corporate Office (\$ 20,523/ Acre)
 - Government (\$ 4,414/ Acre)
 - Commercial / Industrial (\$ 5,739 / Acre)
- Open Space Fees are not required for:
- Open Space Fees are due prior to the preconstruction meeting for public infrastructure improvements for: Lots 1-8, Block 1, Statham Estates
 - R-5.0, R-TH, Zero Lot District (\$ 1,416.00 / Lot)
 - R-7.5, Single Family District (\$ 1,146.00 / Lot)
 - R-12.5, Single Family District (\$ 1,071.00 / Lot)
 - R-20.0, Single Family District (\$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
 - Front building line
 - Allowing a setback of 3 feet for the rear property line for an accessory building
 - Lot width & depth
 - Max. Impervious Area
 - Landscaping Regulations, allowing no landscape buffer between the edge of the parking area and the adjacent property line.
- The following items associated with this plat are not in accordance with the current subdivision standards:
 - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
 - Length of cul-de-sac street exceeds the 600-foot limit:
 - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
 - The right-of-way provides for future widening of public streets that will serve the development of this site.
 - The onsite utility easements provide for a utility network to serve the development of this site.
 - The onsite drainage easements provide for a drainage network to serve the development of this site.
 - The onsite access easements provide cross access capabilities to this site and surrounding property.

- The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:

- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
- The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
- The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
- The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
- The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
- All of the dedications benefit the development to at least the extent of the impact of such on the development.

VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Final Plat of Lots 1-8, Block 1, Statham Estates."

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS, THE BENALI FAMILY REVOCABLE TRUST, is the owner of a 1.76 acre tract of land situated in the ARCHIBALD F. LEONARD SURVEY, ABSTRACT NUMBER 946, City of Grapevine, Tarrant County, Texas, being all of that certain tract of land described to The Benali Family Revocable Trust in the Special Warranty Deed filed for record in Instrument Number D209141892, Official Public Records, Tarrant County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod found for the Southwest corner of said Benali tract, being the Northwest corner of Lot 26, Block 1 and the Northeast corner of Lot 24, Block 1 of Banyan Place, an addition to the City of Grapevine, Texas, recorded in Cabinet 388-217, Page 16, Plat Records, Tarrant County, Texas (P.R.T.C.T.), and being the Southeast corner of Lot 22R, Block 1 of Banyan Place Lots 21R & 22R, an addition to the City of Grapevine, Texas, recorded in Cabinet B, Page 249, P.R.T.C.T.:

THENCE North 00°27'11" East, with the West line of said Benali tract and the common East line of Lot 22R, Block 1 and Lot 21R, Block 1 of said Banyan Place Lots 21R & 22R, a distance of 199.91 feet to a 1/2-inch iron rod with green plastic cap stamped "VOGT 1926" found for the Northwest corner of said Benali tract, being in the East line of said Lot 20, Block 1 and being the Southwest corner of Lot 1, Block 1 of Palpat Addition, an addition to the City of Grapevine, Texas, recorded in Instrument Number D212014907, P.R.T.C.T.:

THENCE North 89°32'43" East, with the North line of said Benali tract and the common South line of said Lot 1, Block 1, a distance of 384.56 feet to a 1/2-inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set for the Northeast corner of said Benali tract and being in the West right-of-way line of Main Street (50' right-of-way):

THENCE South 00°12'43" West, with the East line of said Benali tract and the common West right-of-way line of Main Street, a distance of 199.45 feet to a 1/2-inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set for the Southeast corner of said Benali tract:

THENCE South 89°28'45" West, with the South line of said Benali tract and the common North line of Lot 1, Block 1 of Cook's Subdivision, an addition to the City of Grapevine, Texas, recorded in Cabinet 388-H, Page 345, P.R.T.C.T., and Lots 29, 28, 27 and 26, Block 1 of said Banyan Place, a distance of 385.41 feet to the POINT OF BEGINNING, containing 1.76 acres of land, more or less.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, THE BENALI FAMILY REVOCABLE TRUST, does hereby adopt this plat of STATHAM ESTATES, an addition to the City of Grapevine, Tarrant County, Texas, and does hereby dedicate to the public use forever the right-of-way and easements shown hereon. The easements shown hereon are hereby reserved for the purposes as indicated. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of paving on the easements is the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed, or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using, or desiring to use same. Any City or franchised utility shall have the full right to remove and keep removed all or parts of any fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all City or franchised utilities shall at all times have the full right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone.

"I have reviewed the City's findings concerning dedications and I do agree that the statements are true and correct."

The plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

Witness my hand this the _____ day of _____, 2019.

OWNER: THE BENALI FAMILY REVOCABLE TRUST

BY: _____
Mohamed Benali
Trustee

STATE OF TEXAS §
COUNTY OF TARRANT §

BEFORE ME, the undersigned authority, on this day personally appeared MOHAMED BENALI, Trustee of THE BENALI FAMILY REVOCABLE TRUST, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2019.

Notary Public in and for the State of Texas

CERTIFICATE OF SURVEYOR

STATE OF TEXAS §
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I, TED A. GOSSETT, Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual survey made on the ground and that the monuments shown hereon were found or placed with 1/2-inch iron rods with green plastic caps stamped "EAGLE SURVEYING" under my direction and supervision in accordance with the current provisions of the Texas Administrative Code and the Ordinances of the City of Grapevine, Tarrant County, Texas.

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this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.

Ted A. Gossett, R.P.L.S., # 5991 _____ Date _____

STATE OF TEXAS §
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GRAPEVINE CITY COUNCIL

Date Approved: _____

William D. Tate, Mayor
City of Grapevine, Texas

ATTEST:

City Secretary

PLANNING & ZONING COMMISSION

Date Approved: _____

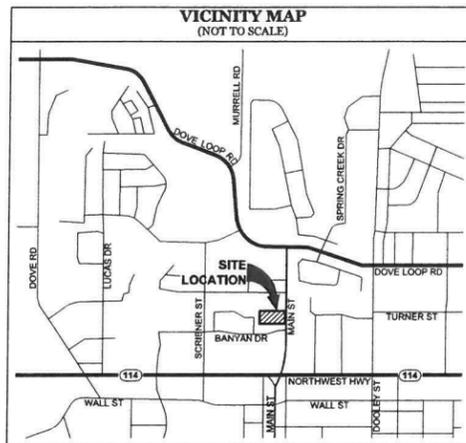
Chalman
Planning and Zoning Chairman

ATTEST:

City Secretary

**FINAL PLAT
STATHAM ESTATES
LOTS 1 - 8, BLOCK 1**

BEING 1.76 ACRES OF LAND SITUATED IN THE ARCHIBALD F. LEONARD SURVEY, ABSTRACT NO. 946, CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS



GENERAL NOTES

- The purpose of this plat is to create eight (8) residential Lots and dedicate right-of-way for development.
- This property is located in "Non-shaded Zone X" as scaled from the F.E.M.A. Flood Insurance Rate Map dated September 25, 2009 as shown on Map Number 48439C0105K.
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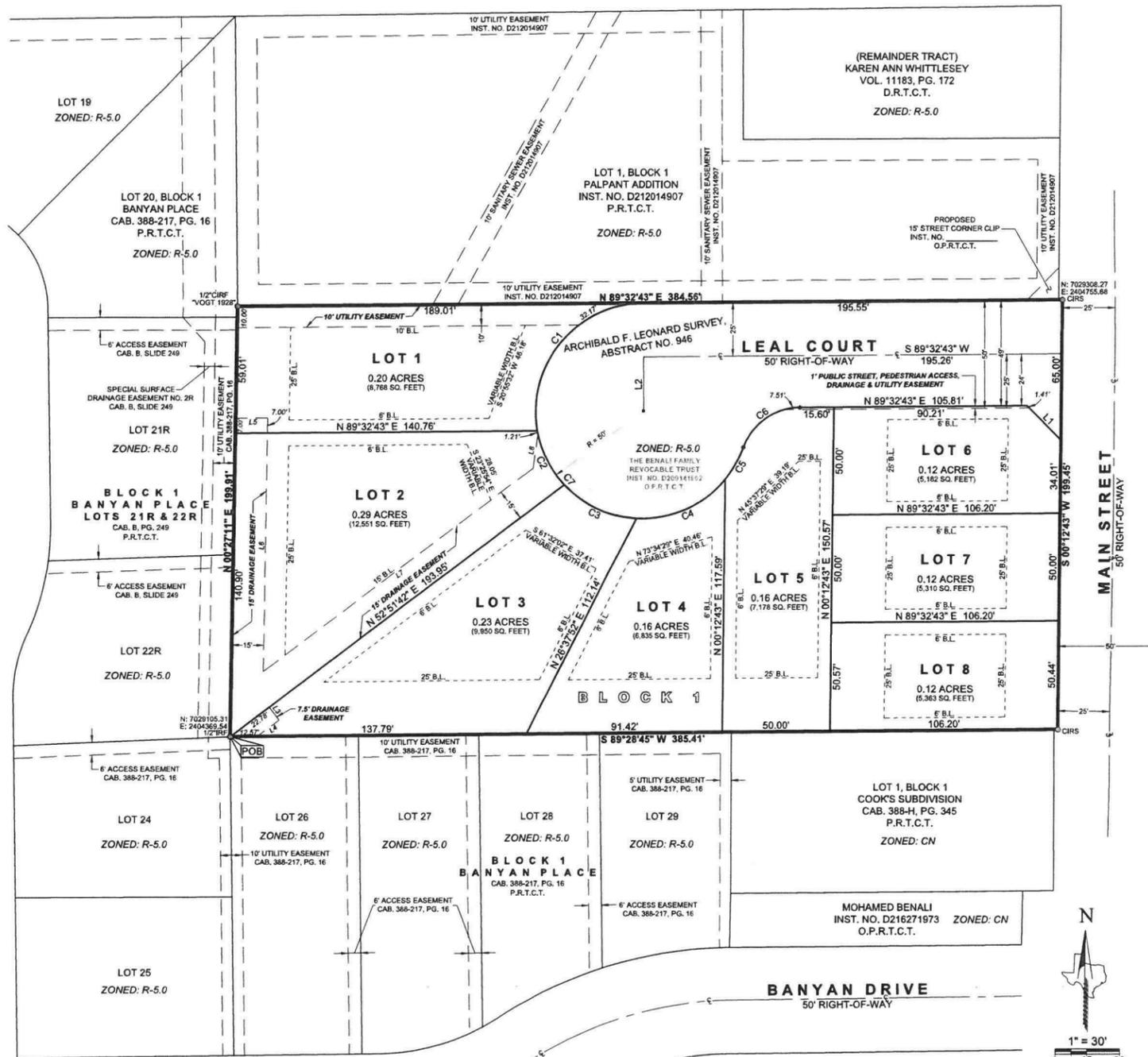
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GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2019.

Notary Public in and for the State of Texas



LOT SUMMARY TABLE

Total Platted Area:	1.76 Acres
Net Platted Area:	1.25 Acres
R.O.W. Dedication:	0.36 Acres
Easement Dedication:	0.15 Acres

LINE TABLE

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TX Firm #10194177

SURVEYOR
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STATE OF TEXAS
COUNTY OF TARRANT
CITY OF GRAPEVINE

The Planning and Zoning Commission of the City of Grapevine, Texas met in Regular Session on this the 15th day of January 2019 in the Planning and Zoning Conference Room, 200 South Main Street, 2nd Floor, Grapevine, Texas with the following members present-to-wit:

Larry Oliver	Chairman
B J Wilson	Vice-Chairman
Monica Hotelling	Member
Gary Martin	Member
Beth Tiggelaar	Member
Dennis Luers	Member
Robert Rainwater	Alternate
Traci Hutton	Alternate

constituting a quorum with Jimmy Fechter absent and the following City Staff:

Ron Stombaugh	Development Services Assistant Director
John Robertson	Engineering Manager
Albert Triplett, Jr.	Planner II
Susan Batte	Planning Technician

CALL TO ORDER

Chairman Oliver called the meeting to order at 7:00 p.m.

BRIEFING SESSION

ITEM 1.

Chairman Oliver announced the Planning and Zoning Commission would conduct a work session relative to the following cases:

PLATS – Grapevine Mills Wells, Grace Hill, Grapevine Hill

Chairman Oliver closed the Briefing Session at 7:06 p.m.

JOINT PUBLIC HEARINGS

Mayor Tate called the meeting to order at 7:30 p.m. in the City Council Chambers. Items 2-3 of the Joint Public Hearings were held in the City Council Chambers. The Planning and Zoning Commission recessed to the Planning and Zoning Conference Room, Second Floor to consider published agenda items.

PLANNING AND ZONING COMMISSION REGULAR SESSION

CALL TO ORDER

Chairman Oliver called the Planning and Zoning Commission deliberation session to order at 7:36 p.m.

ITEM 4. FINAL PLAT – LOT 1R, BLOCK 1, GRAPEVINE MILLS WELLS

First for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Final Plat Application of Lot 1R, Block 1, Grapevine Mills Wells. The applicant was final platting 4.81 acres to plat the gas wells and education center into one lot.

In the Commission's deliberation session, B J Wilson moved to approve the Statement of Findings and Final Plat Application of Lot 1R, Block 1, Grapevine Mills Wells. Dennis Luers seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Martin, Tiggelaar, Luers and Rainwater
Nays: None

ITEM 5. FINAL PLAT – LOT 1, BLOCK 1, GRACE HILL

Next for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Final Plat Application of Lot 1, Block 1, Grace Hill. The applicant was final platting 0.370 acres for the development of a single family residential lot.

In the Commission's deliberation session, B J Wilson moved to approve the Statement of Findings and Final Plat Application of Lot 1, Block 1, Grace Hill. Monica Hotelling seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Martin, Tiggelaar, Luers and Rainwater
Nays: None

ITEM 6. PRELIMINARY PLAT – LOTS 1-5, BLOCK 1 AND LOTS 1-5, BLOCK 2, GRAPEVINE HILL

Next for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Preliminary Plat Application of Lots 1-5, Block 1, and Lots 1-5, Block 2, Grapevine Hill. The applicant was preliminary platting 1.46 acres for the development ten single family residential lots.

In the Commission's deliberation session, Dennis Luers moved to table the Statement of Findings and Preliminary Plat Application of Lots 1-5, Block 1 and Lots 1-5, Block 2, Grapevine Hill to the February 19, 2019 public hearing. Monica Hotelling seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Martin, Tiggelaar, Luers and Rainwater
Nays: None

ITEM 7. FINAL PLAT – LOTS 1-5, BLOCK 1 AND LOTS 1-5, BLOCK 2, GRAPEVINE HILL

Next for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Final Plat Application of Lots 1-5, Block 1, and Lots 1-5, Block 2, Grapevine Hill. The applicant was final platting 1.46 acres for the development ten single family residential lots.

In the Commission's deliberation session, B J Wilson moved to table the Statement of Findings and Final Plat Application of Lots 1-5, Block 1 and Lots 1-5, Block 2, Grapevine Hill to the February 19, 2019 public hearing. Monica Hotelling seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Martin, Tiggelaar, Luers and Rainwater
Nays: None

ITEM 8. CONSIDERATION OF MINUTES

Next for the Commission to consider were the minutes of the December 18, 2018, Planning and Zoning Public Hearing.

Monica Hotelling moved to approve the December 18, 2018 Planning and Zoning Public Hearing minutes as written. Beth Tiggelaar seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Martin, Tiggelaar, Luers, and Rainwater
Nays: None
Abstain: Wilson

ADJOURNMENT

With no further business to discuss, Gary Martin moved to adjourn the meeting at 7:39 p.m. Dennis Luers seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Martin, Tiggelaar, Luers and Hutton
Nays: None

PASSED AND APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF GRAPEVINE, TEXAS ON THIS THE 19TH DAY OF FEBRUARY 2019.

APPROVED:

CHAIRMAN

ATTEST:

PLANNING TECHNICIAN

Section 41B. Transit District Overlay

PURPOSE: Given the creation of the TEXRail Station within the city, this type of public transportation center can lead to development pressure within close proximity to the station which is often referred to as Transit Oriented Development (TOD). This combination of commuter rail along with the rail station, hotel and parking structure investment and its proximity to Grapevine’s Historic Main Street will lead to some of the most unique development and land opportunities within the city. With this in mind, the Transit District Overlay is intended to encourage development within the boundaries of the Transit District which encompasses approximately 175 acres centered at the Grapevine Main Station/Hotel Vin complex at the northeast corner of Dallas Road and Main Street and continuing east to Ball Street and west to Texan Trail and bounded to the north by the TEXRail rail line. The purpose of the overlay is to promote an alternate and progressive means of development within the Transit District keeping in mind the varied existing and potential land uses. This overlay will enable uses that are typically associated with the established principles of Transit Oriented Development and provides the tools and mechanisms necessary to plan, design, and construct such uses. Potential benefits associated with the overlay include increased density and lot coverage, reduced building setbacks, a wider range of potential land uses, and alternative parking strategies. The discretionary oversight granted in this section shall allow the Planning and Zoning Commission and the City Council the ability to establish standards and impose conditions upon such requests to mitigate or eliminate potentially adverse effects upon the community or upon properties within the vicinity of the proposed use. Designation under this section shall not affect the underlying zoning of the property except as provided in the ordinance establishing the overlay.

GENERAL GUIDELINES: All development and uses intended within the Transit District utilizing the Transit District Overlay will follow the criteria established within Section 41B. Transit District Overlay, and The City of Grapevine Transit District Overlay, Design and Development Standards, attached hereto as Exhibit “A”, and incorporated herein as if contained in its entirety. In situations where a conflict between the overlay and the Zoning Ordinance may occur, the provisions of the Overlay shall prevail.

APPLICATION FOR UTILIZING THE TRANSIT DISTRICT OVERLAY: An application for a Transit District Overlay shall be filed with the Director of Development Services, which shall be forwarded to the Planning and Zoning Commission and the City Council. The procedure to follow to establish a Transit District Overlay shall be the same process as that required to establish, amend, or alter a development as specified under Section 48, Conditional Uses. The application shall contain a Site Plan as outlined in Section 47, Site Plan Review, along with appropriate information, drawing and exhibits demonstrating adherence to the Overlay requirements as well as any additional information as may be required by the Planning and Zoning Commission, City Council, or the Director of Development Services. Failure to meet the following submittal requirements will result in the rejection of the application.

CITY OF GRAPEVINE TRANSIT DISTRICT OVERLAY DESIGN AND DEVELOPMENT STANDARDS



EXHIBIT 'A'

February 19, 2019

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1) Introduction

In 2007, The Fort Worth Transportation Authority (“The T”), now Trinity Metro, initiated a Southwest to Northeast rail corridor project from Downtown Fort Worth, through the Northside of Fort Worth, North Richland Hills, Grapevine, the North entrance to DFW Airport, and ending at Terminal B in DFW Airport. Initial ridership in January 2019 is anticipated to be 8,000 per day, with 13,000 riders per day expected by 2035.

The City of Grapevine has entered into a public/private development agreement with Coury Hospitality to build and operate an iconic, historically themed train station that will also provide public meeting spaces, food service, other public amenities, a 121 room boutique hotel (Hotel Vin), a 532 space parking garage, and a large public plaza at the northeast corner of Dallas Road and Main Street. Public transportation centers often lead to development pressure, often called Transit Oriented Development (TOD). This combination of commuter rail, major station/hotel/parking structure investment, and the proximity to Grapevine’s Historic Main Street will lead to some of the most unique land use and development opportunities anywhere within the city, if not the region.

Public meetings were held in 2008 and 2011 to gather input from citizens and stakeholders regarding their vision for the areas around the station. Numerous workshops and meetings with the Planning and Zoning Commission and City Council have also been held to help plan for the development within the Dallas Road Corridor. Some of the important general concepts arising from these meetings included:

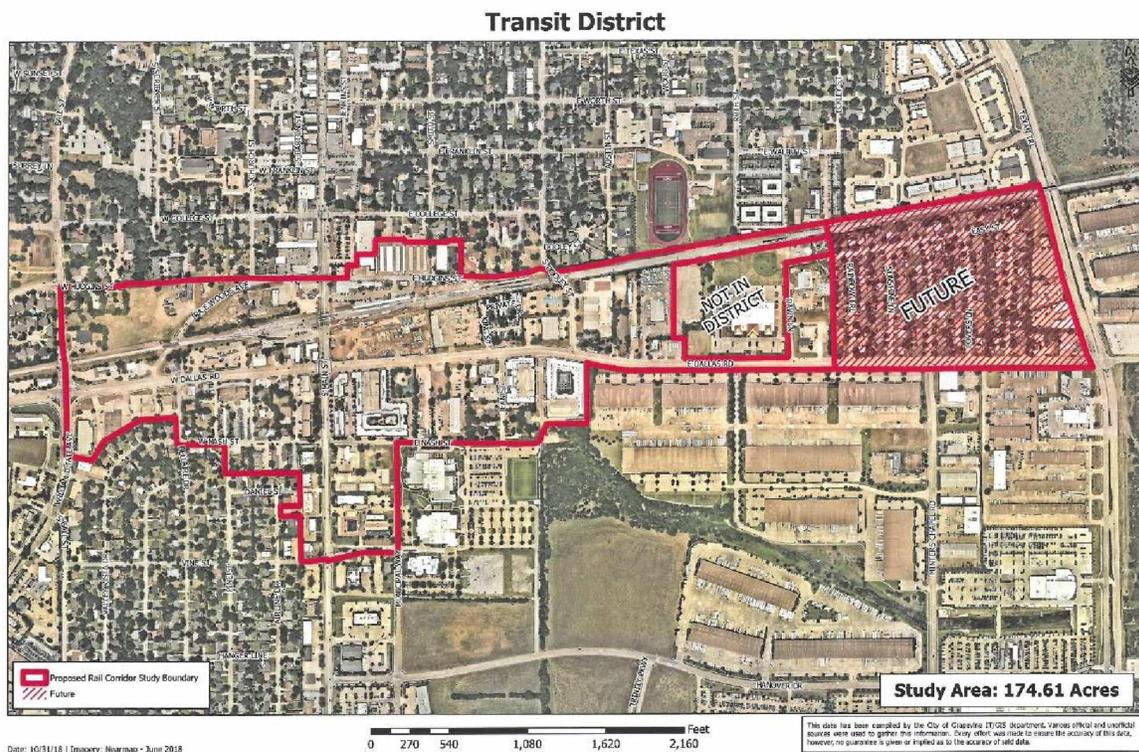
- The master plan should designate areas of varying energy/intensity, with possibly different design standards for each
- There should be a wide range of uses, spread throughout the District
- The architectural style of buildings should be unique, compatible with, but not copy, that of Historic Main Street
- This area should have its own identity, with good marketing/branding and signage
- Integration of architecture with landscape/streetscape is important. Shade, courtyards and greenspace should be provided
- Pedestrian access, connectivity and amenities are critical. There should be connectivity on Main Street from the CBD south of Dallas Road, and east and west on both sides of Dallas Road for the entire length of the District
- Access to multiple modes of transportation is important
- Shared parking and/or structured parking is important. Newly developed parking should be behind buildings

This overlay, combined with the Dallas Road infrastructure improvements (including the hike and bike trail) addresses all of the above features, and does so in a way that ensures all development and redevelopment is unique to Grapevine, as well as appropriate to its specific location within the Transit District. Additionally, standards are provided to ensure that design and construction is attractive and durable.

2) Boundaries of District

Transit Oriented Development is typically considered to be within ¼ mile (walking distance) of a transit hub, in this case, the Grapevine Main/Hotel Vin complex at the northeast corner of Dallas Road and Main Street. The City of Grapevine City Council and Planning and Zoning Commission have designated the boundaries for the district consisting of approximately 175 acres stretching from Ball Street on the west to Texan Trail on the east, roughly bordering the path of the TEXRail tracks through the core of Grapevine (see Figure 1). The Grapevine Transit District Overlay will be optionally applicable to the parcels within these boundaries. Certain parcels such as Faith Christian School and Northfield Distribution Center are excluded from the boundaries of the District. The Sunshine Harbor residential subdivision, and properties to the east of it to Texan Trail will likely be included in future planning.

Figure 1: Grapevine Transit District (Larger map in Appendix "A")



3) Implementation of the Overlay and Application to Existing Zoning

Implementation

The implementation of this overlay for a development is available for any property owner/developer within the boundaries of the Transit District, and is entirely voluntary. If an owner/developer chooses to use the overlay, it would be subject to review by the Planning and Zoning Commission and City Council **through the Conditional Use process** as outlined in Section 48 of the Grapevine Zoning Ordinance. There can be many potential benefits for one to choose to develop using this overlay, including but not limited to: **increased density, increased lot coverage, reduced setbacks, wider range of potential land use, etc.** The benefit to the City of Grapevine would be having property within the boundaries of the Transit District that contribute to the overall vision for the district through optimum land use, improved pedestrian amenities, continuity of architectural theme, etc. Because of the mutual benefits, **all fees associated with the Conditional Use Permit, zoning and platting will be waived for those who elect to develop using this overlay.** Furthermore, developers will be eligible for a building permit fee credit for up to ten hours of architectural consultation with the City of Grapevine’s contracted architectural and planning consultant. City Council may authorize more than ten hours of consultation for especially large or complex developments.

Where there are conflicts between this Overlay and the Zoning Ordinance, the provisions of this Overlay shall prevail.

If a property that utilizes this Overlay is also located within a Historic District, or has an individual Historic Overlay, a Certificate of Appropriateness is required in accordance with Appendix G of the Grapevine Code of Ordinances.

Multi-family projects within the boundaries of this overlay shall also be subject to Multi-Family Design Standards in Sec 22, Exhibit “A” of the Grapevine Comprehensive Zoning Ordinance.

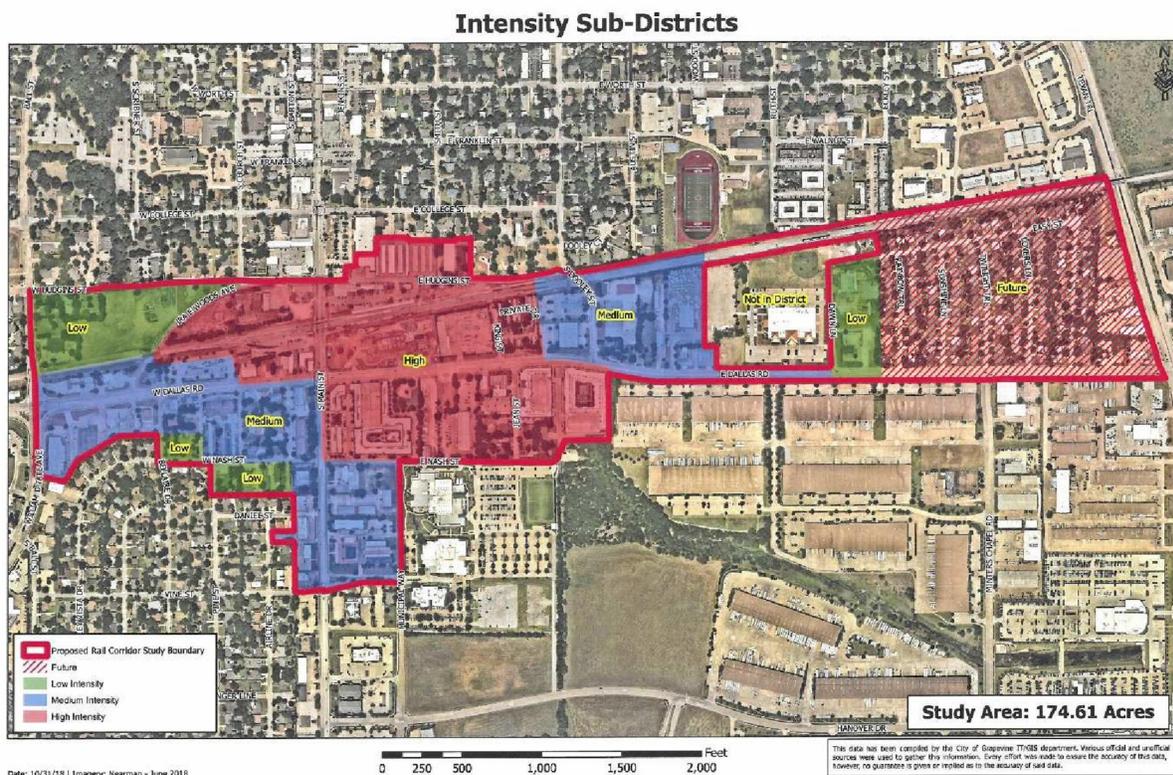
Application to Existing Zoning

There are currently many different zoning categories for properties within the boundaries of the Transit District, and this Overlay does not affect the current zoning. A property owner/developer may elect to develop their property as allowed by the current zoning. However, because of the incentives referenced above, this Overlay was written with the anticipation that its many benefits will encourage developers to choose to use it.

4) Intensity Sub Districts and Uses

The Grapevine Transit District is divided into three “Intensity Sub-Districts”, consisting of specific groups of parcels to which varying levels of activity are anticipated. While “intensity” is somewhat related to land use and density, it also has a higher meaning related to types of uses, energy, concentration of activity, and excitement. The City Council and Planning and Zoning Commission specifically selected the use of “intensity” as a differentiator for Transit District sub-districts to ensure that the uses within those sub-districts focus on more than just density as development standards are created.

Figure 2: Intensity Sub-Districts (Larger map in Appendix “B”)



HIGH-INTENSITY SUB DISTRICT

The High-Intensity Sub District focuses on the core of the Transit District, the area most closely adjacent to the rail station up to approximately one-quarter mile from the station platform. “High-intensity” refers not only to the desire for moderately high levels of density, but also to high levels of activity focused on public uses. Walkability and pedestrian amenities are very important to this Sub-District, as is landscaping including street trees and other shade elements. The vision of the City of Grapevine for the High Intensity Sub-District is for it to be the most energetic and exciting area within the transit corridor. Uses would include but not be limited to: family oriented attractions and entertainment venues, local and regional retail and restaurants, and higher density mixed use developments. Grouped clusters of uses, along a pedestrian path similar to a European village would be appropriate. Specialty/boutique retail is encouraged, as are artisan and craft studios and shops. Sidewalk vendors and kiosks might be considered in conjunction with appropriate developments. Residential uses should be medium to high density owner-occupied products, such as townhomes or condominiums. See Fig. 3.

All uses in developments within this Overlay will be Conditional Uses. Please refer to the “Preferred Use Matrix” for additional information on potential uses within this district. Uses not listed in this document may be considered, and appropriate unique uses are encouraged.

MEDIUM-INTENSITY SUB-DISTRICT

The Medium-Intensity Sub-District focuses on areas of development and potential redevelopment that are in most cases adjacent to the High-Intensity Sub-District and generally range from a quarter-mile to a half-mile from the rail station platform. It includes the area immediately east of the High-Intensity Sub-District between Dallas Road and the rail line, the area immediately south of the platform along Main Street stretching to the civic complex, and extending west along Dallas Road to William D. Tate Avenue.

“Medium-intensity” in this case refers not only to moderate density but also to a moderate degree of public-focused activity and development. Pedestrian connectivity is still very important in this Sub-District. The vision of the City of Grapevine for this Intensity Sub-District includes but is not limited to less intensive retail and commercial uses, restaurants, small-scale but high density employers- such as an urban corporate campus, and educational facilities. Again, specialty retail, craft, and artisan shops are encouraged. Moderate density residential (such as townhomes) and small scale neighborhood commercial uses would be appropriate in areas adjacent to the Low Intensity Sub-District and adjacent to minor streets. Lower density mixed-use development would still be appropriate for consideration in the Medium Intensity Sub-District. See Fig. 3.

All uses in developments within this Overlay will be Conditional Uses. Please refer to the “Preferred Use Matrix” for additional information on potential uses within this district. Uses not listed in this document may be considered, and appropriate unique uses are encouraged.

LOW-INTENSITY SUB-DISTRICT

The Low-Intensity Sub-District includes primarily areas on the east and west peripheries of the Transit District, including the area on the far northwest of the Transit District between the rail line and Hudgins St. on the south and north and between Ira E. Woods Ave. and William D. Tate Avenue on the east and west, and a small number of parcels on the southwest side of the Transit District near W. Nash St. In this case, “low intensity” means that this sub-district has the lowest potential to have significant densities and/or commercial and retail-focused activity. The vision of the City for the Low Intensity Sub-District is that these areas provide important transition zones to surrounding neighborhoods, including established single-family neighborhoods. Most development or redevelopment in the Low Intensity Sub-District would include moderate to low density residential, such as single family or two-family homes. Carefully planned projects of slightly higher density residential such as small townhome developments might be considered, especially adjacent to the Medium Intensity Sub-District. All development or redevelopment should include pedestrian connectivity to the rest of the district. See Fig. 3.

All uses in developments within this Overlay will be Conditional Uses, however, please refer to the “Preferred Use Matrix” for additional information on potential uses within this district. Appropriate uses not listed in this document may be considered.

Figure 3: Preferred use Matrix

PREFERRED USE MATRIX*

	Intensity Sub-District		
	High	Medium	Low
Entertainment	X		
Attractions	X		
Restaurant	X	X	
Winery	X	X	
Craft Brewery	X	X	
Distillery	X	X	
Retail	X	X	
Artisan/Craft Studios & Shops	X	X	
Temporary Retail (Vendors/Kiosks)	X	X	
Mixed Use	X	X	
Office	X	X	
Personal Service	X	X	
Educational/Vocational Institution		X	
Live/Work Space	X	X	
Condominium / Townhome	X	X	X
Single Family Attached	X	X	X
Two Family			X
Single Family Detached			X

*This is a summary of some of the more common possible appropriate uses; all uses will be approved through the Conditional Use process in accordance with Section 48 of the Grapevine Zoning Ordinance.

5) Development and Design Standards

A. Application of Standards

The Grapevine Transit District Development and Design Standards includes 3 sets of Standard Types as follows:

1. Those applicable to specific sub-districts/parcels
2. Those generally applicable to all sub-districts/parcels
3. Sign Standards

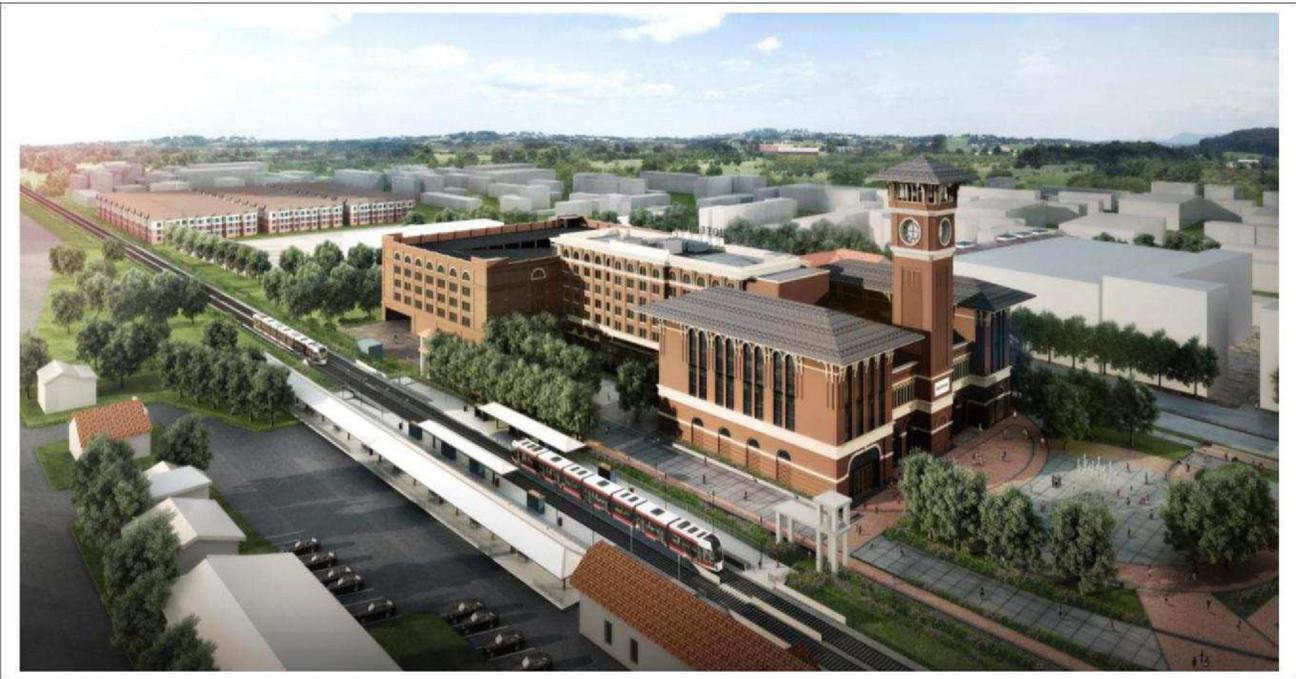
To comply with these Standards, a development proposal must demonstrate that it satisfies the requirements of those Standards specifically applicable to the Intensity District and Parcel Type within which the proposal is located; as well as, all generally applicable standards.

B. Flexible Standards

While compliance with these standards is important to the integrity of the Transit District, it is understood that their highly prescriptive format and the unique nature of development within a Transit District may mean that certain projects may need to vary from some of the provisions of this document. Alternate methods of compliance may be considered through the Conditional Use process by the Planning and Zoning Commission and City Council in unique or unusual circumstances.

STANDARDS FOLLOW

DEVELOPMENT AND DESIGN STANDARDS
SPECIFIC STANDARDS
GENERAL STANDARDS
SIGN STANDARDS



SPECIFIC STANDARDS



TABLE 1. APPLICATION OF SPECIFIC STANDARDS

The following Matrix indicates which of the **Specific Standards** applies within a particular Intensity Sub-District of the Grapevine Transit District:

Guideline/Standard	High Intensity	Medium Intensity	Low Intensity
1. Rail/ Street Definition			
a. Addressment of Rail Frontage	X	X	
b. Main Street/Dallas Rd. Frontage	X	X	
c. Other Street Frontage	X	X	
d. Lot Occupancy, Urban Areas	X	X	
e. Lot Occupancy Single Family Detached			X
f. Lot Occupancy Single Family Attached		X	X
g. Extension of Established Streetscape Themes	X	X	
2. Circulation and Connectivity			
a. A General Circulation Plan	X	X	
b. Sidewalks and Walkways	X	X	X
c. Creation of a Semi-Public Domain	X	X	
d. Open Space	X	X	
e. Porches and Stoops	X	X	X
f. Thematic Articulation of Sidewalk Space	X	X	X
g. Street Furniture and Appointments	X	X	
h. Alleyway Connection	X	X	X
i. Vehicular Access	X	X	

Specific Standards:

1. Rail/ Street Definition Standards

a. Addressment of Rail frontage

It is the intent of these standards to create an active urban context along the rail frontage east of Main Street to west of Dooley Street, and west of Main Street to the intersection of Ira E. Woods and Dallas Rd . Therefore, all development, in this area having frontage on the Rail Right of Way must anticipate and provide for an extension of the Grapevine Main Transit Plaza at the Station and Hotel (hereinafter called Transit Plaza). This Transit Plaza will in effect continue east and west from Grapevine Main Station along the south side of the Rail ROW, thereby creating an extension of the Transit Plaza in such a way that the Transit Plaza and Station connect directly with the trail. Thereby the Transit Plaza becomes the primary and central public space feature engaging development in the core of the Transit District and along the rail line.

Extension of the Transit Plaza shall be accomplished in the following ways:

- i. **Set back:** All parcels having frontage on the rail line must maintain a minimum 26-foot set back from the rail track right of way as shown on the Urban Design Plan, Appendix "C", Section #4.

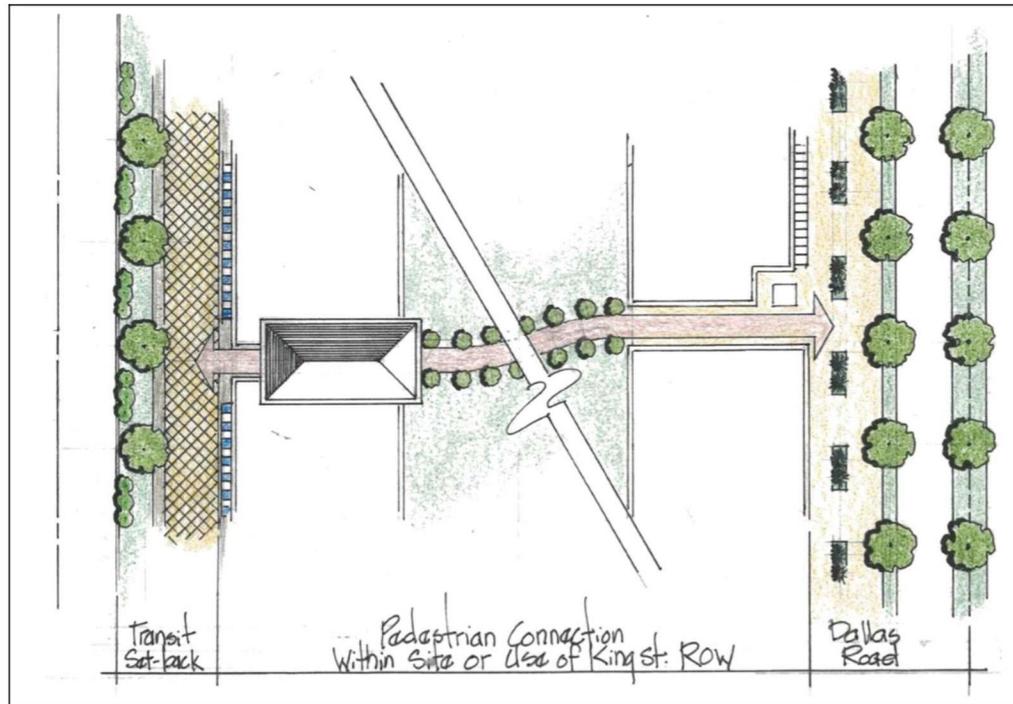


- ii. **Continuity of Ground Plane:** The ground plane within this setback must be at the elevation of the track but a slope grade transition is permitted provided that the following are accomplished in the design thereof:
 1. The slope is held to approximately two percent between the rail safety fence or an adjacent setback plaza development and lowest point in the 26 ft. setback on any site when there are no intervening retainage structures.
 2. The connection from track or any adjacent setback plaza development to the lowest grade within the required 26 ft. setback on any site complies with all requirements of the American Disabilities Act (ADA).
 3. When retaining walls are employed to make decorative grade change, the material of any visible retaining wall must be brick matching the brick employed for plaza improvements at Grapevine Main. No retainage structure shall prevent the creation of a fire lane as shown on the Urban Design Plan, Street Section #4.

In addition, any plaza development of the required 26 ft. setback must be paved in a material that, at a minimum, matches the pattern and design of the materials used at the Transit Plaza and Station and creates a coherent overall plaza identity. Pavement may be partially eliminated for landscaping relief and features.

- iii. **Architectural recognition:** All development of parcels with rail frontage must build to the required rail setback with an architectural building frontage. Addressment of the rail frontage with rear yards, parking lots, storage areas or other utilitarian use of the site is prohibited. If a proposed site plan places landscape or activity amenities at this frontage they may be permitted with City approval and such approval may allow the creation of site amenities to replace the minimum setback.
- iv. **Activity Association:** Development of the rail frontage, in accordance with the above standards, must also locate some portion of the pedestrian active aspects of the proposed overall development at the rail frontage, transit plaza extension. If continuity of the plaza is not such that a connection with the rail station exists at the time of development, then the proposed project must retain the capability to locate such activities at the rail frontage when the needed continuity is achieved.

- v. **Street/ Rail Connections:** Those parcels with dual frontage on both the rail and a parallel or intersecting street must provide a means of pedestrian connection between the rail frontage and street frontage within the project design. Such connection must be legible, public and identified with a portal treatment. This requirement could be accomplished with the private development of King Street by one or more properties, if abandonment of King Street is approved by the City of Grapevine for the purpose of its incorporation into private development as an enhancement pedestrian connectivity.



- b. **Main Street and Dallas Road Frontage:** All development fronting Main Street and/or Dallas Road (as identified in the Urban Design Plan, Street Sections 1 and 2) must provide for an extension of a Thematic Streetscape and accommodation of anticipated pedestrian activity (hereinafter called Thematic Street Space). This Thematic Street Space will continue east and west along the north and south sides of Dallas Road as well as north and south along the east and west sides of Main Street; thereby creating an extension of the Transit Hub in such a way that the Transit Station is the center of a pedestrian space network engaging development along the streets radiating from it.

Thematic Street Space shall be achieved in the following ways:

- i. **Build-to line for frontage along Transit District Streets:** Structures fronting a street within the Grapevine Transit District, must build to a "Build-to" line as specified in table 2 below (also, as

indicated on the Urban Design Plan, Appendix “C” Street Sections #1 through #10). The build-to line sets a distance between the location of a structure and the street (hereinafter the “Street Zone”). The Street Zone is divided into four parts as follows:

1. A Permitted Encroachment Zone: Certain Building Features, namely supported canopies, marquee signs, horizontal mast signs, building arcades (provided that the space within the covered area of the arcade is no less than eight feet wide), marquee signs, building architectural features, sidewalk seating areas, portion of required on-site utility easements, and certain building offsets/ projections required by this ordinance. Such Building Features may encroach into the street zone up to a maximum encroachment of five ft. (hereinafter the “Encroachment Zone”). Other shade producing elements such as arbors, canopies, awnings, etc. may, and are encouraged to encroach beyond all setback lines and may extend all of the way to the front property line. Canopies and awnings may extend into the public right-of-way, provided a minimum 12’-0” clear height is maintained, the structure is at least 5’ from the back of curb, and such structure is approved by the Public Works and Development Services Departments, public utility companies, and the Planning and Zoning Commission/City Council through the issuance of a Conditional Use Permit.
2. An Unobstructed Pathway: A clear walkway, free of any obstruction or encroachment except public signage and public lighting and the hardware associated therewith; must be maintained along the street.
3. Landscape Zone: A portion of the Street-space is reserved for thematic landscaping and other landscape enhancements of the public way.
4. Street Parking: Along certain streets, a portion of the street space may be used to provide head-in or parallel parking (such head-in parking options are indicated on Street Sections #1 through #10 of the Urban Design Plan in Appendix “C”).

Build-to lines specified herein are subject to compliance with adequate sight distance requirements and adequate utility access (including emergency services), easements, and clearances. Landscape development of the space between the Build-to line and the curb (Landscape Zone) shall conform to Section 4 of the Generally Applicable Guidelines portion of this ordinance.

TABLE 2. THEMATIC STREET SPACE STANDARDS

Street	Build-to-Line*	Permitted Encroach	Unobstructed Path	Landscape Zone*	Street Parking	Street Section
Dallas Road North Side	20 ft. **	5 ft.	10 ft.	5 ft.	No	#1
Dallas Road South Side	15 ft. **	5 ft.	10 ft.	5 ft.	No	#1
Dallas Road East End	NA	NA	6 -7 ft. where space permits	5 ft.	No	#6
Main Street	28.5 ft. *	NA	23.5 ***	5 ft.	Parallel	#2
Bellaire Street	25 ft*	5 ft.	15 ft. ***	5 ft.	Head-in	#9
Pine Street	25 ft. *	5 ft.	15 ft. ***	5 ft.	Head-in	#9
Church Street	25 ft. *	5 ft.	15 ft. ***	5 ft.	Head-in	#9
Ira E. Woods Ave *****	15 ft.	5 ft.	6 ft.	5 ft.	No	#10
Jean Street West Side	25 ft. *	5 ft.	15 ft. ***	5 ft.	No	#8
Jean Street East Side	20 ft. *	5 ft.	10 ft.	5 ft.	No	
Nash Street	25 ft. *	5 ft.	15 ft. ***	5 ft.	Head-in	#3
Dooley Street East Side	15 ft. *****	5 ft.	10 ft.	5 ft.	No	#5
Dooley Street West Side	25 ft. *	5 ft.	15 ft. ***			
Rail Plaza	26 ft. **	5 ft.	26 ft.*****	Rail ROW	No	#4

* Measured from the Back of Curb

** Measured from Street ROW or Rail Row where applicable

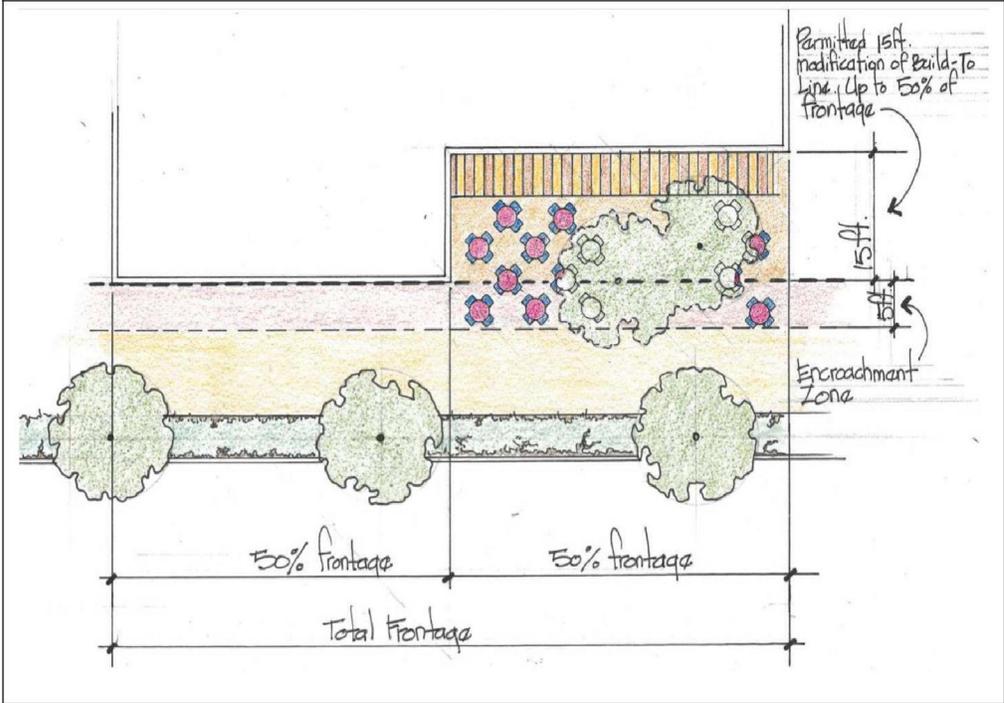
*** May be used for street retail activity provided that a minimum ten foot unobstructed path is maintained.

**** Build-to-Line and Encroachment measurements applicable where grade permits.

***** Measured from edge of Trail

***** Including 5 Ft. from Rail ROW as shown on Section #4

- ii. **Modification of Build-To Line:** Where build-to lines apply, buildings may be set back from the build to line a maximum of 15 feet for up to 50 percent of the building façade to provide pedestrian amenities such as outdoor seating, public plazas, landscaping and public art or art exhibits. Where porches and stoops are built in compliance with Standard 1f, below, such porches may abut the build-to line or extend into the Encroachment Zone (where such encroachment is permitted) and the rest of the structure may set back from the Build-to-Line a distance no greater than six feet. Also, Build-to-Lines may be modified as required to avoid encroachment on an existing utility easement.



- iii. **Street Corners:** Building Facades shall be parallel to the street frontage except street intersections, where a corner façade containing a primary building entrance may be curved or angled toward the intersection
- iv. **Feature Buildings:** Buildings in the High and Medium Intensity Districts located on axis with a terminating street, plaza, or open space; or at any street intersection with Main Street or Dallas Road, are considered "Feature Buildings". Feature Buildings shall be designed with accentuated/ distinctive entrances and articulation that is offset from the wall planes and extends above the eave or parapet line of the main building, hereinafter called "Feature Articulation". Feature Articulations may be used to satisfy the requirement for building articulation and massing (Standard 1ai in the Generally Applicable Standards Section of this document).

A Feature Building height may be increased up to 20 percent more than the maximum permitted height (standard 1aiv in the Generally Applicable Standards Section of this document) with the approval of the City, if such increased height is used to create a landmark distinction. Where additional building height is allowed for creating a landmark distinction, the building plane of the distinctive element should be set forward from the plane of the host structure a minimum of three feet and may encroach beyond the build-to line but may not encroach into the unobstructed street zone specified above. If

adjustment to the “Build-To” line is required to accomplish this standard, the applicant may propose such adjustment where necessary, for consideration by the City of Grapevine.



c. **Other Street Frontage:**

All development fronting streets designated in the urban Design Plan (other than Main Street and Dallas Road) must facilitate transformation of such street into a place more attractive to, and nurturing of, pedestrian activity. These Streets generally connect to Main Street, Dallas Road, and/or the Rail Plaza and thereby offer potential to extend the range of pedestrian activity flowing from Grapevine Main Station, Hotel Vin, Main Street, and Dallas Road. Some of these Streets connect Main Street/ Dallas Road to the Transit Plaza and are of particular importance in supporting pedestrian connectivity and interchange. Secondary Streets identified in the Street Hierarchy Plan shall meet the following:

- i. **Build-to line for Other Designated Streets:** Structures fronting a Designated Street, as indicated on the Urban Design Plan, must build to a “build-to-line (as shown in Table 2 and the Urban Design Plan Street Sections 3,4,5,7,8,9, and 10). The pedestrian space provided is intended to transform these streets into more pedestrian friendly walkways. The additional unobstructed street zone shall provide space for less directed use of the walkway such as outdoor vending.

Building Features, namely supported canopies, marquee signs, horizontal blade signs, building arcades (provided that the space within the covered area of the arcade is no less than eight feet wide), architectural features, sidewalk seating areas, required on-site utility easements, and certain building offsets/ projections required by this ordinance; may encroach into a designated zone up to a maximum encroachment of five feet (hereinafter the “Encroachment Zone”), thereby leaving a space for possible parking (if permitted in the chart above and referenced as an option in the applicable street section), street landscape, and a minimum unobstructed path for pedestrian use . Other shade producing elements such as arbors, canopies, awnings, etc. may, and are encouraged to encroach beyond all setback lines and may extend all of the way to the front property line. Canopies and awnings may extend into the public right-of-way, provided a minimum 12’-0” clear height is maintained, the structure is at least 5’ from the back of curb, and such structure is approved by the Public Works and Development Services Departments, public utility companies, and the Planning and Zoning Commission/City Council through the issuance of a Conditional Use Permit.

When a permitted “Parking Option” encroaches into the pedestrian space, a minimum five ft. “Transition” (indicated in certain street sections) must be created at any common lot line where the parking option is not employed. Therefore, when the parking option is used, the five ft. Encroachment Zone must be preserved for pedestrian walkway and cannot be encroached upon with any building appurtenance (e.g. sign or canopy) lower than 12 ft. above grade or any portion of the building structure.

Build-to lines specified herein are subject to compliance with adequate sight distance requirements and adequate utility access (including emergency services), easements, and clearances. Landscape development of the space between the Build-to line and the curb shall conform to Section 4 of the Generally Applicable Guidelines portion of this ordinance.



ii. **Other Applicable Standards:** The Standards applicable to **Modification of the Building Line (bii)**, and **Street Corners (biii)**, shall also apply to Other Designated Streets.

d. **Lot occupancy in Urban Areas (exclusive of fee simple housing in the Medium and Low Intensity Sub-Districts)**

The present-day physical fabric of Grapevine’s Transit District is a typical “open space dominated” suburban setting. To move toward a more “building dominated”, urban pattern, the following apply (in addition to the standards specified in 1bi, 1bii, and 1biii; above):

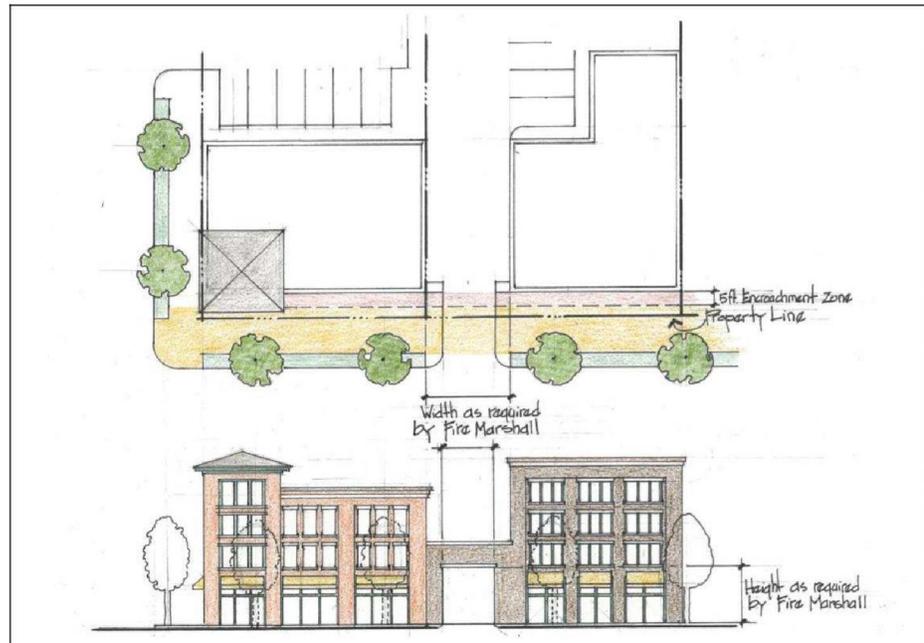
1. **Zero Side Yard:** Development within the High Intensity and Medium Intensity Sub-Districts shall build to both side lot lines whenever access to interior parking and loading can be acquired from a point other than the front property line and when the placement of utilities allows this.

When “side driveways” preclude building to both side lot lines, the structure shall be to one side lot line and the following shall apply to the remaining side yard. Two access drives which separate the

structure from both side lot lines will only be permitted when such is required by the City of Grapevine for Emergency Access purposes

2. Extension of the building plane to both side lot lines:

When needed front yard drive access prevents a structure from building to both side lot lines, the span of the resulting side yard shall be screened with a vehicular portal that is a horizontal extension of the primary building *plane and defines a vehicular portal at the "Build-To Line*. Subject to final approval by the City of Grapevine Fire Marshal.



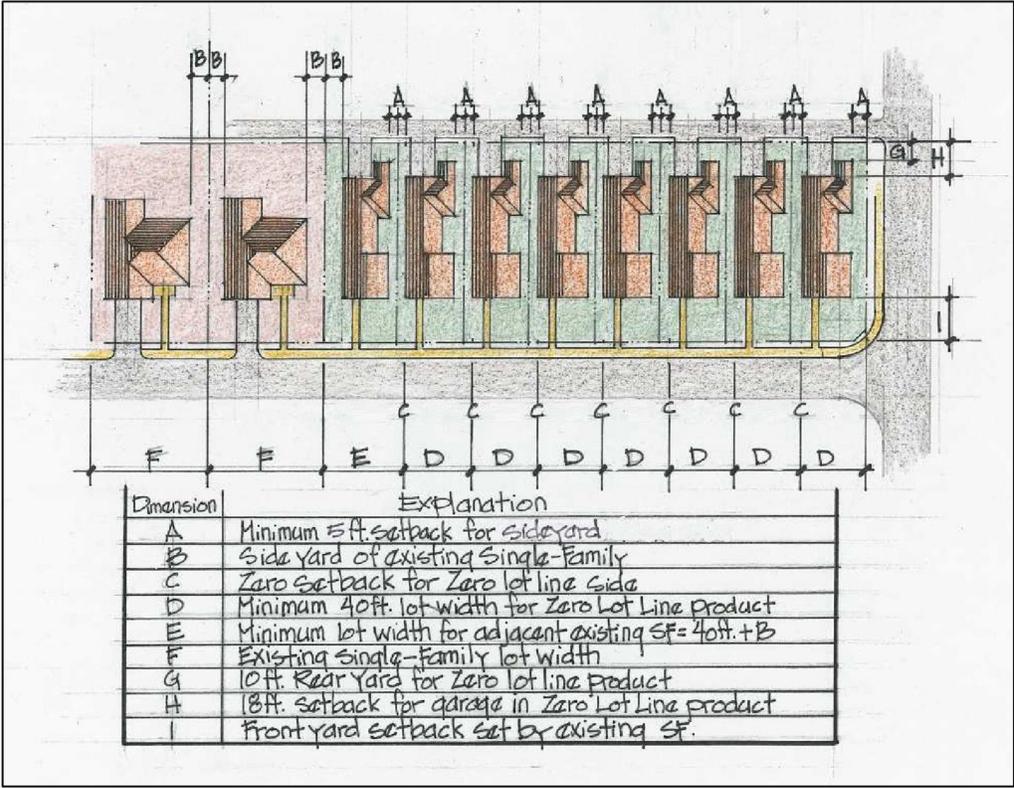
e. Lot Occupancy for single-family detached development in the Low Intensity Sub-District

Single Family detached structures in the Low Intensity Sub-District must maintain a front, side, and rear yard setback that is consistent with the established setback for existing single-family structures in and/or adjacent to the Low Intensity Sub-District.

However, a single-family product with a five foot side yard setback along both side lot lines is permitted provided that at least eight contiguous lots are proposed for such development.

A five ft. side setback cannot be established along any lot line that is a shared lot line with a single-family structure which maintains a side-yard setback in excess of five ft., in which case a side yard equivalent to the existing lot must be observed. Also, where at least eight contiguous lots are proposed for redevelopment, the rear yard may be reduced to ten ft.

provided that a drive apron of at least 18 ft. is maintained at the garage. The minimum lot width for any 5 foot lot-line single family product is 40 ft.



f. **Lot occupancy for single family attached structures**

Where attached units are proposed, the encroachment zone provision (identified in applicable street sections) is no longer applicable and a front yard shall be provided which separates the unit from the unobstructed walkway with transition space no greater than eight-feet and no less than five feet. This space may be encroached upon by required porches or stoops. (see standard 2e, below). When at least eight contiguous lots are proposed, units may be attached, provided that any adjacent single-family front yard setback is maintained. Also, where at least eight contiguous lots are proposed for development, the rear yard may be reduced to ten ft. provided that a drive apron of at least 18 ft. is maintained at any rear entry garage. The minimum lot width for an attached single-family product is 30 ft. providing that the lots abutting any single-family detached use with two side yards maintains a side yard setback at the common lot line equal to the side yard of the adjacent single family detached property.

Front entry single-family garages are prohibited on Dallas Road.



g. Extension of the established streetscape themes

For development along streets where a general streetscape has been established, subsequent development must maintain a visual continuity with that streetscape. This means that where a canopy type is established and the current development under consideration proposes a canopy, that canopy must bear relationships (such as width, height, and general style) to the established canopy pattern. The same is true for pedestrian furniture and hardware, which must be selected from the City of Grapevine approved list of vendors and products.

2. Circulation and Connectivity

- a. **A general circulation plan:** The City of Grapevine seeks to enhance value and connectivity within the Grapevine Transit District by promoting multiple pedestrian connections to the Transit Station from/across/ through larger properties in the High and Medium Intensity Sub-District. Therefore, any proposed project located in the High Intensity or Medium Intensity Sub-Districts shall provide a General Circulation Plan with the proposed development submittal. This General Circulation Plan shall identify:
 - i. Pedestrian and bicycle connections to pedestrian and bicycle ways outside the project and the Transit Station.
 - ii. Connection to land uses and pedestrian facilities within the project when the project and the site is developed with such uses and/or facilities.

- iii. Street connections and driveways for vehicle access and their intersection with pedestrian systems
- iv. On-site parking facilities
- v. Loading facilities and loading areas.
- vi. Relation of land uses to street frontage and street level pedestrian amenities.
- vii. Multiple Pedestrian Connection: Where alternate pedestrian connections (connections other than street or rail frontage) can occur, these shall be indicated on the required Circulation Plan

b. **Sidewalks and walkways:** Sidewalks and walkways shall comply with the following:

- i. All sidewalks along streets designated on the Urban Design Plan shall maintain the unobstructed pathway as indicated in Table 2 (Standard 1bi) and a total paved walkway as specified on the applicable Urban Design Plan Street Section.
- ii. Sidewalks along streets within the Transit District and not designated on the Urban Design shall comply with applicable City of Grapevine Sidewalk Standards.
- iii. All walkways connecting to the street from any interior pedestrian amenity (provided to meet the Pedestrian Amenity Standard 2Ci) shall have a minimum width of eight feet.
- iv. All walkways shall be continued across vehicular access drives by continuation of the sidewalk demarcation and pavement texture/material/pattern across the drive width to link the sidewalk on both sides as if not interrupted.

c. **Creation of a semi-public domain**

The vision of the High Intensity Sub-District is to achieve both intensity in development and intensity in pedestrian activity, focusing on pedestrian use of the street/sidewalk space.

To accomplish this, development must provide at least one of the following:

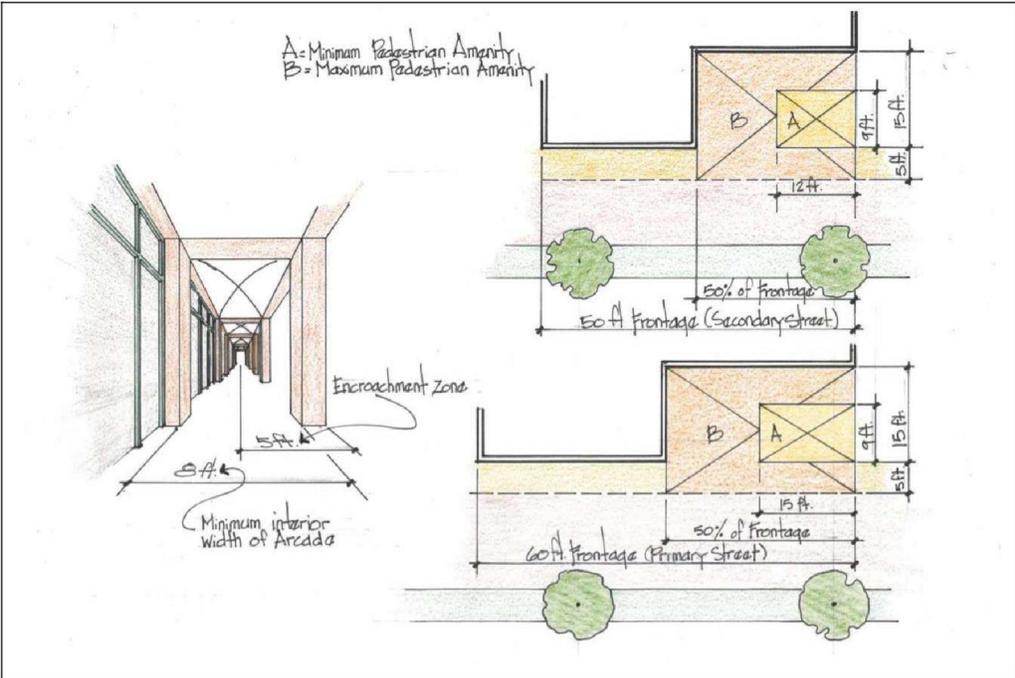
- i. **Pedestrian Amenity:** Pedestrian amenities, including pedestrian open spaces, and/or plazas, and/or pedestrian landscaping shall be

provided to enhance the pedestrian environment by creating an aesthetic visual experience and providing spatial opportunities for pedestrians to walk and gather. Space provided for public art qualifies as a pedestrian amenity. Pedestrian amenities shall be designed to provide adequate space for pedestrians, pedestrian furniture, and landscaping to enhance the pedestrian experience and maintain the minimum unobstructed walkway as specified in Table 2 (Standard 1bi).

Space provided for at street sales, public art, or dining qualifies as meeting this standard provided that the specified clear path is maintained. A pedestrian amenity shall have a minimum area of 200 sq. ft. and may be located under a canopy or arcade or created within a permitted building offset (as permitted in this ordinance). Pedestrian amenities may be located within the site if they are connected to the street and publicly accessible from the street. Provision of a Pedestrian Amenity must not alter the Build-To Line more than permitted by Standard 1bii, above.

- ii. **Public Arcade:** A semi-public space can be created within the architectural envelope of the structure as an Arcade. Such spaces typically parallel the unobstructed walkway and are a lateral expansion of the walkway into the first - floor plate of the structure. Arcades may occupy the encroachment Zone where permitted by Table 2 (see Standard 1bi1 and 1ci, above). Such spaces are often used for outdoor sales or pedestrian furniture. If an Arcade encroaches into the permitted encroachment zone, it must be eight feet wide within the arcade.

- iii. **Pedestrian Streetscape:** A widened walkway permitting the placement of pedestrian furniture along the unobstructed path that does not encroach on the Unobstructed Path and allows people to break from **Directed** movement patterns and enjoy the presence of urban activity while engaging in alternate activity.



d. **Open Space**

Site Open Space shall be provided for Development. Such open space may include rooftop gardens and upper story terraces created by required upper story setback. Open space may be a landscaped area (which can include landscaped areas intended to enhance or screen parking) or activity area or include any Pedestrian Amenity provided in compliance with the Pedestrian Amenity Standard. Open Space (achieved as a single space or a combination of required spaces and landscaped areas) shall encompass a total square footage equal to a minimum of ten percent of the development site area.

e. **Porches and Stoops**

The street front characteristic of urban settings where attached dwelling units are prevalent is distinguished by the interface between the domestic domain and public domain achieved with the transitional function of porches and stoops. Therefore, where single-family attached housing is provided that complies with standard 1e and 1f, these transitional devices are required as follows:

- i. **Porches:** Porches must be at least five ft. deep and architecturally enclosed.
- ii. **Stoop:** a stoop must be at least six feet deep and covered with a roof extending from the primary structure.

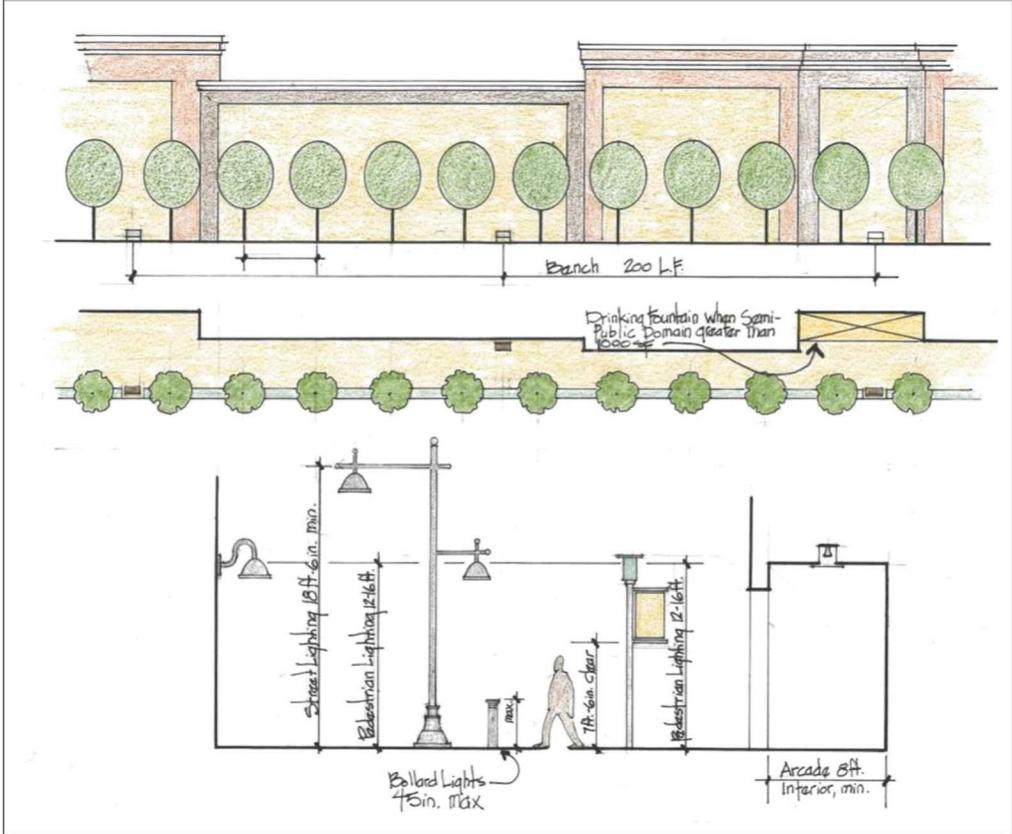
- iii. Necessary modification of applicable Build-to-lines must conform to Standard 1bii, or Ici above (Modification of the Build-to-Line).



f. **Thematic Articulation of the Sidewalk Space**

The sidewalk along any street shall maintain a consistent theme that complies with the Urban Design Plan in the following ways:

- i. Continuity of pavement material
- ii. Continuity of pavement pattern
- iii. Continuity of, and placement of, street furniture
- iv. Continuity of street tree spacing, street tree size, and street tree species.



g. Street furniture and appointments

Every building site required to meet standard 2c (above) must serve the pedestrian activity encouraged by the provision of a “Semi-public Domain” with appropriate street furniture and fixtures. Where a “Semi-Public Domain” is provided, the following pedestrian furniture and fixtures must also be provided:

- i. **Benches:** Any type of Semi-Public Domain space provided must provide at least one bench for every 200 sq. ft. of such space.
- ii. **Trash Receptacles:** Any type of Semi-Public Domain space provided must provide at least one trash receptacle and an additional trash receptacle for every three benches.
- iii. **Drinking Fountain:** Any type of Semi-Public Domain space provided must provide at least one public drinking fountain if that Semi-Public Domain is greater than 1,000 sf. Any drinking fountain provided must include a pet watering feature and meet ADA requirements.
- iv. **Pedestrian lighting:** Any Public Amenity provided to meet the Semi-Public Domain standard must provide pedestrian lighting. Pedestrian lighting does not have to provide a uniform light level across the Pedestrian Amenity but can provide islands of light around pedestrian furniture. Pedestrian lighting may be either:

- Landscape Down Lighting which illuminates the pedestrian seating area, or
- Pedestrian scale light standards and fixtures which compliment the streetscape hardware motif. This does not apply to Semi-Public Domain created within an arcade of lateral expansion of the unobstructed walkway.
- Building sconces or soffit down lights within an arcade. This is typically applicable to arcades and lateral expansions of the unobstructed walkway.

All pedestrian amenities shall be selected from the City of Grapevine approved list of vendors and products.

h. **Alleyway Connection**

Development adjacent to an alley shall be designed to incorporate alley access (thereby relieving the burden on street access).

i. **Vehicular access**

Where vehicular access to a proposed development is acquired from a street, adjacent developments shall use shared drive entrances where ever possible.

GENERAL STANDARDS



GENERALLY APPLICABLE STANDARDS

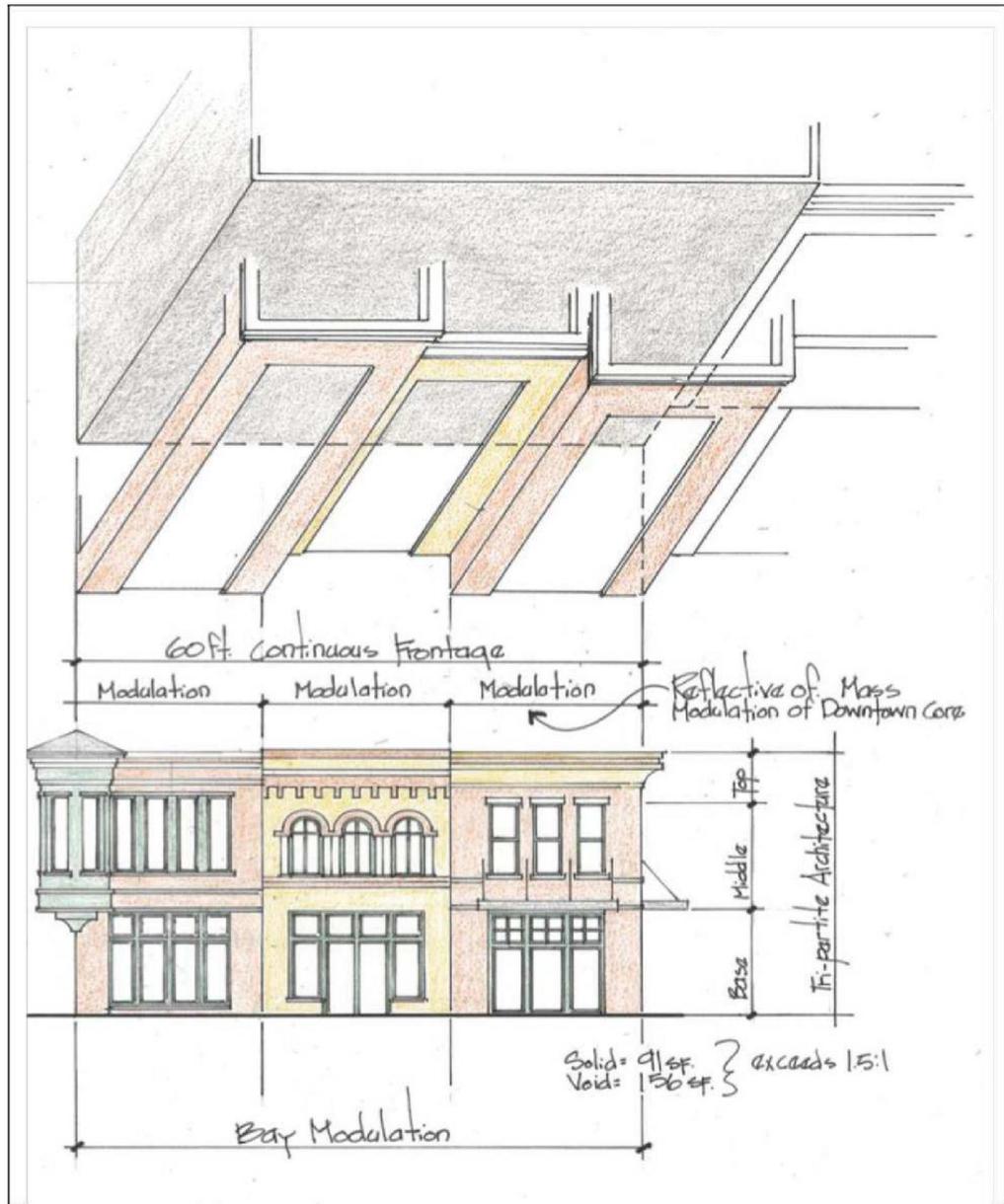
INTRODUCTION AND APPLICABILITY:

The following Standards are generally applicable to all parcels and within any Intensity Sub-District. However, certain standards may only apply to certain building types within an individual Intensity Sub-District and are so noted within the body of the Standard.

Generally Applicable Standards:

1. Street Facing Building Standards:

- a. **Building Articulation and Massing:** The Grapevine Transit District is in the process of transitioning from an historically suburban to a more urban/transit oriented fabric. Therefore, each proposed development or redevelopment must contribute to this transformation and movement toward a transit oriented context in the following ways:
 - i. **Relationship to the transit oriented pattern and adjacent contexts:** To help define a development's relationship with the vision of the Transit District, buildings other than a fee simple housing form shall be articulated and subdivided into a massing that is reflective of the mass modulations (hereinafter Bay Modulation) of the Historic Grapevine Downtown Core. Therefore, if a building exceeds 60 feet in width, its façade articulation shall be visually divided to appear as though it is multiple buildings. See standard 2gii for horizontal offset requirements that must be met within this Bay Modulation when applicable.



ii. **Tri-partite architecture:** All buildings other than fee simple housing forms fronting a street shall architecturally differentiate the street level space from second story spaces through the following:

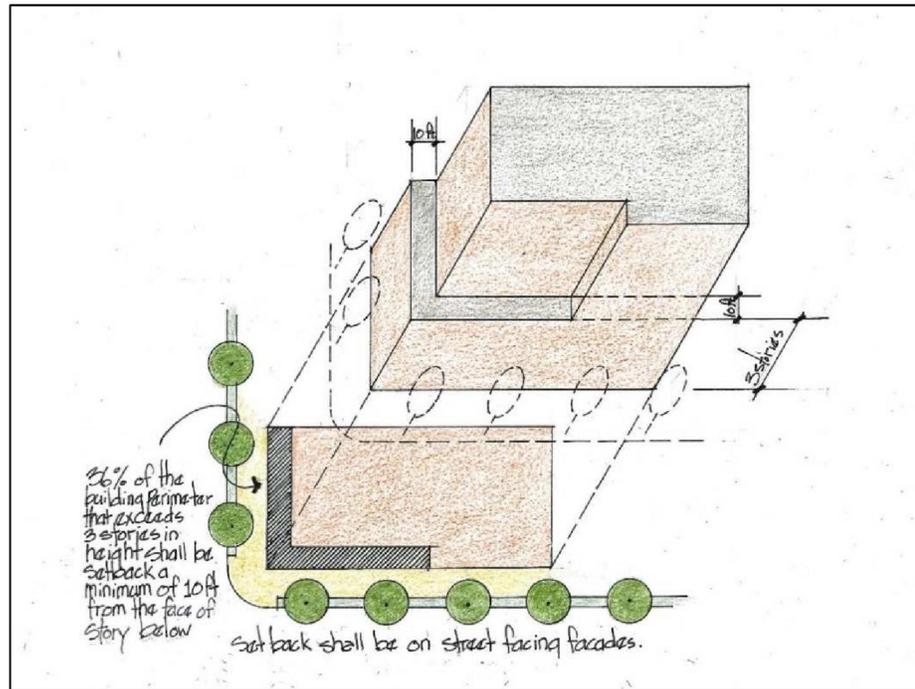
- Void to solid ratio where the percent of void is greater than the percent of solid in the first-floor wall plane. The void to solid ratio shall not be less than 1.5:1, and
- A minimum first floor plate height of 15 feet, and
- Canopies or arcade, or
- Architectural expression of a podium, or

- Material differentiation which complies with the Material change standard of this document.

Buildings that are two stories or greater shall be designed so that the building elevation presents a clear base, middle and top (cap) in a holistic architectural composition. While these attributes are clearly visible in the historic architecture of Grapevine’s downtown core, they may also be interpreted in more contemporary design, subject to the approval of the City.



- iii. **Upper Story Setback:** To create a pedestrian scale, and establish an architectural complexity that is responsive to the design of Grapevine Main Station, at least 50 percent of the street-facing elevation of all upper stories of a building that exceeds three stories in height shall be set back a minimum of ten feet from the street facing lower stories. It is recommended that the terrace space created by this setback be used for patios, rooftop gardens, or other such people spaces.



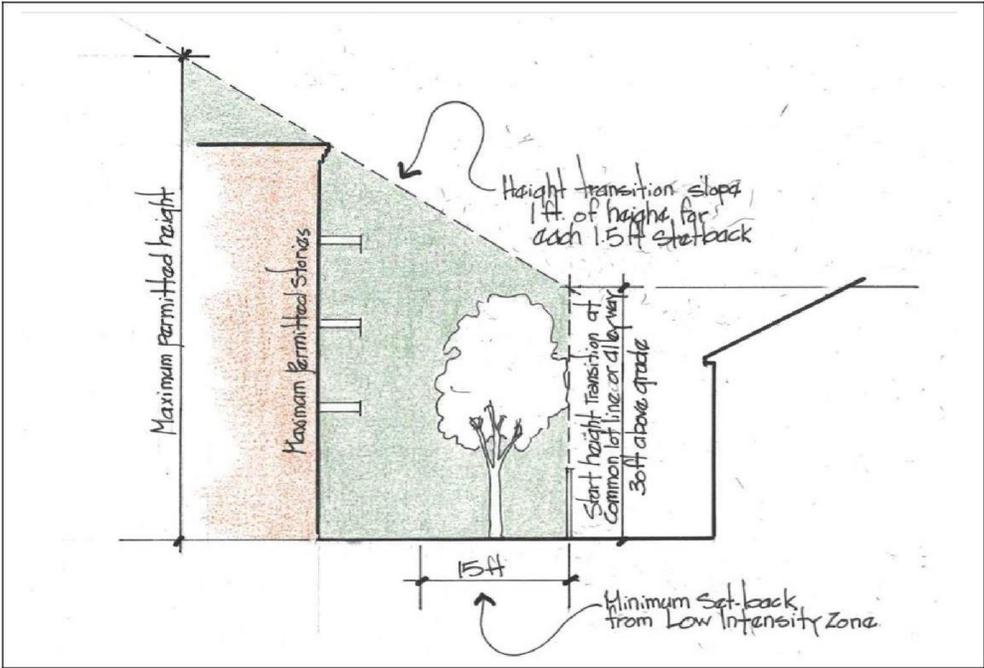
- iv. **Maximum Building Height:** Much of the expression of intensity that defines the Intensity Sub-Districts (High Intensity, Medium Intensity, and Low Intensity) is determined by the scale of development as expressed in Building Height. Therefore, the following building height maximums are established for the various Intensity Sub-Districts:

MAXIMUM BUILDING HEIGHT TABLE				
	HIGH INTENSITY SUB-DISTRICT	MEDIUM INTENSITY SUB-DISTRICT	LOW INTENSITY SUB-DISTRICT	NOTES
MAXIMUM BUILDING HEIGHT	75	55	40	1,2,3,4
MAXIMUM NUMBER OF STORIES	6	4	3	
Notes: 1. Feature buildings located within the High Intensity Sub-District may exceed the permitted height specified above in accordance with standard 1biv (Feature Buildings) in District Specific Standards. 2. May be modified by "v" below. 3. Exclusive of roof top mechanical penthouses in the High Intensity and Medium Intensity Sub-District. 4. Building height for buildings with sloped roofs shall be measured to the mid-point of the sloped roof				

- v. **Height Transition:** Development of any parcel abutting a Low Intensity Sub-District at a property line or alleyway is required to

comply with the following Height Transition. In cases where Height Transition applies, the permitted height of development must fit with a height-to-setback envelope created by a sloping line extending from the common property line of the Low Intensity Sub-District property or alley way right of way line abutting the Low Intensity Sub-District, and starting at a height of 30 ft above grade. This line shall slope at an angle equal to one ft. of height for every one and one-half ft. of set-back up to the maximum permitted building height in the Medium Intensity Sub-District and shall apply up to a maximum of 55 ft. from the property line affected by this standard, in the High Intensity Sub-District.

Any development required to meet this standard must be set back from the Low Intensity Sub-District property line a distance no less than of 15 ft.



b. Vehicle and bicycle Parking

- i. **Required Parking:** All parking shall comply with the appropriate Section of the Grapevine Comprehensive Zoning Ordinance. This section may be updated for due cause following a parking study(s) conducted by the City of Grapevine.
- ii. **Parking Study:** City Council and the Planning and Zoning Commission may consider modifications to the parking requirements of the Zoning Ordinance for unusual circumstances when supported

by a parking study. Unless strict compliance with the Parking Standards of the Zoning Ordinance is proposed, such study must substantiate the combination of parking provisions being applied against parking requirements, and shall identify, at a minimum:

- Parking demand
- Off-site Parking
- On-site Parking
- Hours of peak use as compared to hours of peak use within ¼ mile
- Ingress and egress to on-site parking and relationship to adjacent properties.

iii. **On-site Surface Parking:** Surface Parking areas shall be located so that they are not directly fronting the rail frontage (within the High Intensity District) or a street. There shall be an intervening building and/or building in combination with pedestrian activity space between the proposed parking area and any frontage defined above. Any portions of a surface parking facility visible to a street or rail row must be screened with a built six-foot masonry screen extending from a structure so as to appear as part of that structure or a built screen in combination with a landscape screen. Any surface parking area fronting a public pedestrian way must be screened. A landscaped open space screen with 75 percent screening efficiency may be used to satisfy this requirement if meeting other requirements of this ordinance prevent the use of a building and/or pedestrian amenity as described above.

iv. **Bicycle Parking:** Bicycle parking shall be provided equal to ten percent of the vehicular spaces required.

v. **On-site Structured Parking:** Any portion of an on-site parking structure which fronts any street or rail right-of-way must have an architectural elevation which meets all the requirements of these standards and is substantially consistent with the building elevations fronting the same street or rail right-of-way. 50 percent of the ground floor fronting a street or rail right-of-way within the High Intensity Sub-District must contain commercial lease space, or (with the approval of the City of Grapevine) be so constructed that this portion of the ground floor could be converted to commercial use when demand for such space is available to the project. Structured parking (including

podium parking) is required for any residential project with a density greater than 30 units per acre or any development where:

- the on-site accommodation exceeds 30 vehicles.
- the on-site demand cannot be met, through surface parking, in a way that allows compliance with the other conditions of this ordinance.

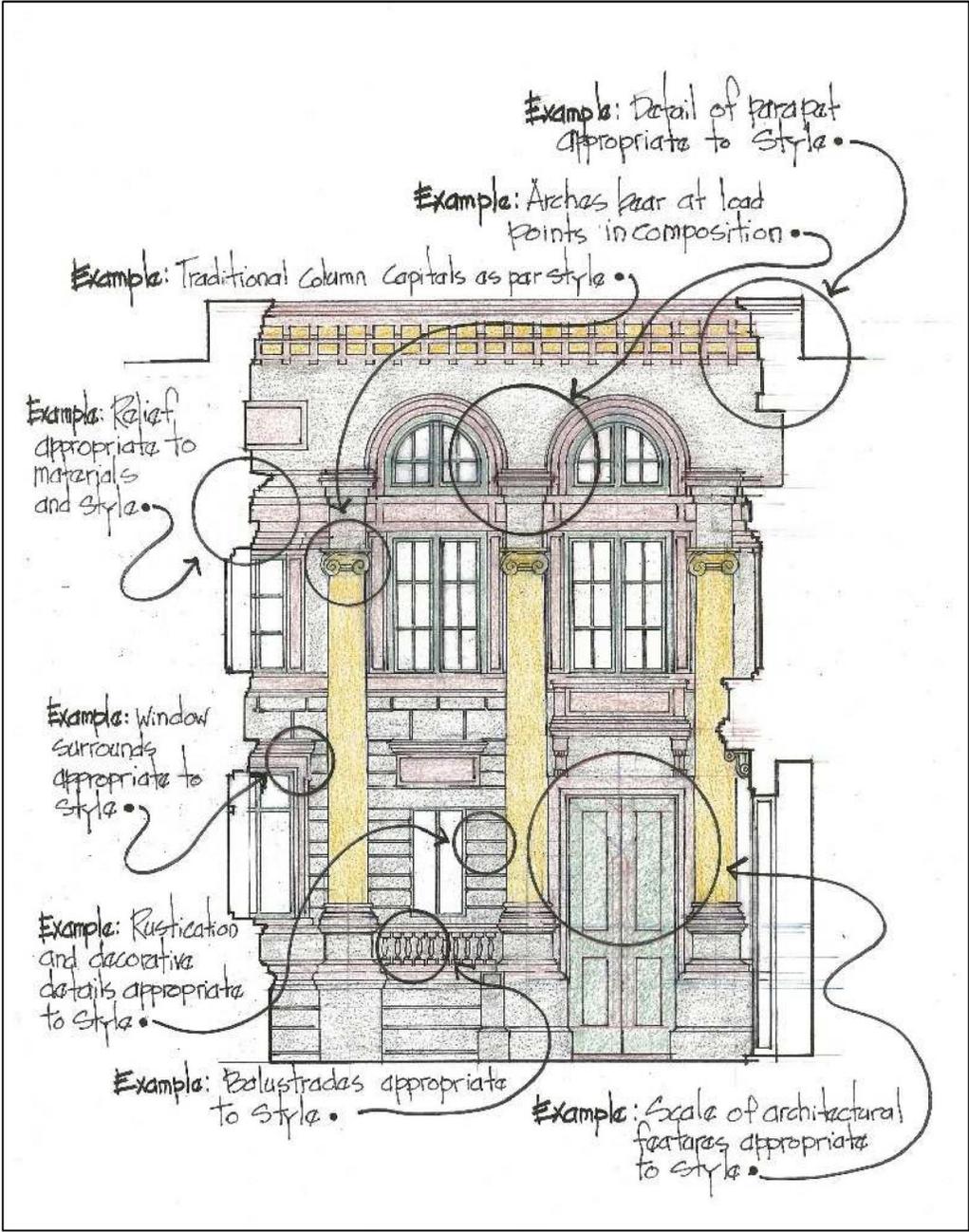
c. Loading and Drive Through Facilities

- i. **Loading:** Dedicated on-site loading areas shall not be visible to any street or rail right-of-way frontage. Such facilities shall be incorporated into the vehicle access and parking design. Where alley access is available, all loading facilities shall be accessed from the alleyway. Loading service from the street is permitted for loading vehicles no larger than 26,000 lbs. If facilities for loading by larger vehicles (larger than 26,000 lbs.) or any vehicle requiring a loading dock is proposed, all such loading shall be completely off street and not visible to the street or rail right-of-way.
- ii. **Drive-up and Drive-through Facilities:** Drive-up/Drive-through facilities and windows are only allowed in conjunction with financial uses having an existing drive-through service which is being re-developed, and are subject to the following:
 - The number of drive-through lanes shall not be increased
 - No menu/order boards are allowed unless they comply with the sign standards of this ordinance and do not encroach into the space between the building and the street or the building and the rail line.
 - The drive-up lane shall be adequately screened through the use of materials matching the materials of the primary building. The drive-up aisle shall not be entered or exited to Dallas Road or Main Street.
 - The Drive-up lane shall not conflict with pedestrian or vehicle access or parking.

2. Building Design

- a. **Integrity of Architectural Form Articulation:** Most style associated features of a building are associated with the roof, the edges, the openings, and closures to weather (such as the cornice or parapet). Therefore, the employment of architectural detailing associated with a style must use the

characteristic detailing of that style in ways authentic to the style, especially as it relates to cornice, parapet, corner, opening, entry, belt-courses, mid story bands, and first floor expression as applicable.



- b. **Integrity of Material Usage:** Most styles, whether the style is traditional or contemporary, employ materials by which crafted construction (a key aspect of the building quality sought by the City of Grapevine) can be executed. Therefore, construction details which are traditionally derived from the work of the stone mason, the carpenter, the glass artisan, the metal worker, etc. must use a material that the characteristic craftsman can work in. The

employment of systems or materials that replicate the work of a trade or artisan are prohibited.

c. **Storefronts:** The first floor of a street or rail right-of-way frontage of any structure must create a first-floor articulation that visually reads as a “store front”. This standard does not apply to any form of fee simple residential construction. To attain this visual distinction the first floor must architecturally express the following qualities:

- Set within a minimum first floor plate height of 15 feet.
- Have void to solid ratio no less than 1.5:1 in which the unsupported area of glazing is no larger than 28 sf.
- Vertical and horizontal subdivision of storefront glazing shall be at least two inches wide at the frame and one inch wide at the mullion.



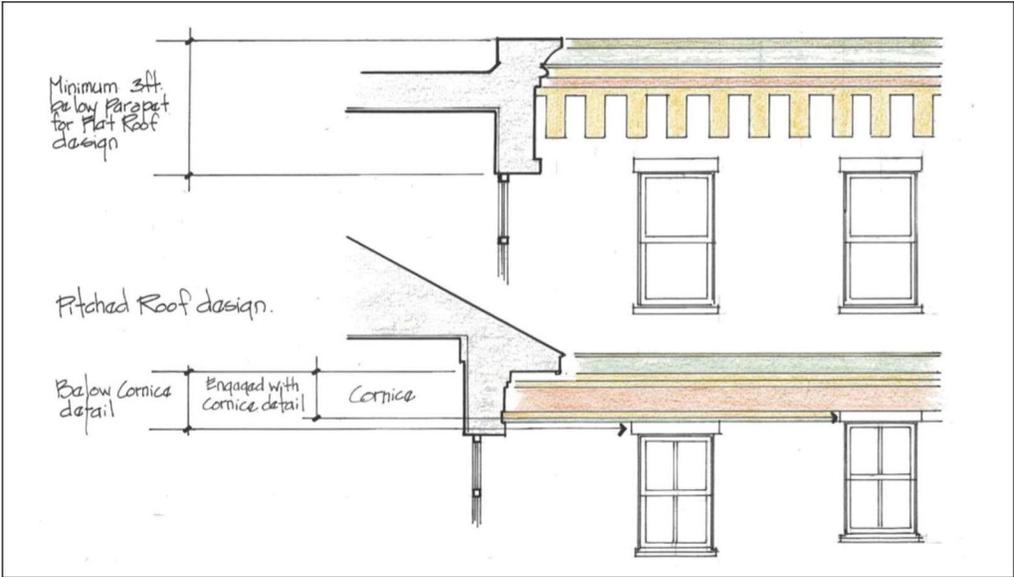
d. **Continuity of openings and features within the building form:** The elements of form that comprise a building elevation must derive from a common justification (e.g. function, proportion, alignment, balance) that visually explains their placement within the façade composition.

Continuity within the building form includes:

i. **Openings:** The articulation of openings is a key aspect of building design. Openings are a primary focus of architectural detail and treatment of openings reveals consideration to detail and investment

in the craftsmanship of construction. Therefore, the following standards apply to the positioning of, and articulation of, openings in the architectural façade:

- **Relationship to cornice or Parapet:** All windows shall be below the cornice/parapet detail except for dormer windows when a pitched roof design is employed and at least three feet below the parapet when a flat roof design is employed. When the design employs both roof types in the same elevation, the window heads of the windows regulated by this standard must align horizontally. Windows may abut a cornice detail or be engaged with it if the window header modulates with the banding or detailing of the cornice.

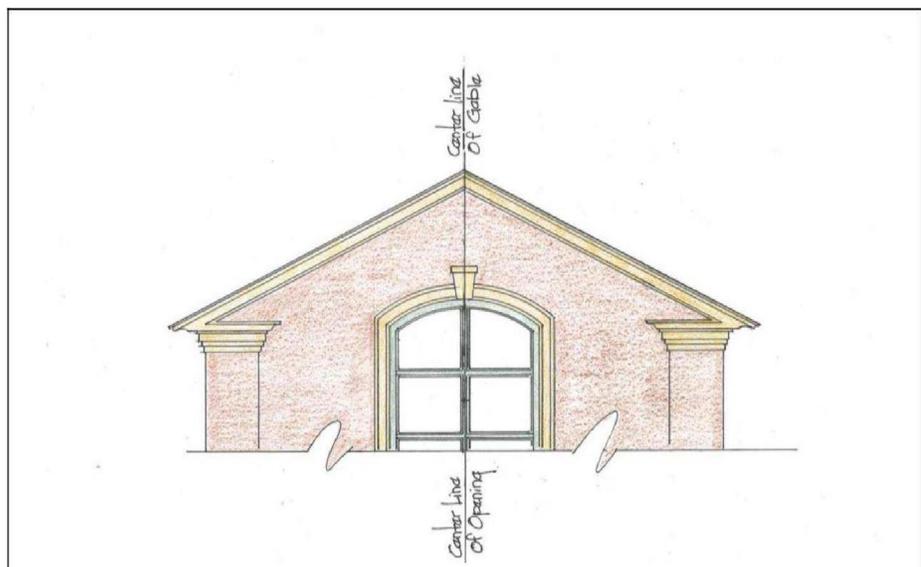


- **Purposeful Design:** To maintain a sense of purposeful design and compositional continuity, it is required that the openings within an elevation have a common reference line that engages the sill or head. In addition, windows within an elevation must have a common vertical reference line from the first to the top floor. Therefore, the random placement of windows is prohibited. However, a difference reference line for first floor storefront and upper story windows is permitted where storefront is employed. Where internal functions require that the positioning of an opening deviates from the regulating lines, described above, those windows must be decorative or otherwise have a shape that does not require a reference line (e.g. round, ocular, or square windows). Alternate window arrangements may be permitted if such arrangement is the

result of purposeful exterior design and is approved by the City of Grapevine.

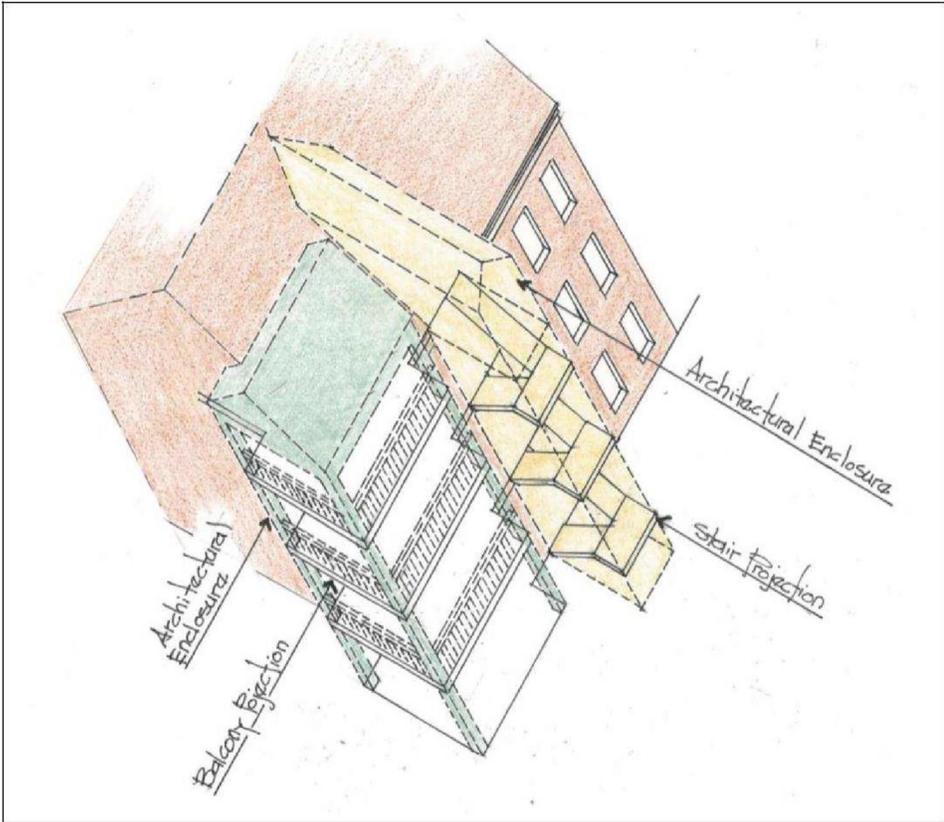


- Openings in the elevation:** Such openings must be coordinated with the articulations of mass in the architecture. Therefore, windows must align with the features that define the architectural form. For example, windows in a gable shall not be arbitrarily distributed within the face of the gable so that they are not responsive to the symmetry of the gable. However, deviations are permitted when such deviations are a purposeful act of exterior design and approved by the City of Grapevine.



- **Orientation of openings:** All openings shall be square or portrait orientation. This does not limit the joining of portrait units in a single assembly to create an area of glazing or a balcony/patio entrance provided that the structure that joins units is clearly expressed in the elevation. This provision does not include first floor storefronts where such storefronts are required or used.
 - **Articulation of openings:** Windows, doors, and other openings or portals shall be articulated with a projected surround or header unless the absence thereof is deemed by the City of Grapevine to be characteristic of the style being proposed and such style is acceptable in the applicable context.
- e. **Holistic visual treatment of structure:** The City of Grapevine seeks to eliminate the architectural outcome common to most suburban development, wherein the street facing façade is the recipient of full investment in style articulation and other facades are given a lesser treatment. The City of Grapevine prohibits “facadism” and requires consistent treatment of style on all elevations of a structure. Herein called **Four-Sided Architecture**.
- f. **Architectural Enclosure:** All projected stair ways, elevator shafts, cantilevered building projections, and bays must be contained within an architectural enclosure that meets the following conditions:
- i. Enclosed within an architectural skin, and
 - ii. is either expressed within the roof massing or fully contained within a mass defined by a larger form.

Projected stair ways without architectural enclosure are prohibited.

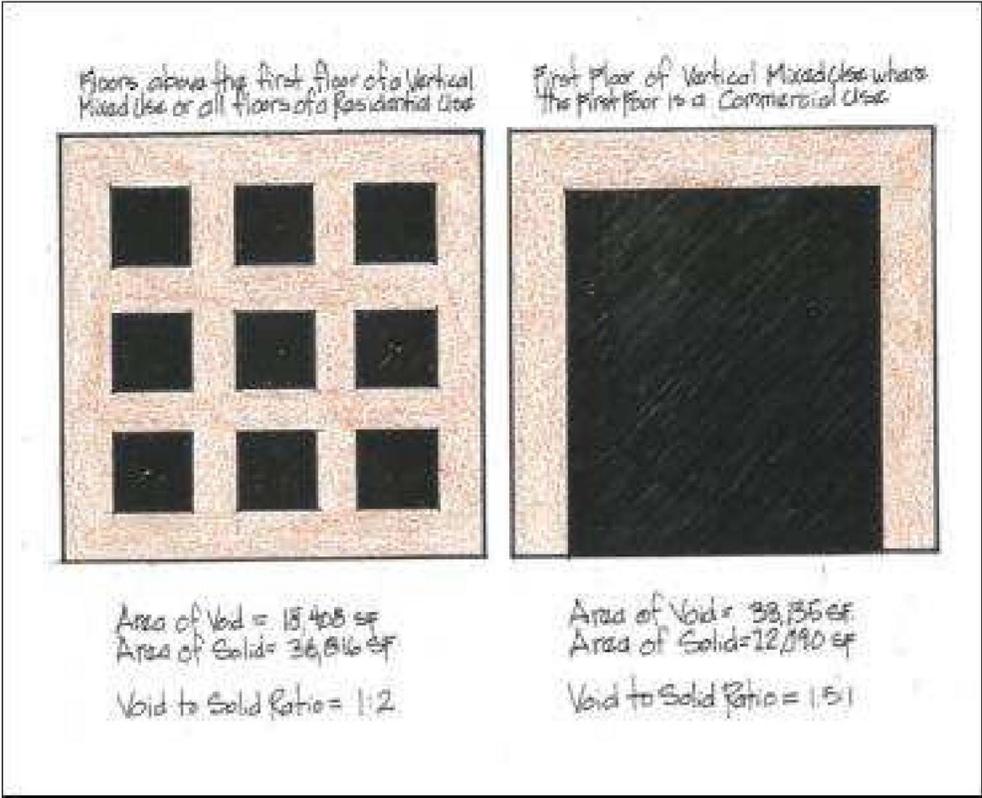


g. **Motif and Context Continuity:** Continuity within the Block-face shall be maintained as follows:

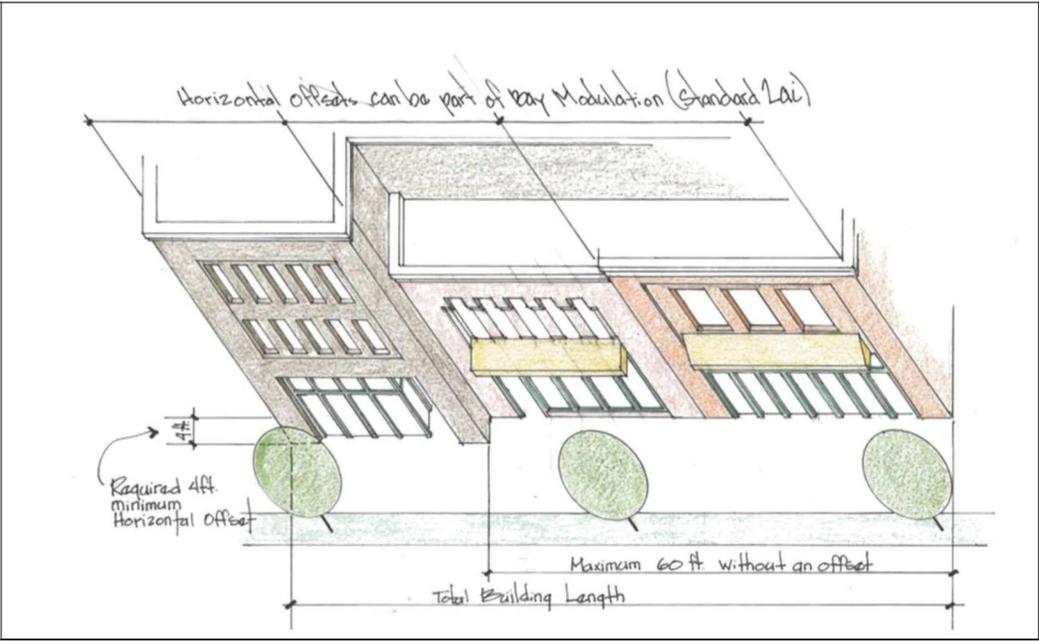
i. **Void-to-solid Ratio:** The relationship of the area of void (openings) to the area of solid (wall) is a key manifestation of the influence of historic styles in Grapevine’s present day urban streetscape. Therefore, a void to solid ration is established to maintain continuity with the existing fabric of the City and the following void to solid ratios shall apply to all construction other than fee simple housing in the low intensity sub-district:

- **First floor of any structure designed to accommodate a commercial use as required by these standards:** The amount of void shall be greater than the amount of solid. The general void to solid ratio shall not be less than 1.5:1, meaning that there shall should be at least 1.5 times more void than solid unless another void-to-solid ratio is approved by the City to maintain consistency with other buildings in the block-face context. The solid portions of the first-floor façade must extend vertically to the floors above and to the parapet detail.
- **Upper Floors:** Floors above the first floor of any structure except fee simple residential structures in the Low Intensity

Sub-District; shall have a solid to void ratio wherein the amount of solid shall be greater than the amount of void and not exceed 1:2, meaning that there should be at least two times more solid than void unless another void-to-solid ratio is permitted by the City for design expression.



- ii. **Building Wall Complexity:** Except as specified above in Standard 1ai (Relationship to Transit Oriented Pattern and adjacent contexts), a façade complexity is required to mitigate the potential massiveness of larger building blocks. Mitigation of massiveness is achieved by a complexity of plan that reduces the presentation of mass to the pedestrian. Therefore, a minimum four foot, horizontal offset must be provided on any building wall exceeding 60 feet. These offsets can include architectural treatments/ enclosure of balconies. However, projected balconies which are not enclosed in an architectural form do not qualify to meet this standard. The Encroachment Zone can be used to comply with this standard.



- h. Building Entrances:** Building entrances of structures other than fee simple housing structures are considered a primary place of architectural articulation. Therefore, building entrances shall be clearly defined within the street fronting or rail fronting elevation.
- i. Relief-In-Articulation:** Relief in Articulation means the dimensional aspects of exterior materials assembly. Therefore, the minimum projection of any element in a built-up profile or decorative assembly shall be $\frac{3}{4}$ inch per element of the assembly. Therefore, a parapet cap comprised of corbeled brick and containing a series of six projected rows of brick will have an overall projection of $6 \times \frac{3}{4} = 4.5$ -inches. Variations of this which include double/ pared rows are permitted upon approval of the City of Grapevine. The minimum Relief in Articulation requirements are:

 - i. Cornice Detail In any pitched roof design:** A wall termination at the roof shall have a cornice detail comprised of at least three projected elements. Single Family structures in the Low Intensity Sub-District are required to only have two elements.
 - ii. Parapet Caps:** Parapet caps must be comprised of four projected elements. This may be reduced to three projected elements when the parapet is used to conceal a flat roof of a secondary component of a larger pitched roof structure.
- j. Window Surrounds and belt courses:** All openings in the exterior skin shall have an architecturally appropriate header and sill with an optional jamb except where the style of the architecture is associated with the absence of such detailing (such as contemporary industrial styles). The

required header and sill shall project at least 3/4 inch beyond the wall veneer (full surrounds are encouraged). Window headers/ sills/ surrounds may be either of the following:

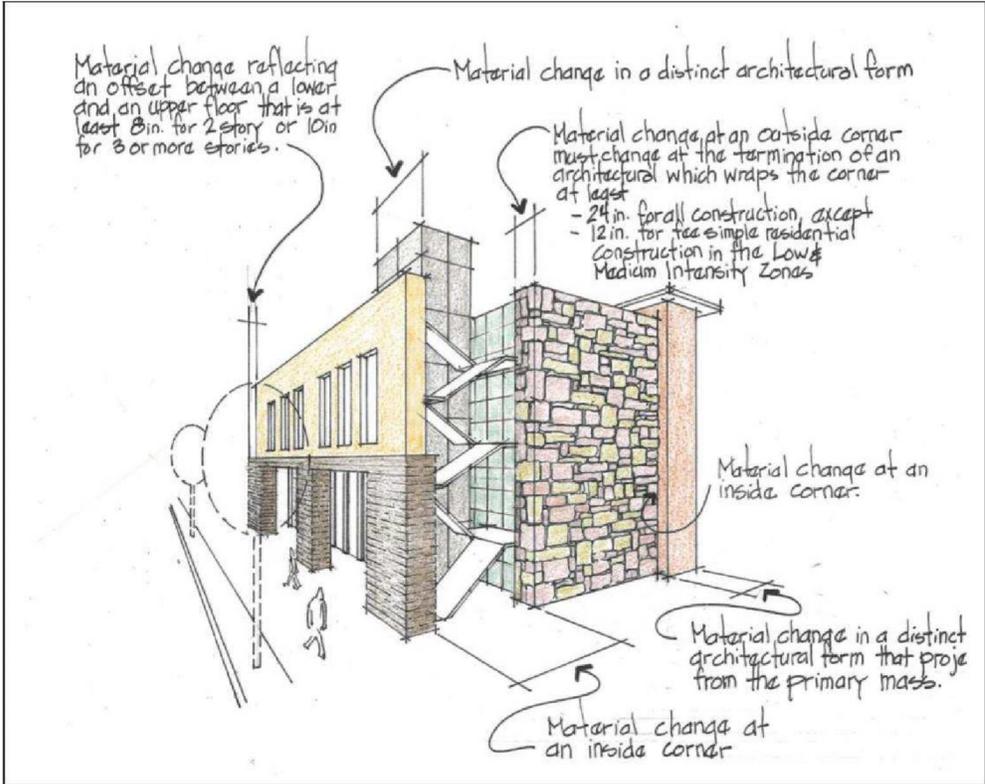
- i. Stone, Cast Stone, Terra cotta in all structures
- ii. Heavy Timber or carpentered wood for fee simple residential buildings located in the Medium Intensity or Low Intensity Sub-Districts.

Other architectural details such as belt courses and base courses shall also be executed in the above listed materials (as applicable) when such details are employed and have a minimum projection of 3/4 inch for each element of the detail as stated in standard "i" above.

When an opening header/ sill/ surround is not used because such detail is not typical of the style, and approved by the City, standards related to the required offset between the plane of the exterior wall and face of the door or window still apply.

k. **Material Change:** Material Change: Material changes in any elevation may only occur under the following conditions:

- i. Material change at an inside corner
- ii. Material change that addresses an outside corner must wrap the corner and change at a location as specified below and is designed as the termination of an architectural detail/element (such as a pilaster corner):
 - 24 inches from the outside corner for all construction except the construction identified below,
 - 12 inches from the outside corner for all fee simple residential construction in the Medium and Low Intensity Sub-Districts.
- iii. Material change wherein the different material is contained within a distinct architectural form that projects from the primary architectural mass.
- iv. Material change reflecting an offset between a lower floor and an upper floor that is at least eight inches for structures two floors or less and ten inches for structures three floors or more.



I. **Roof Screening and Appurtenances:** Roof elements (projections and appurtenances) shall be screened from street level view as follows:

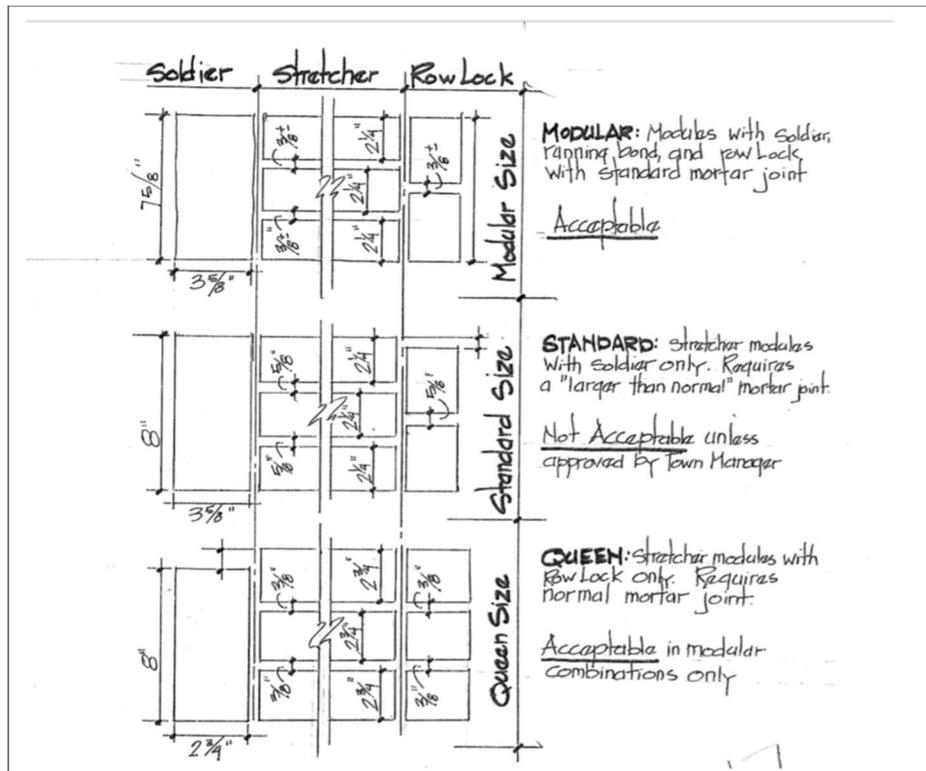
- **Roof Projections:** No plumbing stacks, venting stacks, skylights, cell phone equipment, dishes, or ventilators shall penetrate the roof surfaces of pitched roofs which face the street unless multiple street exposures make compliance impossible and an alternative addressment of the projections is approved by the City of Grapevine. All such devices shall be mounted straight and perpendicular to the ground (except for skylights and ventilators) and be painted to blend with the roof color. Turbine vents are prohibited except when used on buildings with an industrial theme. When Roof projections occur on flat roof structures, they must be hidden from street view by being set back from the building a distance which makes public view impossible.
- **Roof Mechanical:** Roof top mechanical must be screened behind a parapet wall, set back from the building edge so that street view is impossible, screened by a City approved/ architecturally appropriate screed structure (mechanical penthouse) or recessed into a pitched roof so that the incline of the roof created a screen. Mechanical penthouses must be designed to appear as integral to the architecture design, utilitarian screen structures added to the roof of a building,

which do not appear to be an extension of/ element of the architectural design/style, are prohibited.

3. Building Construction

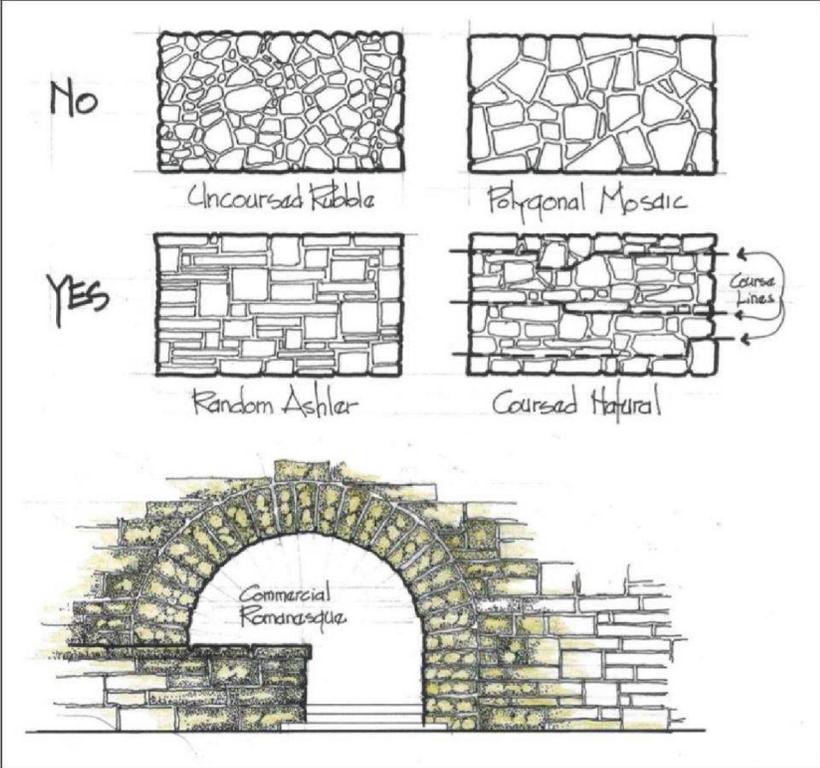
a. **Primary Veneer Material:** All buildings shall comply with the following permitted use of veneer material as the dominant material of the proposed structure. At least 80 percent (exclusive of openings) of a structure over three stories in the Medium Intensity Sub-District or 100 percent (exclusive of openings) of any structure in the High Intensity Sub-District, any structure less than three stories, or any structure (regardless of height) fronting a street or the rail right-of-way; shall be one of the following primary materials. This primary material requirement does not include secondary architectural features (defined as cantilevered bays, rooftop structures, upper story exterior walls fully located within an architectural enclosure, and/or other feature approved by the City and consistent with this example) where a secondary material is permitted. The permitted Primary Materials are:

i. **Brick:** Clay brick, modular size or other sizes that can modulate with the brick detailing/articulation of openings, cornice, and/or parapet, and/or other decorative brick details. All brick shall be hard-fired brick, meeting severe weather standards. Embossed or molded brick which seeks to create a sense of aged/ distressed brick material is generally prohibited unless approved by the City. All brick shall be laid in a manner as to avoid stacked joints. All building corners (inside and outside corners) shall be executed in a "toothed" masonry fashion. Mortar joints shall not generally exceed what is specified in the diagram below. Weeping or slumped joints are prohibited.



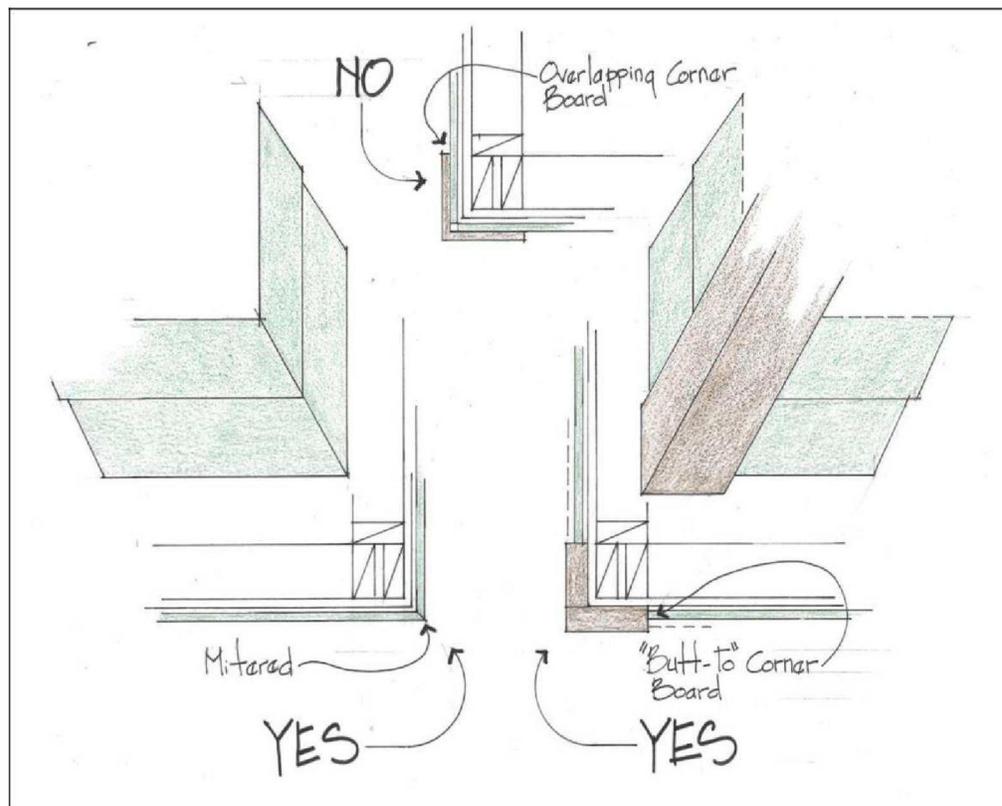
- ii. **Stone:** Stone laid in a Pattern appropriate to the Commercial Romanesque styles that dominate the urban fabric of Grapevine. The general characteristics of this stylistic use include:
 - a. Tightly coursed pattern such as an ashlar or other coursed pattern that employs a cut stone, with
 - b. Worked surface treatments which includes Chisel drafting, surface tooling (such as struggle face, Broached face, Drove face, Sparrow pecked, etc.) or smooth face, or
 - c. Artificial rustication, as well as
 - d. Carved stone to create a decorative motif or elements of a classical order
 - e. All stone-work shall be laid in a manner as to avoid stacked joints. All building corners (inside and outside corners) shall be executed in a “toothed” masonry fashion.

Such stones are typically used in combination with brick to articulate architectural features or secondary forms or specialty components of the design. Where stone is used as the dominant material the architectural style generally leans toward classicism or Richardsonian Romanesque. Where stone is used as a veneer material, the City of Grapevine may approve the use of a stone system that is mechanically attached, provided that the system uses a true stone.



- iii. **Metal:** Metal panels may be used as a primary exterior material where the industrial nature of the design justifies such use, provided that:
- The metal panel is part of a wall system where joints between panels are well crafted (e.g. framed by structural elements, “butt joint” or join at an architectural reveal). The overlapping of metal panels, as is typical with agricultural structures and metal utility buildings is prohibited unless such use of metal is approved by the City of Grapevine because it represents an historic restoration or reconstruction.
 - The metal has a thickness equal to or greater than 18 gauge
- iv. **Siding:** Wood siding and/or a cementitious siding may be used as a material for fee simple housing forms in the Low Intensity Sub-Districts only. When siding is used, the corners may be either:
- **Mitered:** When a wood siding material is being used, corners may be mitered of the mitered corner is fully blocked and properly nailed. The detail for closure must be approved by the City of Grapevine.
 - **Addressed with a corner board:** When a corner board is used to make corners or terminate siding against openings, the siding must abut the corner board. In no case shall a corner board that overlaps the siding be permitted. In all cases, the corner board material must have sufficient thickness to fully cover the edge of lapped siding with a ¼ in. projection beyond that siding but may not be less than 1.5 inches thick. Corner boards joined to complete a tall corner must be connected with a “spline” joint.

Mechanical attachment clips or prefabricated corner strips for siding are not permitted.



- v. **Stucco:** Three coat stucco on metal lath over a structural frame with expansion joints concealed by filling the joint with an expandable filler that is troweled flat with the stucco, is the same color as the stucco, and matches the surface of the stucco texture may be used as a primary material for fee simple housing forms in the Low Intensity Sub-Districts only. Drivit/ EFS type systems are prohibited.
- b. **Secondary Veneer Material:** Any portion of a structure not required to be veneered with a primary material, may be veneered in a secondary material. Secondary Materials include the following:
- i. **Stucco:** Three coat stucco on metal lath over a structural frame with expansion joints concealed by filling the joint with an expandable filler that is troweled flat with the stucco, is the same color as the stucco, and matches the surface of the stucco texture. Dryvit/ EFS type systems are prohibited.
 - ii. **Metal:** Architectural metal wall systems. Also, fabricated decorative metal panels, opening frames, pediments, edging, columns, bases, and entablatures are permitted.
 - iii. **Siding:** Wood or cementitious siding complying with the restrictions on its use specified above in Standard 3a.iii.

- c. **Prohibited Materials:** For the purpose of establishing an enduring building stock that is reflective of the civic commitment to this Transit District as well as promoting excellence in construction, the following materials are prohibited for any application visible on the exterior of a building:
 - i. Fiber Glass
 - ii. Styrofoam or stucco over Styrofoam
 - iii. Plastic
 - iv. Aluminum
 - v. Stucco applied to look like a projected stone, cast stone, or terra cotta
 - vi. Cementitious material used in any application which makes a spline, corner, miter, or decorative shape.
 - vii. Stucco board or cementitious panels other than siding used as specified above.
 - viii. Masonite and Masonite products
 - ix. Composition wood products used as an exterior material with the exception of exterior grade finished veneer plywood, trim craft used as a soffit board, or other smooth finish soffit board that is not Masonite like product.
 - x. Dryvit/ EFS type systems.
 - xi. Cast in place concrete
 - xii. Precast concrete (other than cast stone)
 - xiii. Concrete masonry units, except when used as part of an industrial themed design upon approval by the Planning and Zoning Commission and City Council.

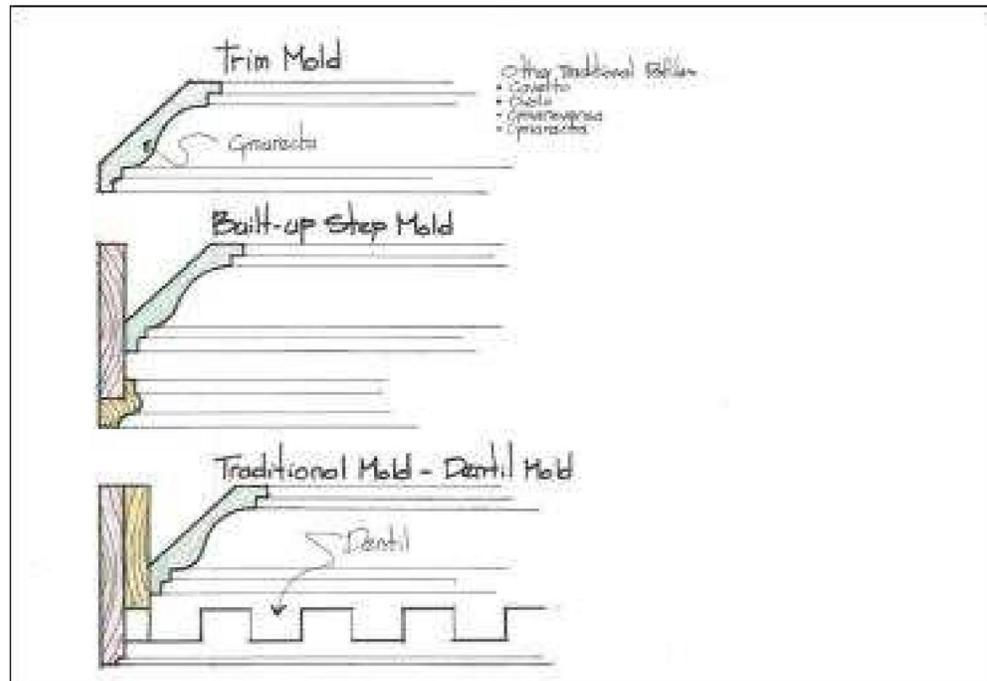
- d. **Roof Material:** Acceptable Roof materials include:
 - i. **Flat roof:** Flat roofs may be either a built-up bituminous roof or a membrane roof provided it is installed in accordance with manufacturer's specifications and issued a 30 yr. warranty. All flat roofs shall be hidden from view, behind a minimum 12-inch parapet.

- ii. **Pitched Roof:** Pitched roofs may be either a true standing seam (standing, folded and soldered seams), a commercial metal roof system that looks like a traditional hand-crafted metal roof and is approved by the City of Grapevine, slate, simulated slate, clay tile for any pitched roof. A 40-year warranty, high profile Composition Shingle may be used for pitched roofs on fee simple housing in both the Medium Intensity and all housing in the Low Intensity Sub-Districts.
 - iii. **Parapet cap:** Parapet caps shall be either clay brick, cut stone, cast stone, tile, or terra cotta. In addition, Pressed Metal (specifically created to decoratively cap a parapet) may be used when approved by the City

- e. **Window Glazing:** All Glazing and Glazing systems shall comply with the following:
 - i. **Glass:** Reflective Glass is prohibited. Tinted glass and dark adhesive films where the transmission coefficient exceeds 27 percent is prohibited.
 - ii. **Stained Glass:** Stained Glass is permitted if the glass unit is crafted in accordance with one of the following techniques:
 - Soldered camming
 - “H” camming
 - iii. **Prohibited Glazing Materials:** No acrylic or pourable decorative glass is allowed. Glazing systems (such as a Pilkington System) may be used in certain accent areas of a more contemporary design if approved by the City.

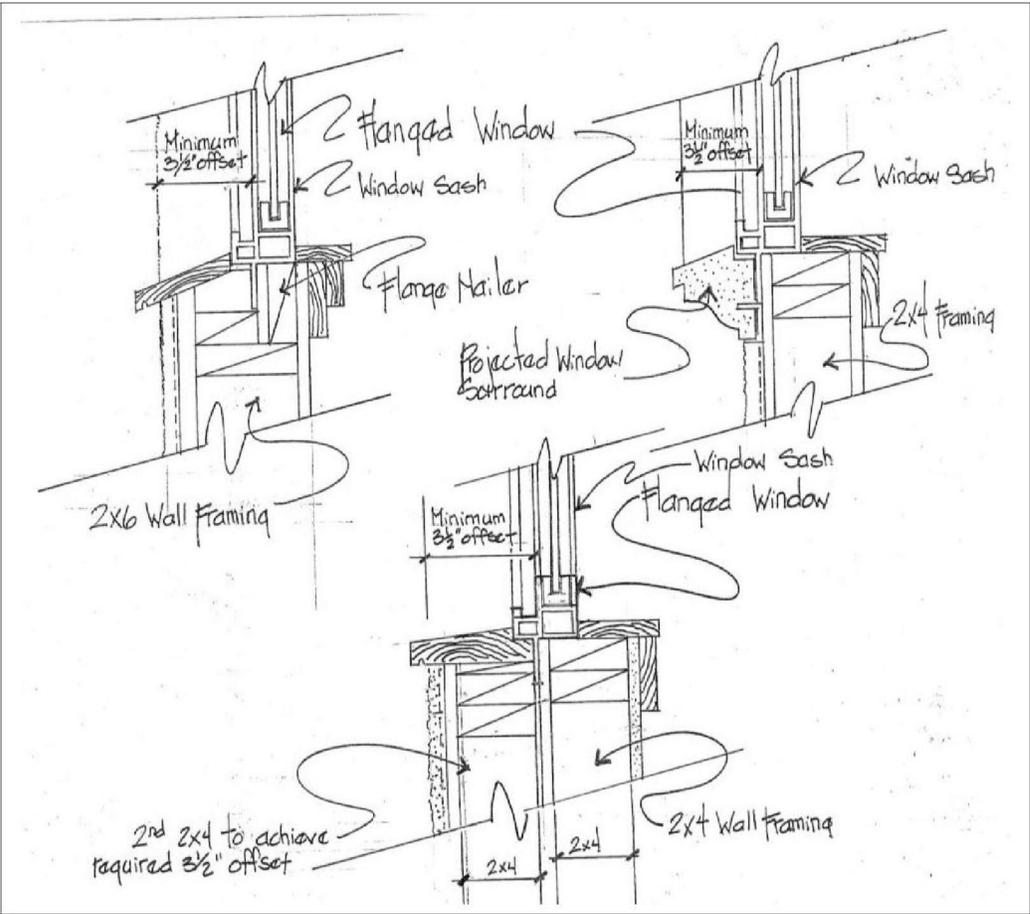
- f. **Carpentered Exterior Trim:** All carpentered exterior trim shall be a high quality finished grade wood stock. Composition wood products are prohibited with the exception that exterior grade finished veneer plywood, smooth finished soffit board, or trim craft soffit board may be used for soffits. Masonite type products are prohibited for exterior use. If a trim installation is to be joined along any continuous run of material, the necessary joint must be a “spline” joint. All outside corners must be mitered and blocked, having sufficient closure that that the joint is not visible from the street. Corners may not be closed by any other means than a carpentered joint or decorative detail. Trim clips and prefabricated corner devices are prohibited. Fascia and gable molds must be stepped at the drip mold unless hidden by a gutter. Carpentered trim that forms a masonry/veneer pocket must have a complexity achieved in one of the following ways:

- i. Trim Mold
- ii. Built-up step molding
- iii. Other traditional detail such as dentil mold



- g. **Wall Construction:** For the purpose of higher energy ratings, depth of offset at facade openings, and more enduring construction; all wood framed exterior walls must be constructed as follows:
 - i. When Shim mounted or Flange mounted windows are used in brick or stone veneered walls, framing may be conventional 2 x 4 framing provided that a minimum offset between the surface of the opening and the surface of the exterior wall is 3.5 inches.
 - ii. When shim mounted windows are used in walls veneered with any permitted material other than brick or stone, the required 3.5-inch offset from the face of the window or door unit from the exterior face of the veneer, exterior walls must be framed with 2 x 6 members in order to achieve a 3.5-half -inch minimum off set within the opening.
 - iii. When flange mounted windows are used in walls veneered with any permitted material other than brick or stone, the required 3.5-inch offset from the face of the window or door unit, exterior walls must be framed with:

- 2 x 6 members and the flange mounted window attached to a nailing frame that flushes with the interior face of the 2 x 6 framing member, in order to achieve a 3.5-inch minimum off set within the opening.
- Double 2 x 4 members and the flange mounted window attached to inner 2 x 4 section and the second 2 x 4 section providing the required 3.5-inch minimum offset from the window sash or door opening.



iv. The required offset may be achieved by the projection of a brick, stone, cast stone, or terracotta window surround for fee simple residential structures in the Medium Intensity and Low Intensity Sub-Districts. Carpentered Wood may be used as a window surround to achieve the required 3.5-inch offset for single family detached structures in the Low Intensity Sub-Districts only.

4. **Landscaping:** The purpose of Landscape Standards is to establish continuity in the streetscape, a consistently high level of pedestrian amenity, and preservation of the value created by public investment in the Grapevine Transit District.

Therefore, the following Standards are applicable to all Development within the High Intensity and Medium Intensity Sub-Districts:

- a. **Street and rail frontage landscaping:** Each property fronting a street or rail line must plant trees that extend and contribute to the public streetscape/ rail scape. The specie of tree (hereinafter “Thematic ROW Tree”) to be planted and placement of such trees shall conform to the Urban Design Plan attached to this ordinance. Thematic ROW Trees are required along all street and rail frontage. Thematic ROW Trees s shall be spaced no further than 30 feet on center and shall be located in either:
 - i. A five-foot wide planter strip (hereinafter streetscape planting zone) between the back of curb and the unobstructed walkway, as shown of Urban Design Plan Sections #1,#2,#3,#5,#6,#8,#9,#10; or a wider landscape strop along the rail ROW as shown on the Urban Design Plan Section #4.
 - ii. Within tree-wells, the center of which is located no more than three ft. from the street curb or in tree wells along the rail ROW as shown on the Urban Design plan.
 - iii. Within four feet of public connections/walkways on private parcels.

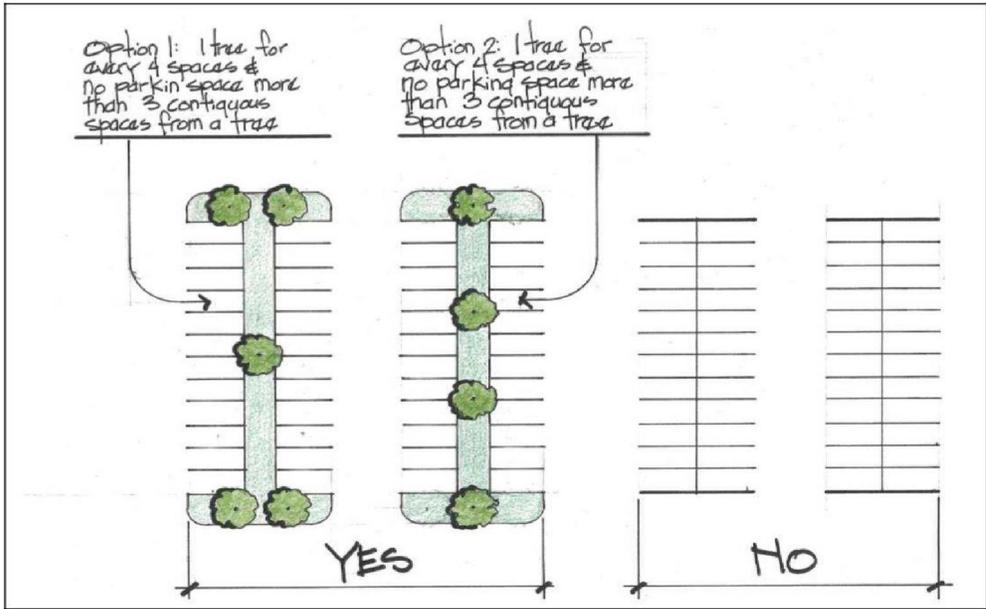
Thematic ROW planting shall be provided by the property owner as part of the development of any parcel unless such landscape is part of a Public Improvement Project approved by the City of Grapevine.

- b. **Other planting in the Streetscape Planting Zone:** Where Thematic ROW Trees are located in Streetscape Planting Zones rather than tree grates, programs of ornamental flowers are permitted provided that they are properly irrigated and maintained by the fronting property owner and approved by the City of Grapevine. Otherwise, the infill planting shall be the Thematic ground cover and understory plants specified in the Urban Design plan.

Infill planting shall be provided by the property owner as part of the development of any parcel unless such landscape is part of a Public Improvement Project approved by the City of Grapevine.

- c. **Installation and Maintenance of Thematic ROW Trees and the Streetscape Planting Zone:** All planting shall conform to the installation standards indicated in the typical planting section illustrated below. All installation and maintenance of Thematic ROW Trees and Streetscape Planting Zone shall be the responsibility of the fronting property owner as part of the development of any parcel unless such landscape is part of a Public Improvement Project approved by the City of Grapevine.

- d. **Park and Plaza Landscaping:** Parks and plazas should provide adequate landscape enhancement for pedestrians. Therefore, all plazas, open spaces, and/or Pedestrian Amenities provided in accordance with this ordinance shall provide one of or a combination of the following:
 - i. One canopy tree for every 350 sf. This standard does not apply to Arcades or Pedestrian Streetscapes as described in standard 2ci and 2cii under District Specific Guidelines. Approved canopy trees are specified on the Plant list attached to this ordinance.
 - ii. Ornamental landscape containing ornamental trees (as specified in the attached plant list) and other decorative planting.
- e. **Parking lot landscaping:** All parking lots must have trees planted such that no parking space is more than four contiguous parking spaces away from a tree. Additionally, all parking lots should be screened from streets as specified in standard 1biii (above).



- f. **Maintenance:** All landscape installed in accordance with this ordinance must be maintained by the property owner and any dead plant material replaced within 30 days of notification to replace by the City of Grapevine.
- g. **Submission of a Site Landscape Plan:** All properties seeking approval under this ordinance must submit a complete site landscape plan for City approval, showing:
 - i. Plants and Plant List

- ii. All landscape features that comply with this ordinance
 - iii. All other proposed landscaping
5. **Lighting:** The purpose of lighting in the Grapevine Transit District is to enhance its night-time form by creating: A. a lower ambient light level at the ground, in street and rail frontage settings, that allows the internal lighting of retail and entertainment activity to be highly visible to the street and B. provide security in those areas that do not have rail or street frontage. In the street and rail setting, lighting is also meant to accentuate signage as a key visual expression of activity and use...as well as highlight distinctive architecture.
- a. The following types of lighting are prohibited:
 - i. Sodium Vapor Light Source
 - ii. Flood lights on building facades with street or rail frontage
 - iii. Internally lit signage
 - iv. Building down lights and utility lights (exclusive of building sconces and other decorative fixtures specified below) on any street or rail fronting façade.
 - b. **The following types of lighting are permitted:**
 - i. Building down lighting achieved through decorative light fixtures projected from the building façade by ornamental light arms. Parapet or Building mounted security lighting meant to light the ground plane or the street/ rail fronting façade that is not a decorative fixture is prohibited.
 - ii. Soffit lighting in canopies, arcades, entryways, or other permitted cover of an activity area.
 - iii. Front lighting for building mounted signs and horizontal mast signs
 - iv. Halo light for building mounted signs
 - v. Temporary, portable area lighting meant for special purpose activity
 - vi. Marquee lighting
 - vii. Neon signage

- viii. Patio String Lights
 - ix. Landscape lighting
 - x. Pedestrian lighting standards and fixtures that are compatible with the thematic street lighting selected by the City of Grapevine for the Transit District.
 - xi. Parking lot lighting necessary to create the ambient light level required by code.
- c. **Visibility of Light Source:** All projected lighting or front lighting shall be hooded by an ornamental fixture that prevents visibility of the light source from neighboring properties.
- d. **Excluded from this regulation:**
- i. Emergency lighting required by any code
 - ii. Other lighting required by any code
 - iii. Special lighting required for safety, such as step lights.
6. **Outdoor Furnishings.** Benches and other public seating, bollards, freestanding light fixtures, water fountains, pet watering stations, directional/wayfinding signs, trash/recycling receptacles, and other outdoor elements provided for the public or semi-public domain shall be utilized from the City of Grapevine's list of approved public elements.

SIGN STANDARDS



SIGN STANDARDS APPLICABLE TO ALL DISTRICTS (DRAFT)

a. Permitted Signs

The Permitted Attached/Building Mounted Sign Types in the High Intensity and Medium Intensity Development Districts include:

Awning Signs:.....



Corner Building Signs:



Header Signs:



Horizontal Blade Signs:.....



Mid Story Building Signs:



Parapet Building Signs.....



Window Signs:



Marquee Signs:.....



Parapet Cap Signs:



Flags and Banners:



Sandwich Board Signs:



b. Sign Regulations for Sign Types and creating a Sign Space Envelope

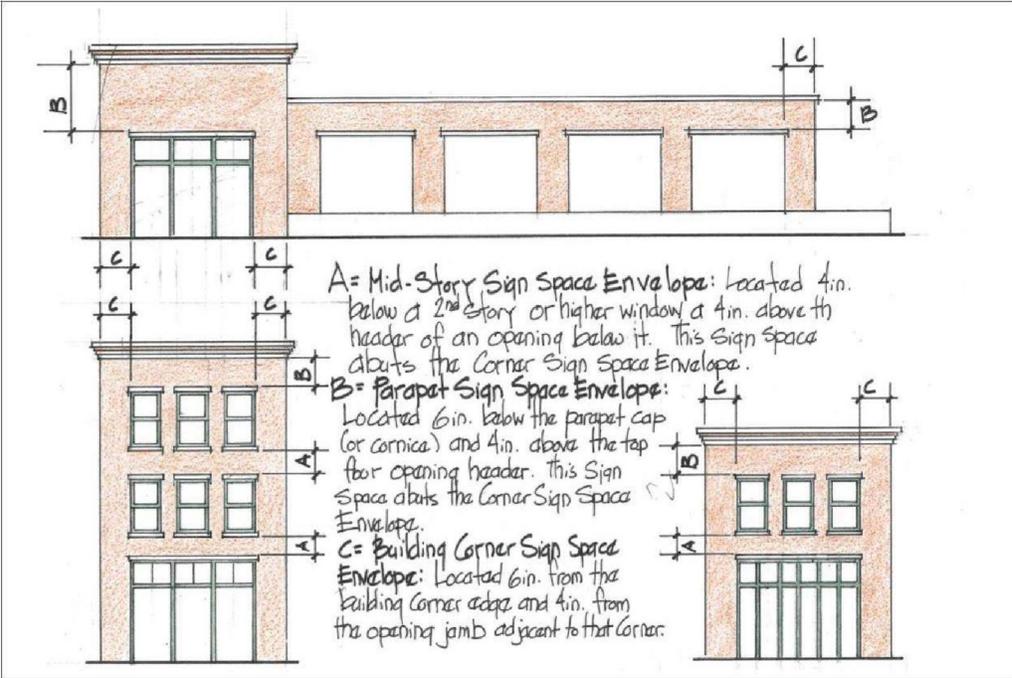
i. Building Signs (exclusive of Marquee Signs and Parapet Cap Signs)

A sign placed on a building must be located in architecturally meaningful location on the building façade, hereinafter referred to as a “**Sign Space Envelope**”. Therefore, all permitted building signs must be located within a “**Sign Space Envelope**” as illustrated

below. Any Building Sign located within a Sign Space Envelope must maintain a minimum edge distance as specified in the diagram below. Permitted Building signs are:

- Painted Sign
- Pin mounted pierced metal
- Framed panel mounted on brackets or pins
- Individual pin mounted letters

All building signs may be front lit, or halo lit. Internal illumination is prohibited for building mounted signs except for Marquee Signs. Building signs may have more than one tenant in the same sign provided there is only one Building Sign per building, or individual Building Signs for each tenant may be permitted below the second floor, provided they are all placed within the Sign Space Envelope.

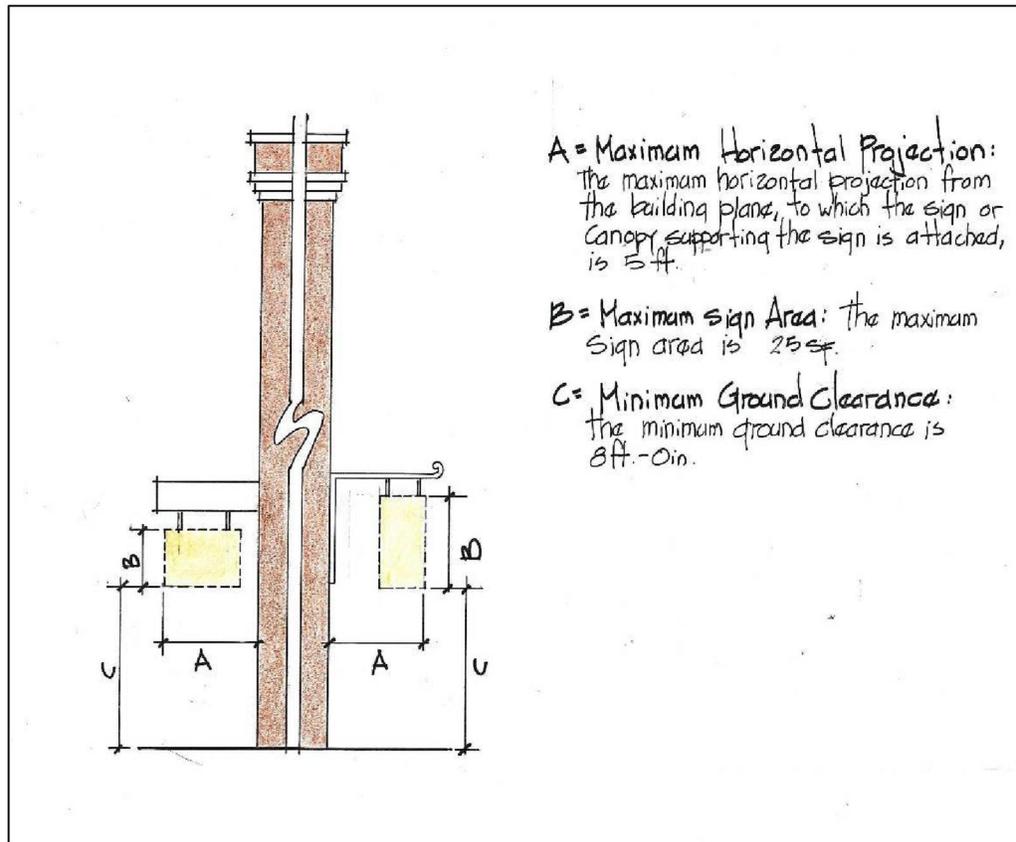


ii. Horizontal Blade Signs

Horizontal Blade signs are signs boards and shapes hung from a sign arm mounted to a building arcade, or canopy. Post mounted blade signs are prohibited. All Horizontal Blade Signs shall meet the specifications laid out in the following diagram. These specifications

address size, ground clearance and maximum projection. In no case shall a blade sign:

- Project over a vehicular way (including private drives)
- Project over a fire lane or utility easement
- Project over a street right of way or the minimum unobstructed pathway

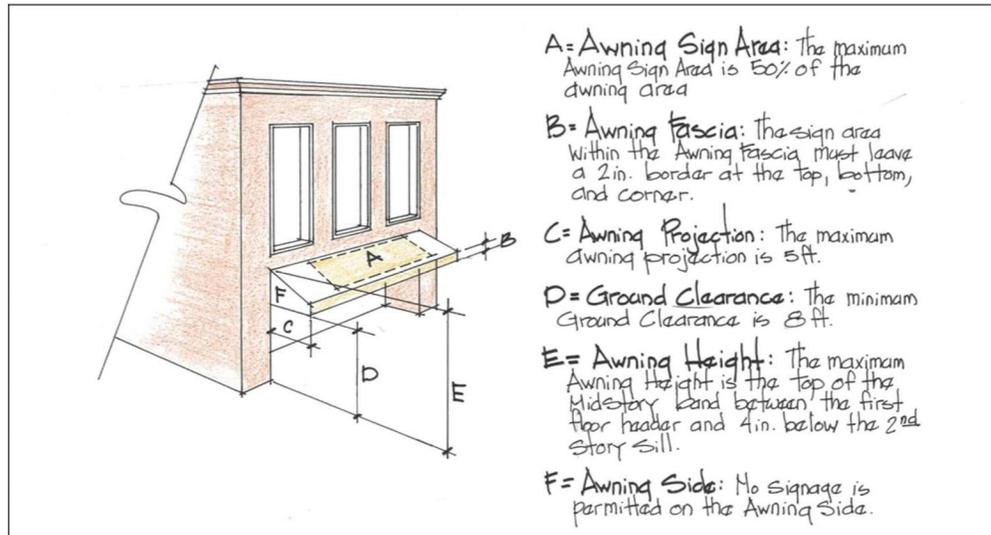


iii. Awning Signs

Awning Signs shall comply with the specifications laid out in the following diagram. These specifications address:

- Awning Sign Area
- Awning Fascia
- Awning projection
- Ground Clearance

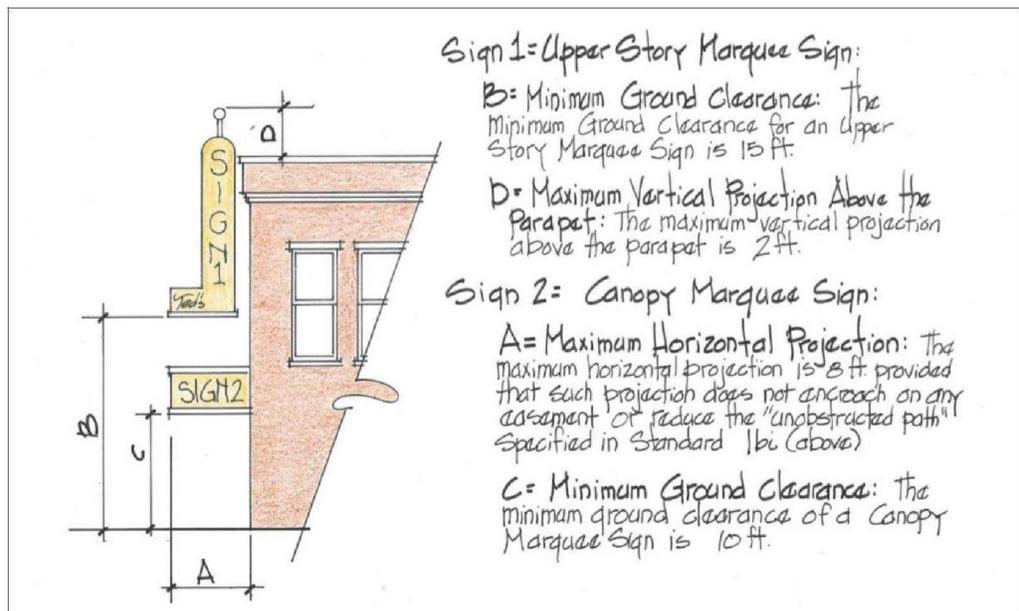
- Awning side



iv. Marquee Signs

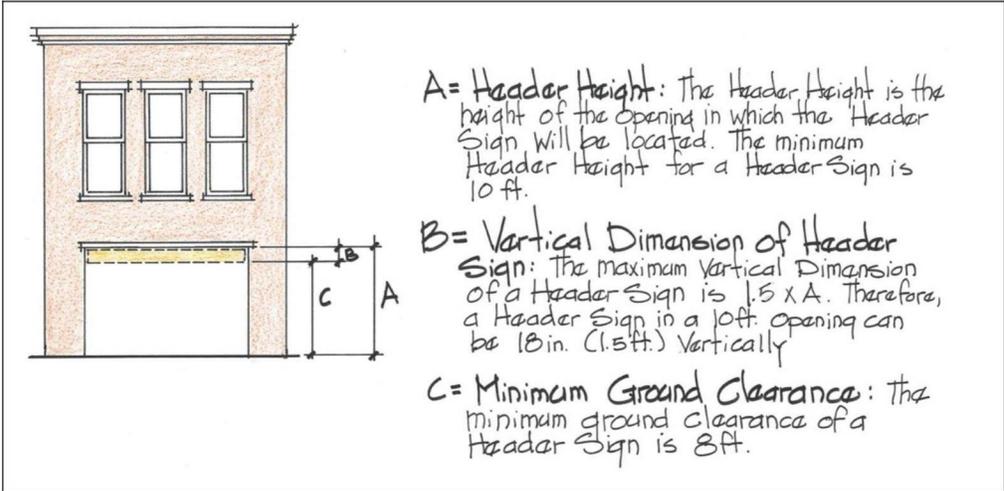
Marquee Signs shall comply with the specifications laid out in the following diagram. These specifications address:

- Minimum Ground Clearance
- Maximum Vertical Projection above the parapet
- Maximum Horizontal Projection



v. **Header Signs**

Header Signs shall comply with the specifications laid out in the following diagram:



v. **Parapet Cap Signs**

Parapet Cap Signs are permitted and may extend above the parapet line a maximum distance of four feet provided the location of the sign reinforces a significant architectural element of the building it serves (such as located over the main entry, or on a landmark feature). Internal illumination of letters is prohibited in a Parapet Cap Signs (except for neon letters permitted below). The following types of illumination are permitted:

- External up or down lighting
- Neon letters and decorative elements
- Individual light bulbs infilling a frame
- Halo lighting



Neon light

Individual light bulbs
in a Frame

Halo light



External Down Light

vi. **Portable Sandwich Board Sign**

A portable sign, consisting of two panels of equal size, made of painted, decay resistant wood, which are hinged at the top and placed on the ground or pavement so as to be self-supporting.

Portable Sandwich Boards must conform to the following regulations:

- Maximum sign height shall be three feet.
- Maximum sign width shall be two feet.
- Signs shall not be placed in front of adjoining property.
- A minimum clear sidewalk width of 48 inches shall be maintained.
- Chalkboards may be used for daily changing messages. No changeable letters on tracks may be used.
- Sign must be removed after business hours.

vii. **Flags and Banners**

Flags and Banners are allowed provided that:

- A Temporary Sign permit is obtained accordance with the City of Grapevine Sign Ordinance
- That the installation of Flags and Banners complies with standards for Flags and Banners established in the City of Grapevine Sign Ordinance

viii. Applicability

The number of permitted signs per building are as follows:

- Corner, Parapet, Mid-story signs: one per building (where there are multiple tenants to be represented in a Building Corner, Parapet, or Mid-Story Sign' such tenants must be identified in a single sign). Mid-Story signs between the first and second floor, and header and parapet signs on one-story buildings are not limited when advertising multiple tenants, but must remain within the sign space as identified in bi above.
- Marquee signs: one per building
- Awning signs: one per awning in each permitted location
- Horizontal Blade Signs: one per premise, or one per tenant when there are more than one tenant per building
- Window Signs: Located on the storefront only and no sign, or combination of signs, may cover more than 50 percent of the glazed area in which the sign is located.

ix. Excluded from this regulation

- Any signage required by any code
- Directional signage as needed for circulation management
- Any cautionary or warning sign
- Signs indicating "open" or "closed"
- City owned and sponsored signs
- Any sign that replicates a historic sign, or any sign with historic significance when approved by the Historic Preservation Officer and the Building Official
- Any sign approved by the Planning and Zoning Commission and City Council through the Conditional Use Permit process

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APPENDIX A

Transit District Boundaries

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APPENDIX B

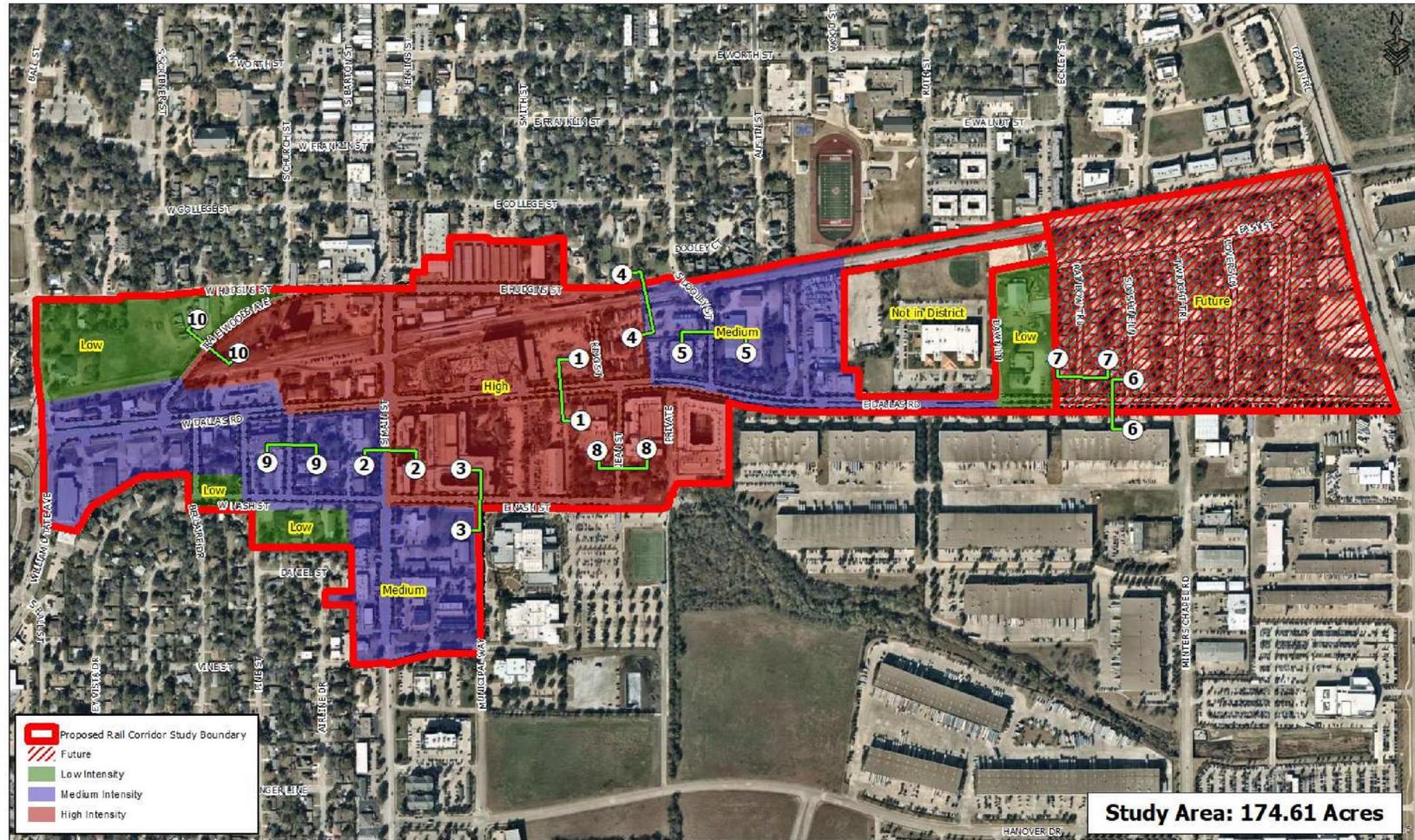
Intensity Sub-Districts

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APPENDIX C
Urban Design Plan
With Street Sections

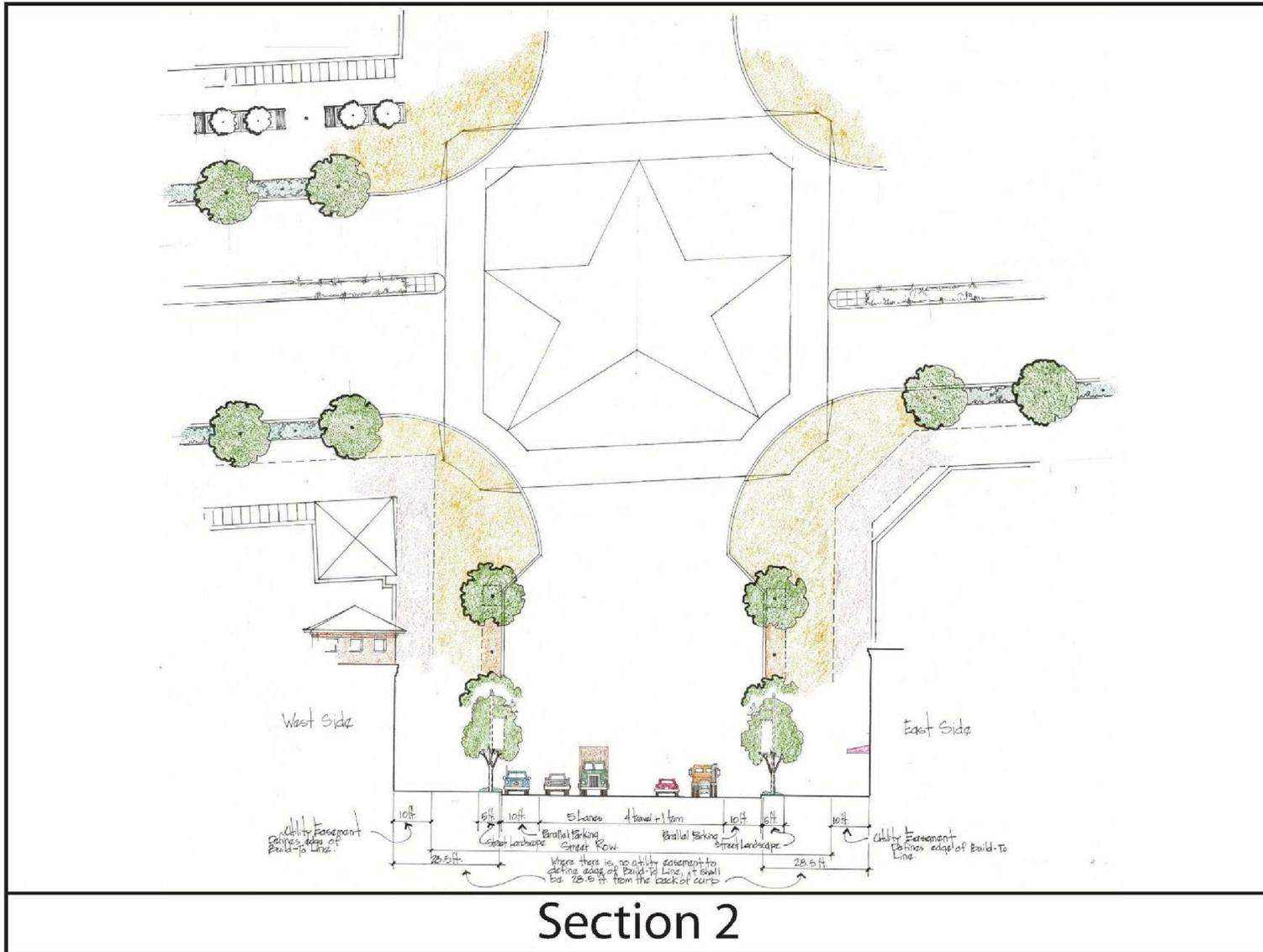
Grapevine Transit District Urban Design Plan

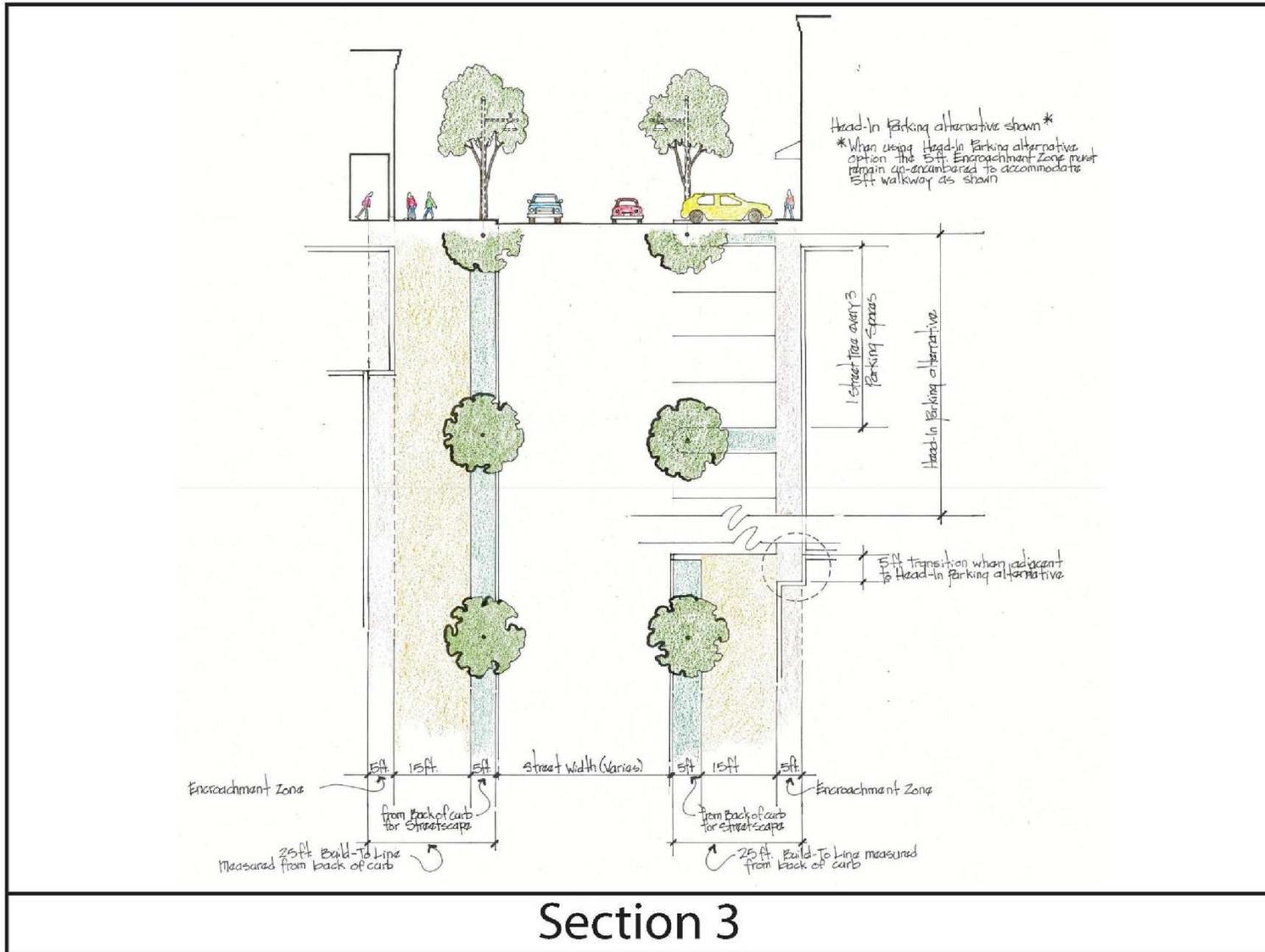


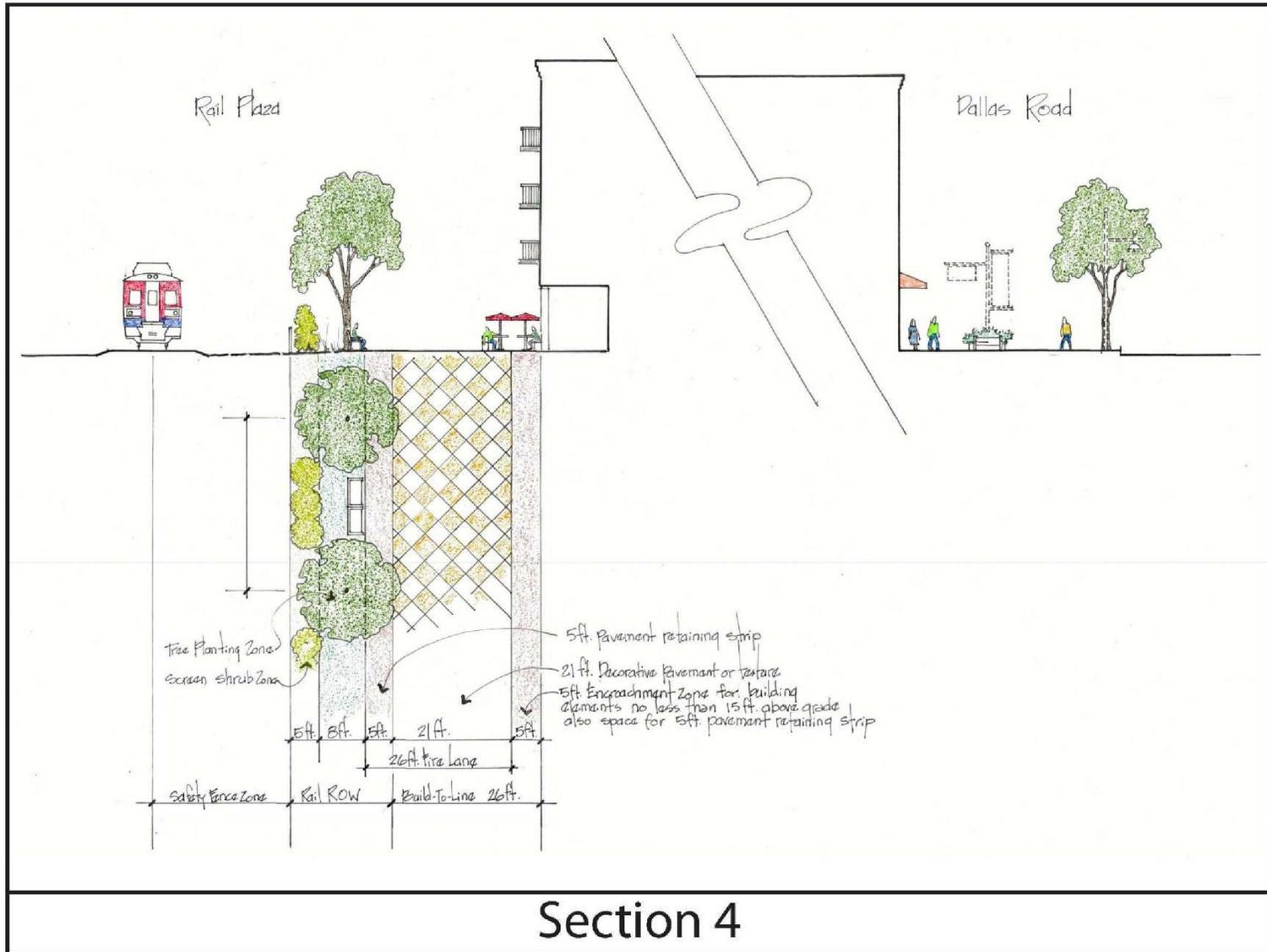
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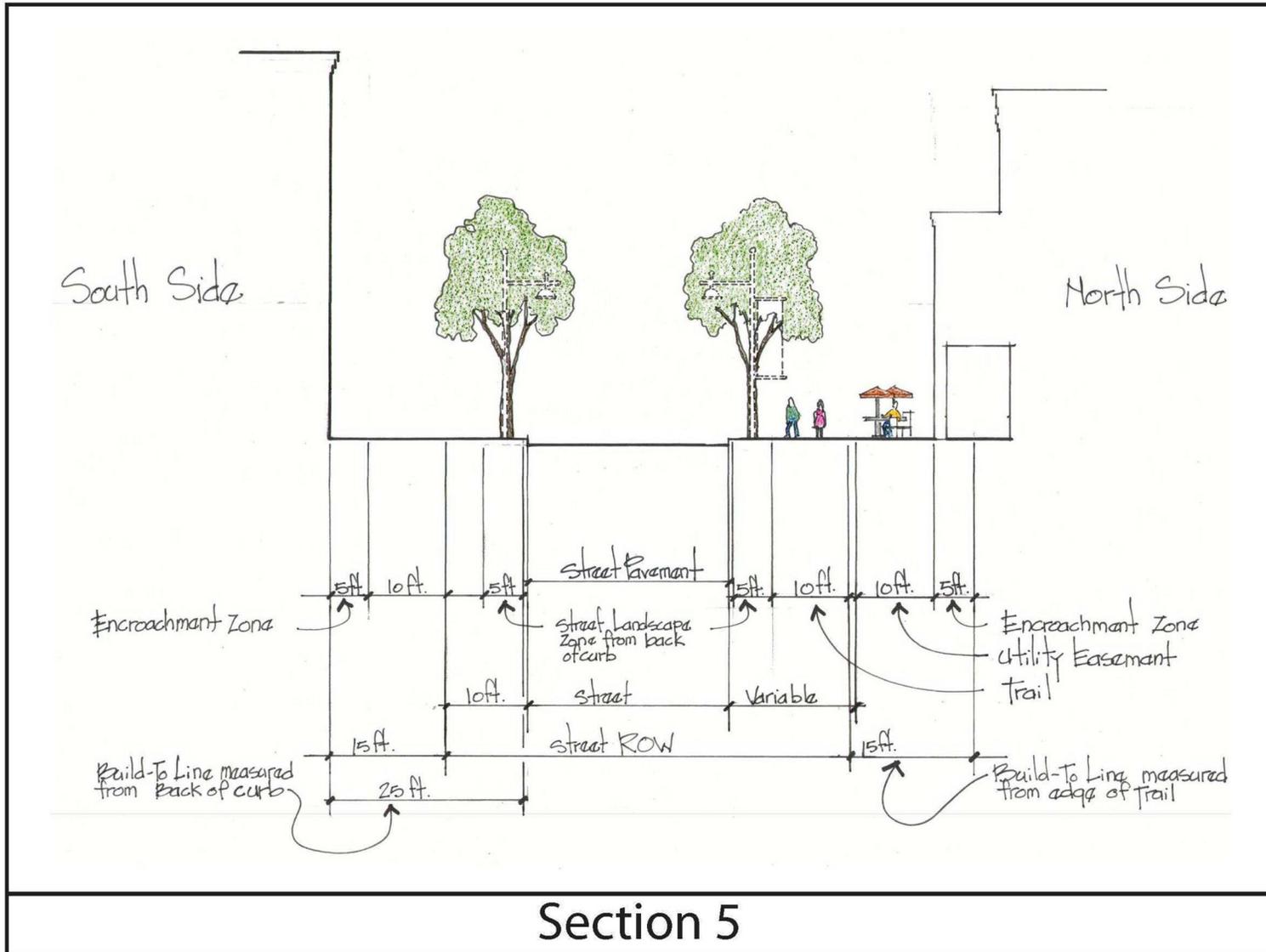
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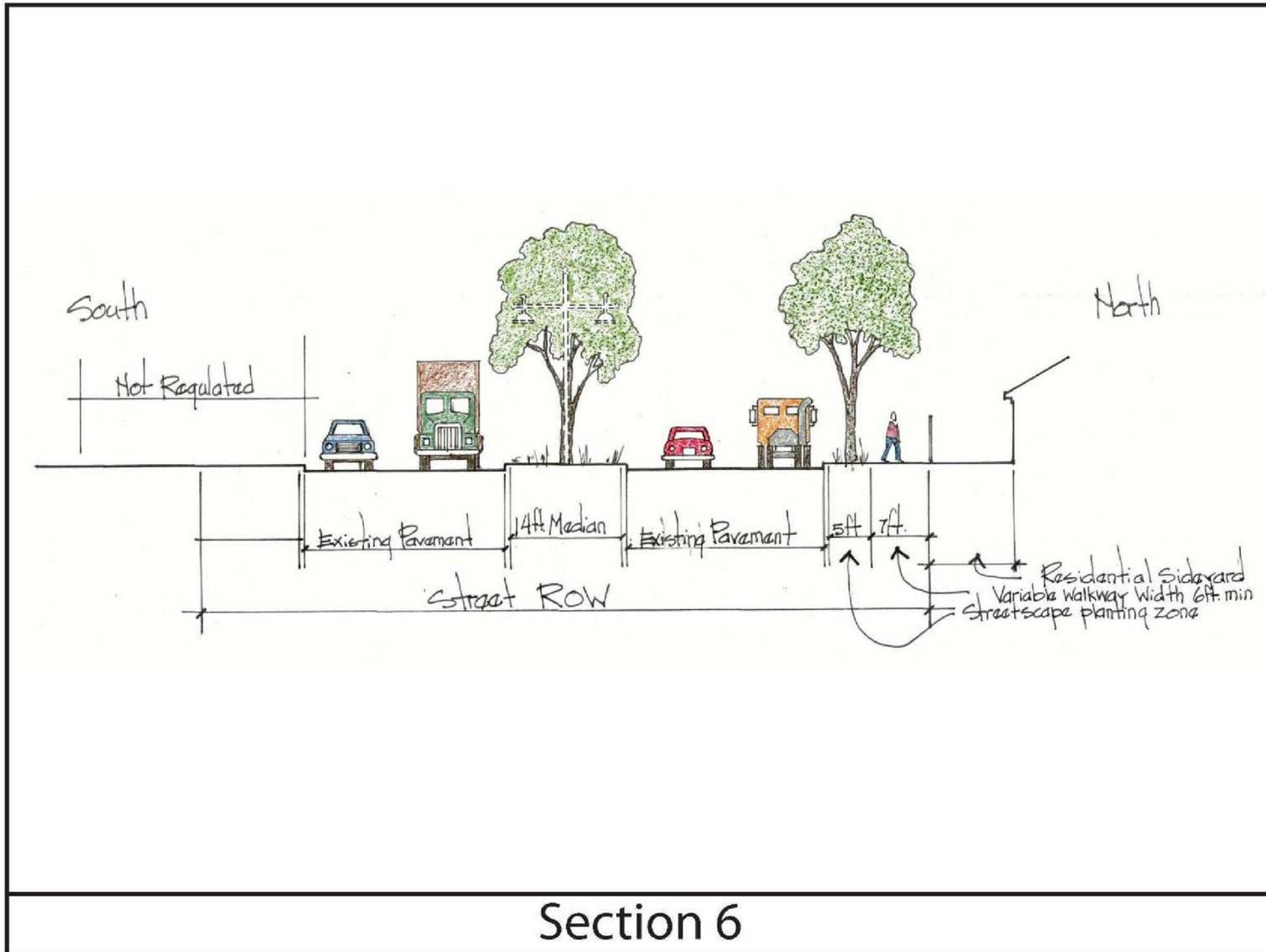




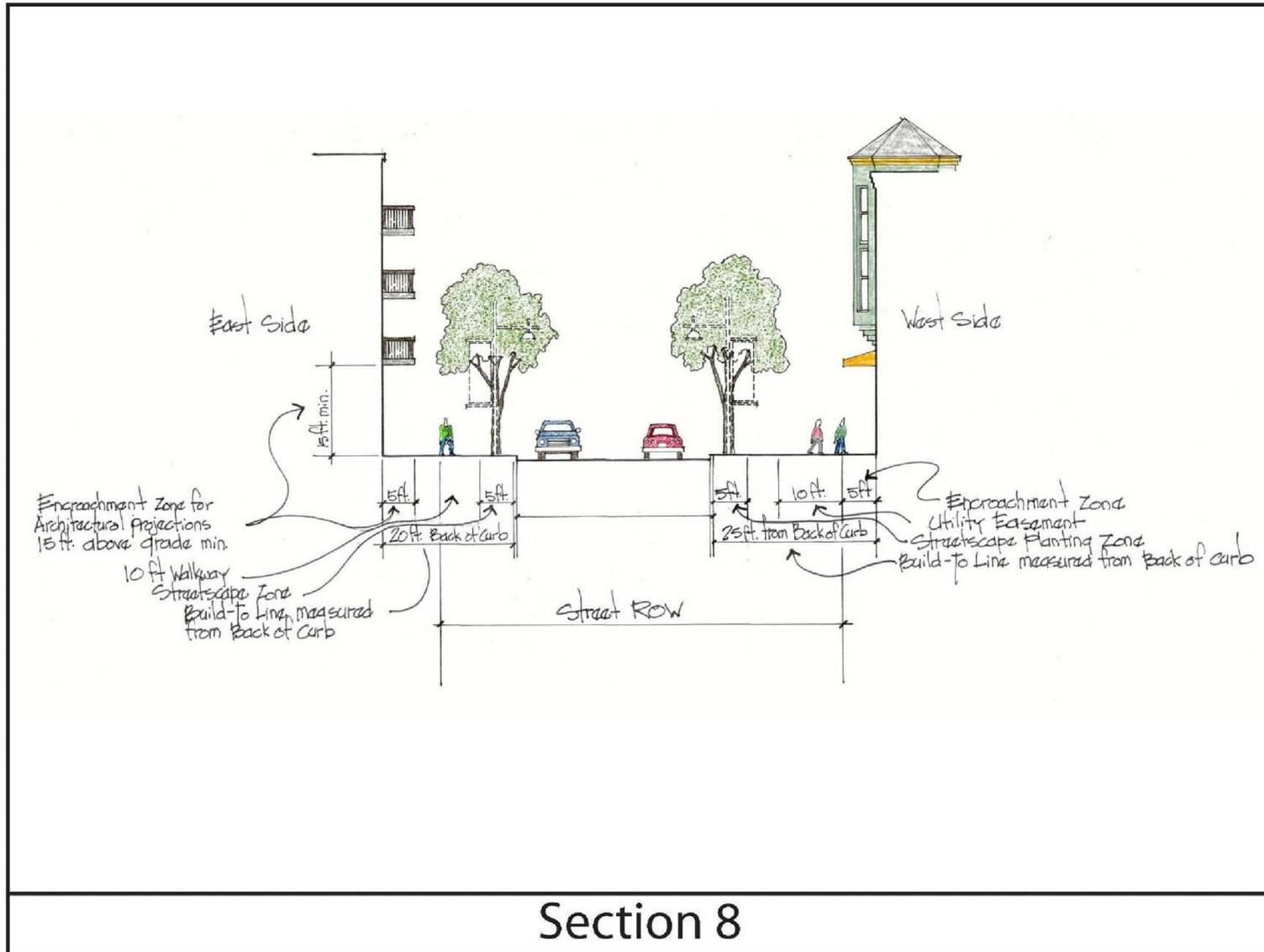


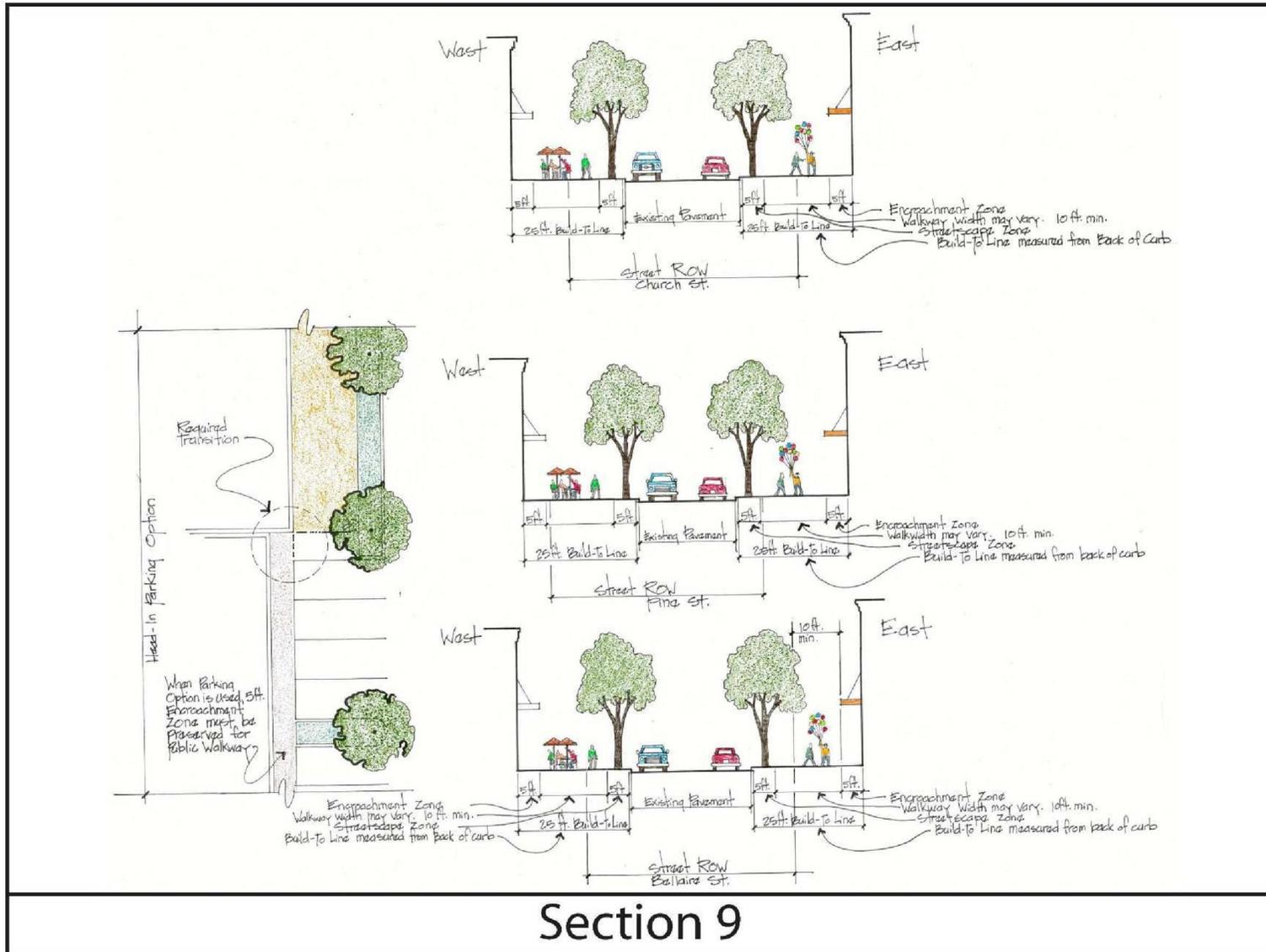




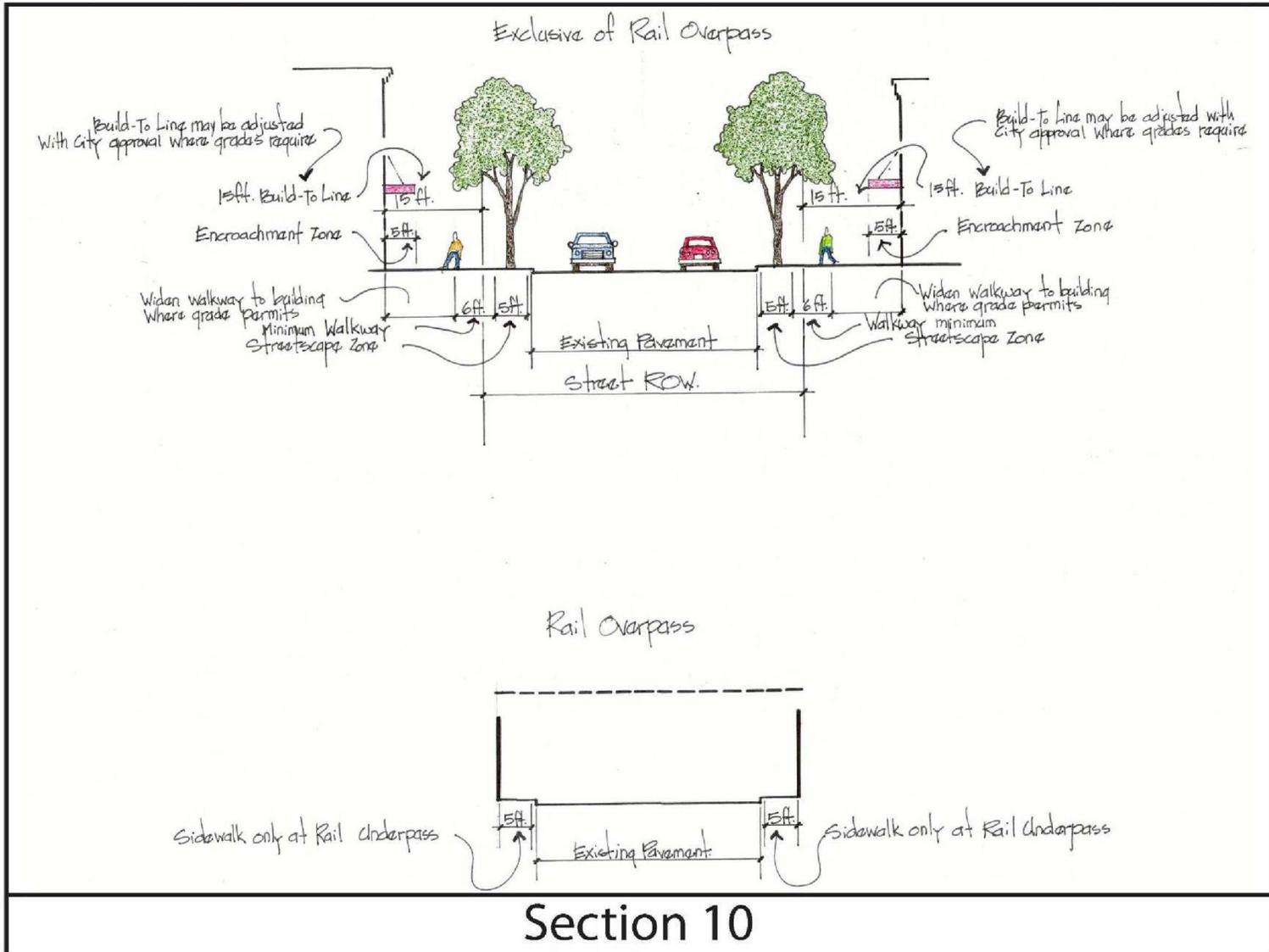








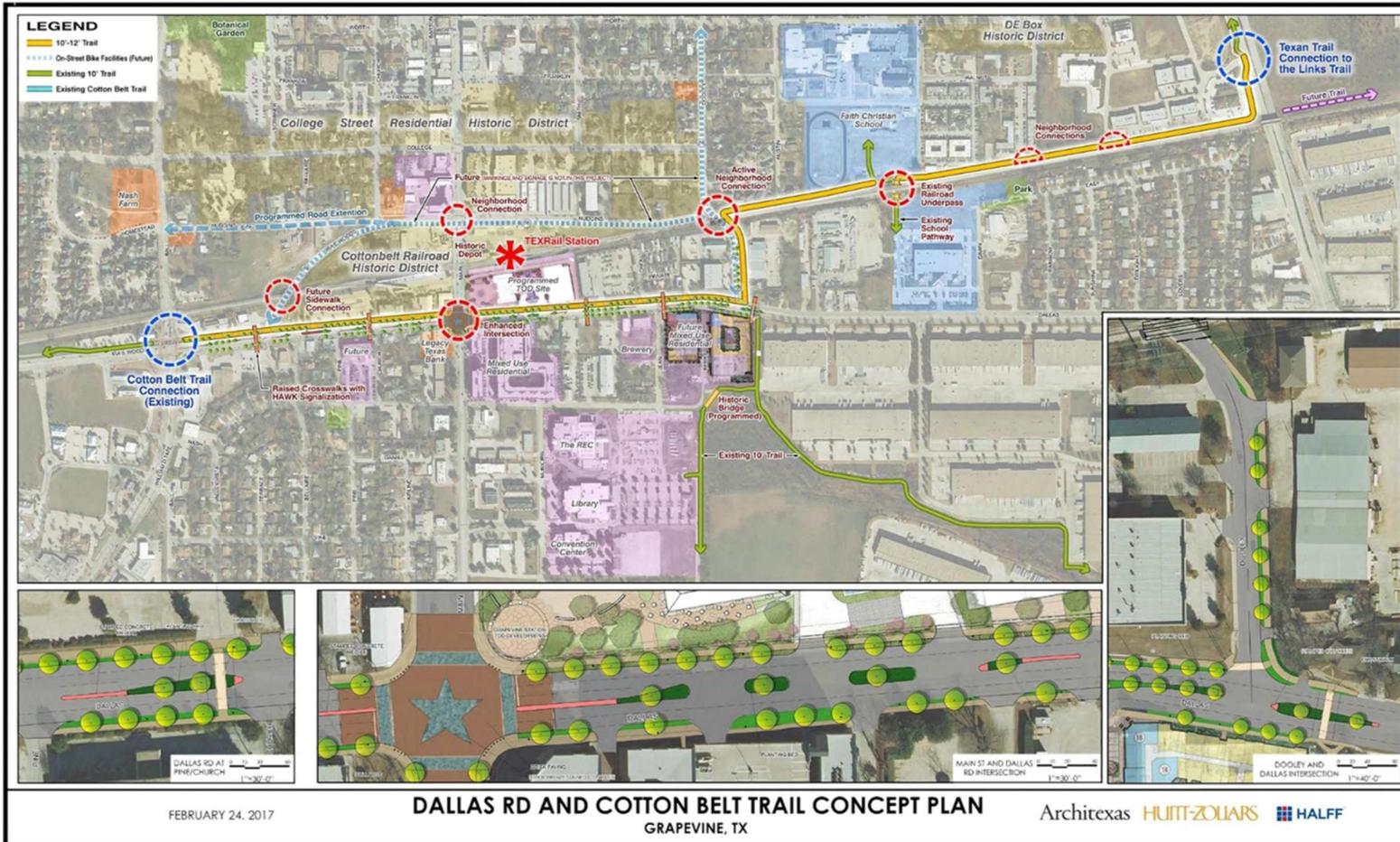
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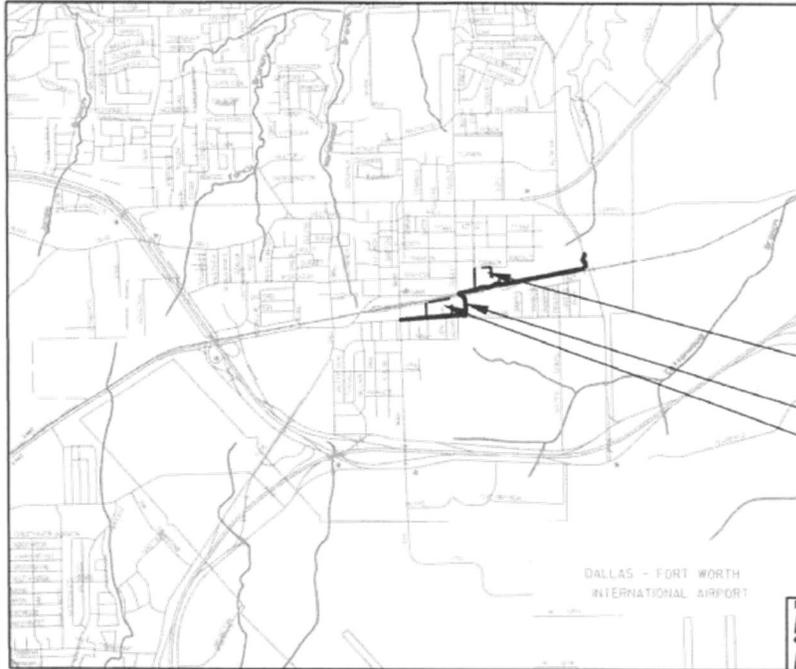


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APPENDIX D
Dallas Road Hike and Bike Trail Plans
Dallas Road Improvement Plans





LOCATION MAP - N.T.S.

QUANTITY SUMMARY:

- 12' WIDE CONCRETE TRAIL - 3,709 LF
- 10' WIDE CONCRETE TRAIL - 3,172 LF
- 6' WIDE CONCRETE WALK - 2,341 LF
- BARRIER-FREE RAMPS - 21 EA
- REGULATORY SIGNAGE - 32 EA
- HAWK SIGNALS - 05 EA
- WAYFINDING KIOSKS - 14 EA
- 6' SECURITY FENCE - 738 LF
- 4' SECURITY FENCE - 3,308 LF
- TRAFFIC SIGNALS - 04 EA
- BENCHES - 04 EA
- BIKE RACKS - 02 EA
- BOLLARDS - 36 EA
- TRASH CANS - 02 EA

FAITH CHRISTIAN
FOOTBALL FIELD
PROJECT LOCATION
FUTURE TOD/
TEXRAIL STATION

Attachment A - 4: Schematic Design

GENERAL NOTES:

- | | |
|--|--|
| <p>1. TOPOGRAPHIC MAPPING, AERIAL, AND PROPERTY INFORMATION SHOWN PROVIDED BY NCTCOG AND CITY OF GRAPEVINE.</p> <p>2. ALL DISTURBED AREAS TO RECEIVE BERMUDA HYDROMULCH.</p> <p>3. ALL PROPOSED WALKS, TRAILS AND BIKE FACILITIES SHALL MEET CURRENT AASHTO, ADA, AND TMUCTD DESIGN STANDARDS.</p> | <p>4. MILE MARKERS SHALL BE LOCATED EVERY 1/2 MILE ALONG TRAIL SPINE.</p> <p>5. THE DRAWINGS INCLUDED IN THE PACKAGE ARE SCHEMATIC PLANS AND ARE NOT INTENDED FOR CONSTRUCTION PURPOSES.</p> |
|--|--|

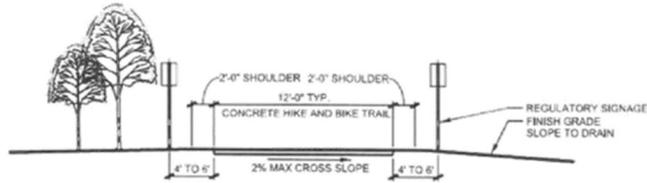


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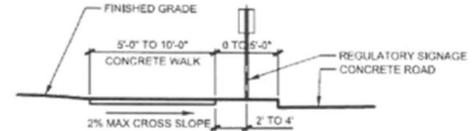


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(ACTIVE TRANSPORTATION FACILITIES)
DALLAS ROAD TOD CORRIDOR/
COTTON BELT TRAIL EXTENSION
GRAPEVINE, TEXAS

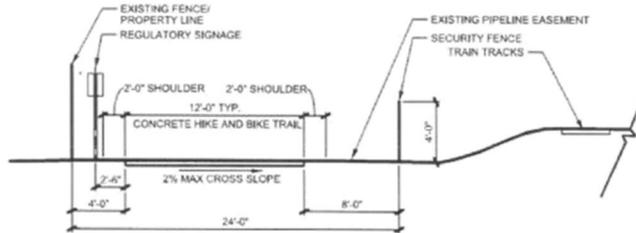
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Issued:	02/24/2017
Drawn By:	JBM
Checked By:	JRW
Scale:	AS NOTED
Sheet Title	GENERAL NOTES
L0.01	
Sheet Number	87



01 STANDARD HIKE AND BIKE TRAIL SECTION
NOT TO SCALE SECTION



02 STANDARD SIDEPATH SECTION
NOT TO SCALE SECTION



03 RR ROW EASEMENT HIKE AND BIKE TRAIL SECTION
NOT TO SCALE SECTION

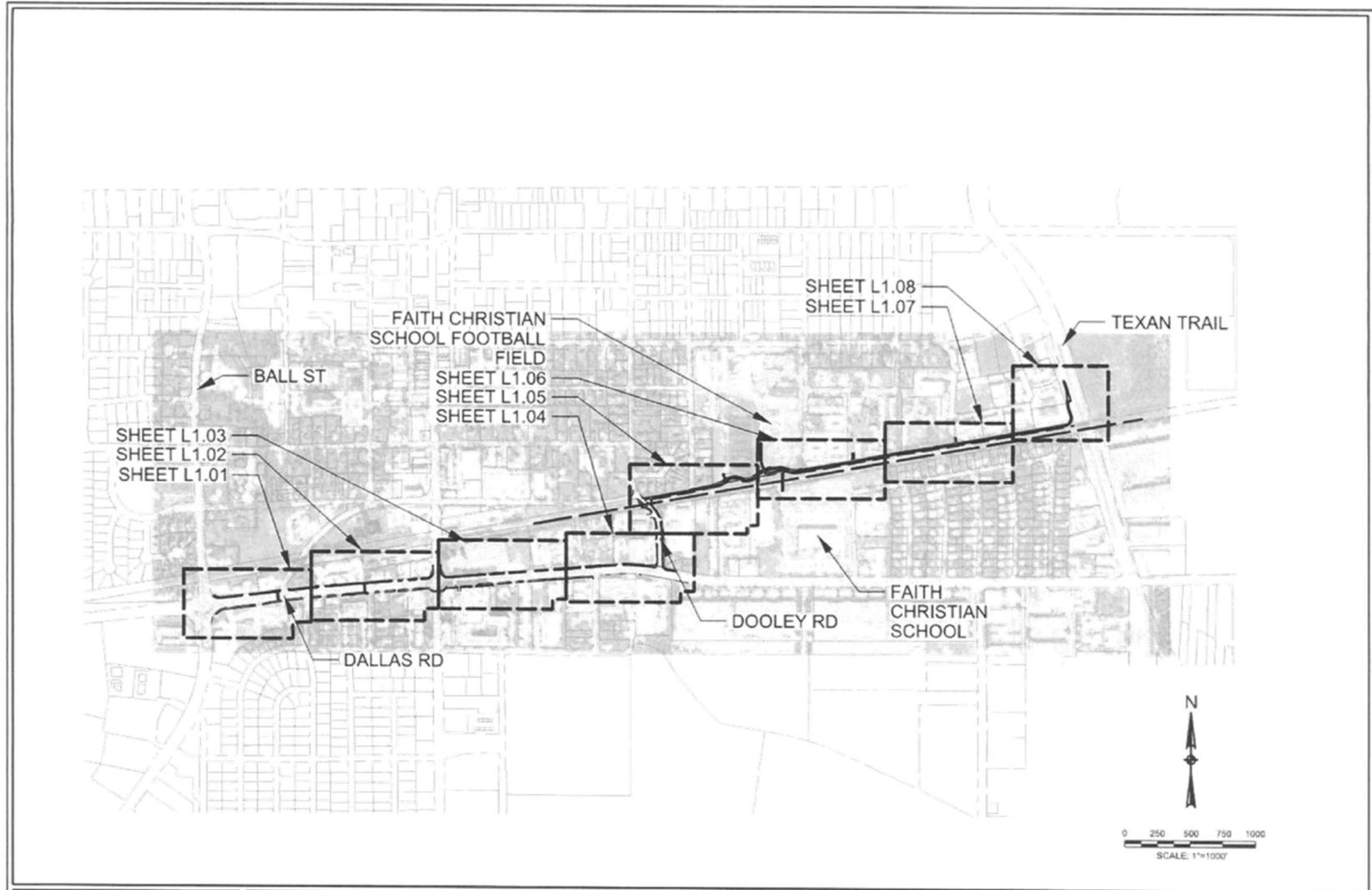


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Sheet Number	

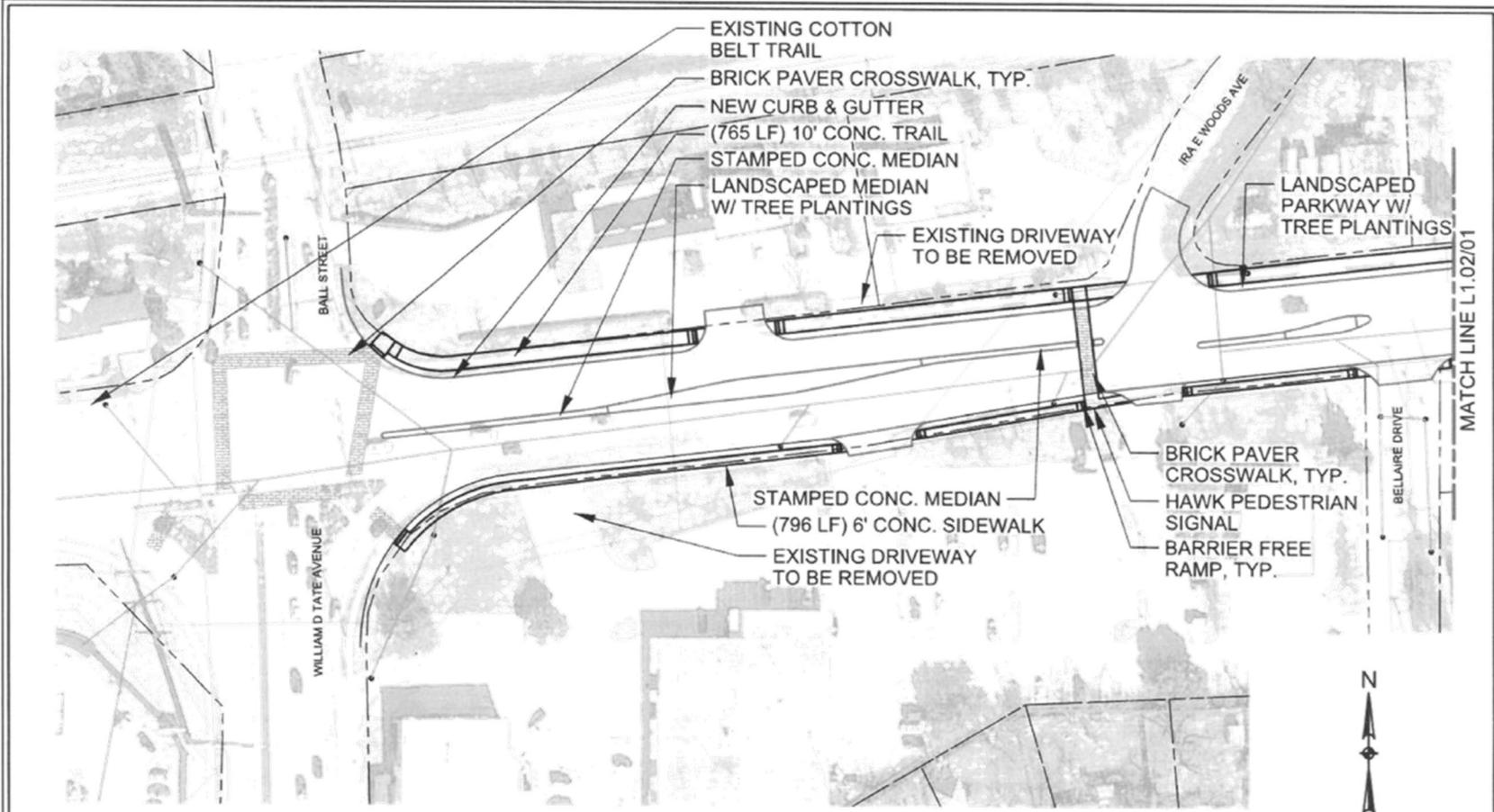


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 GRAPEVINE, TEXAS

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Checked By:	UHW
Scale:	AS NOTED
Sheet Title:	SCHEMATIC SHEET LAYOUT
Sheet Number:	L1.00 89



01 SITE PLAN
SCALE: 1" = 100'-0"

NOTES:
 01) NEW STREET LIGHTS, CONDUITS, AND WIRING SHALL BE INSTALLED ALONG DALLAS RD. OVER LIMITS OF TRAIL/SIDEWALK IMPROVEMENTS.
 02) NEW LANE STRIPING TO BE PROVIDED ALONG DALLAS ROAD.
 03) A TOTAL OF TEN (10) INFORMATIONAL SIGNS SHALL BE INSTALLED ALONG DALLAS ROAD.

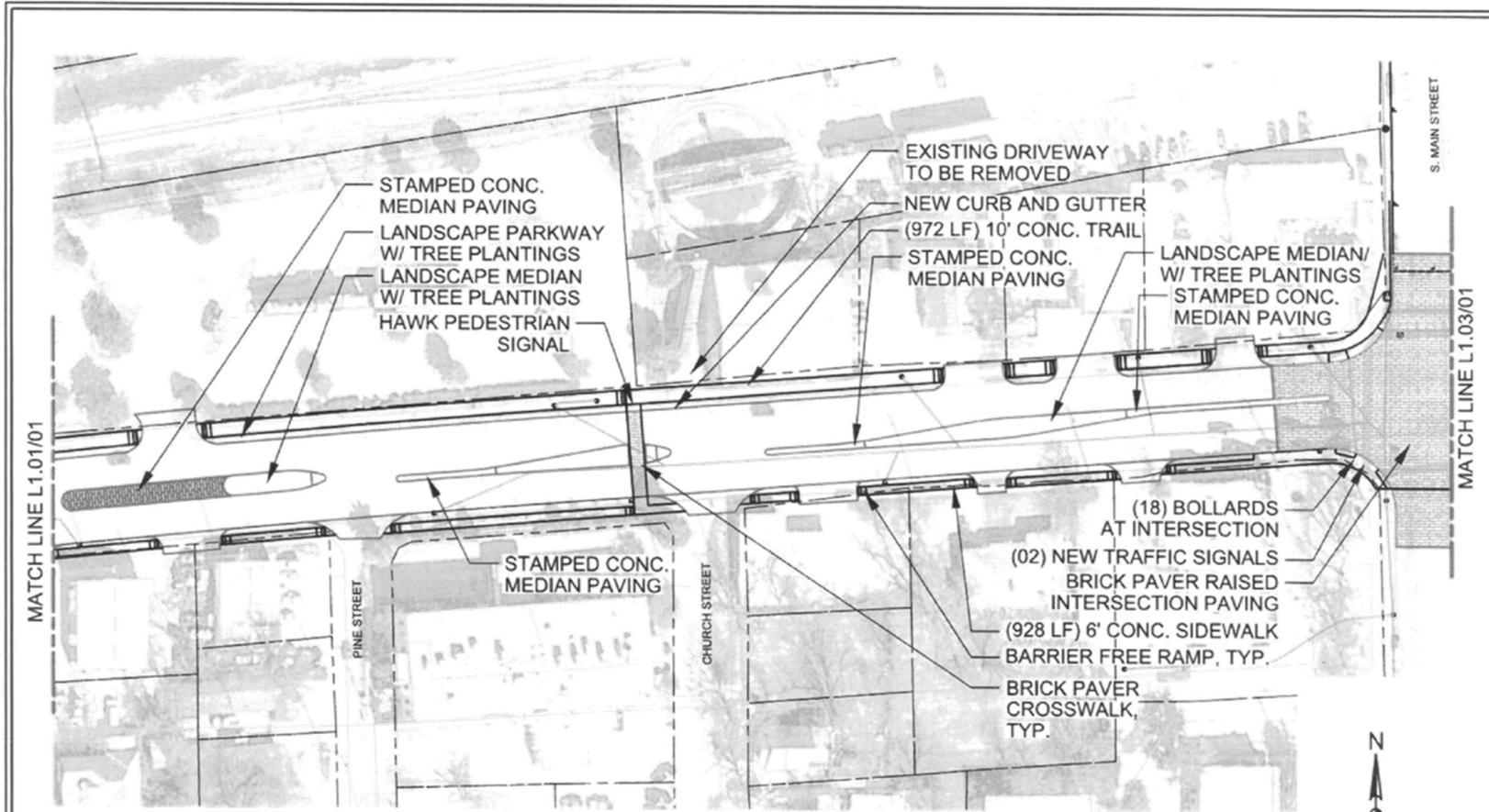


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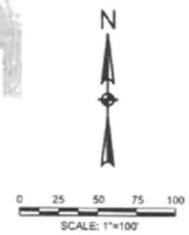
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(ACTIVE TRANSPORTATION FACILITIES)
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 GRAPEVINE, TEXAS

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Checked By:	JHW
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Sheet Number:	



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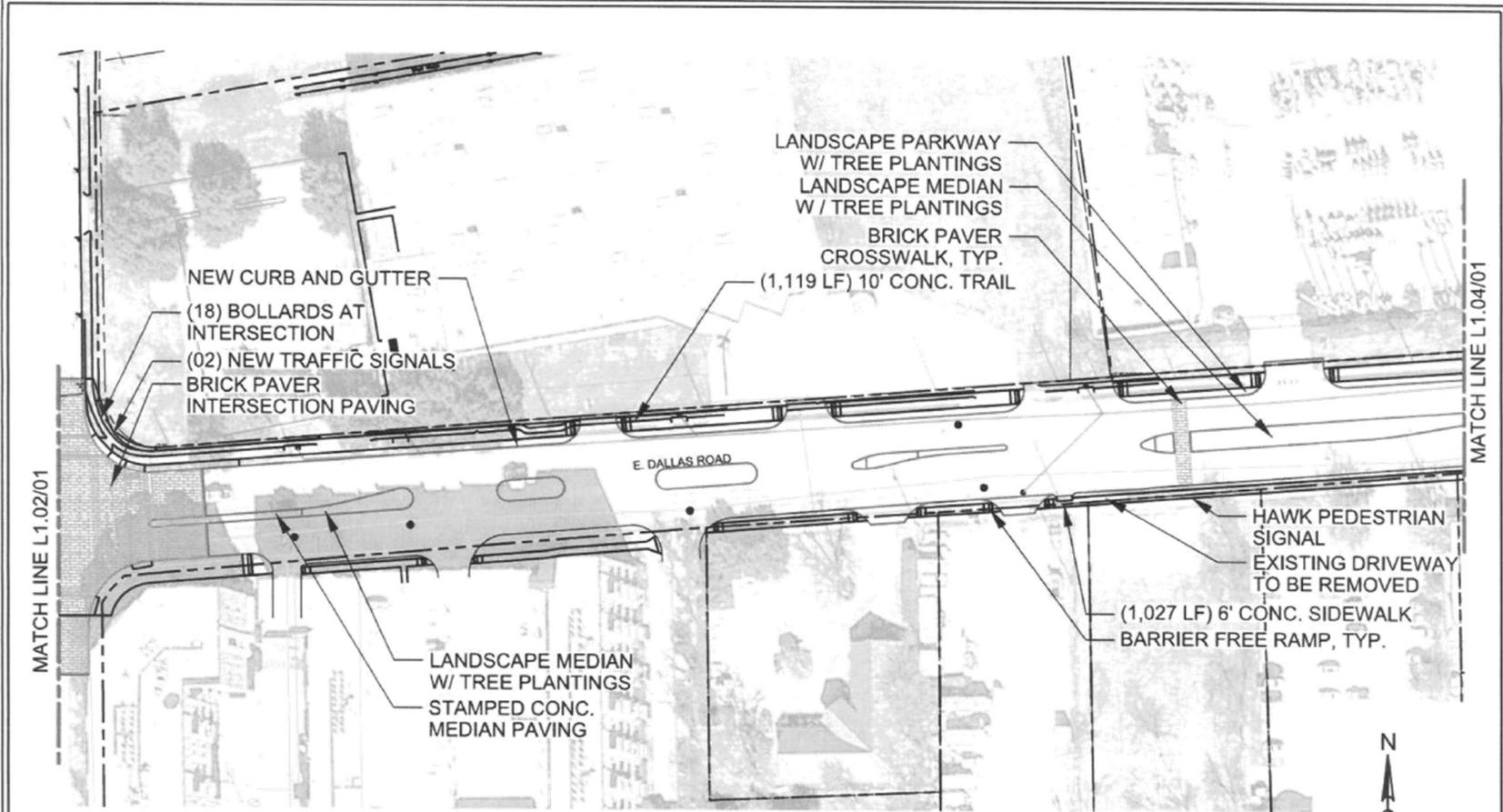


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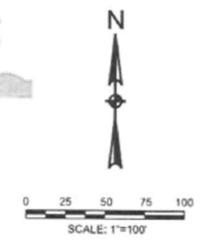
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Sheet Number:	



01 SITE PLAN
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- NOTES:
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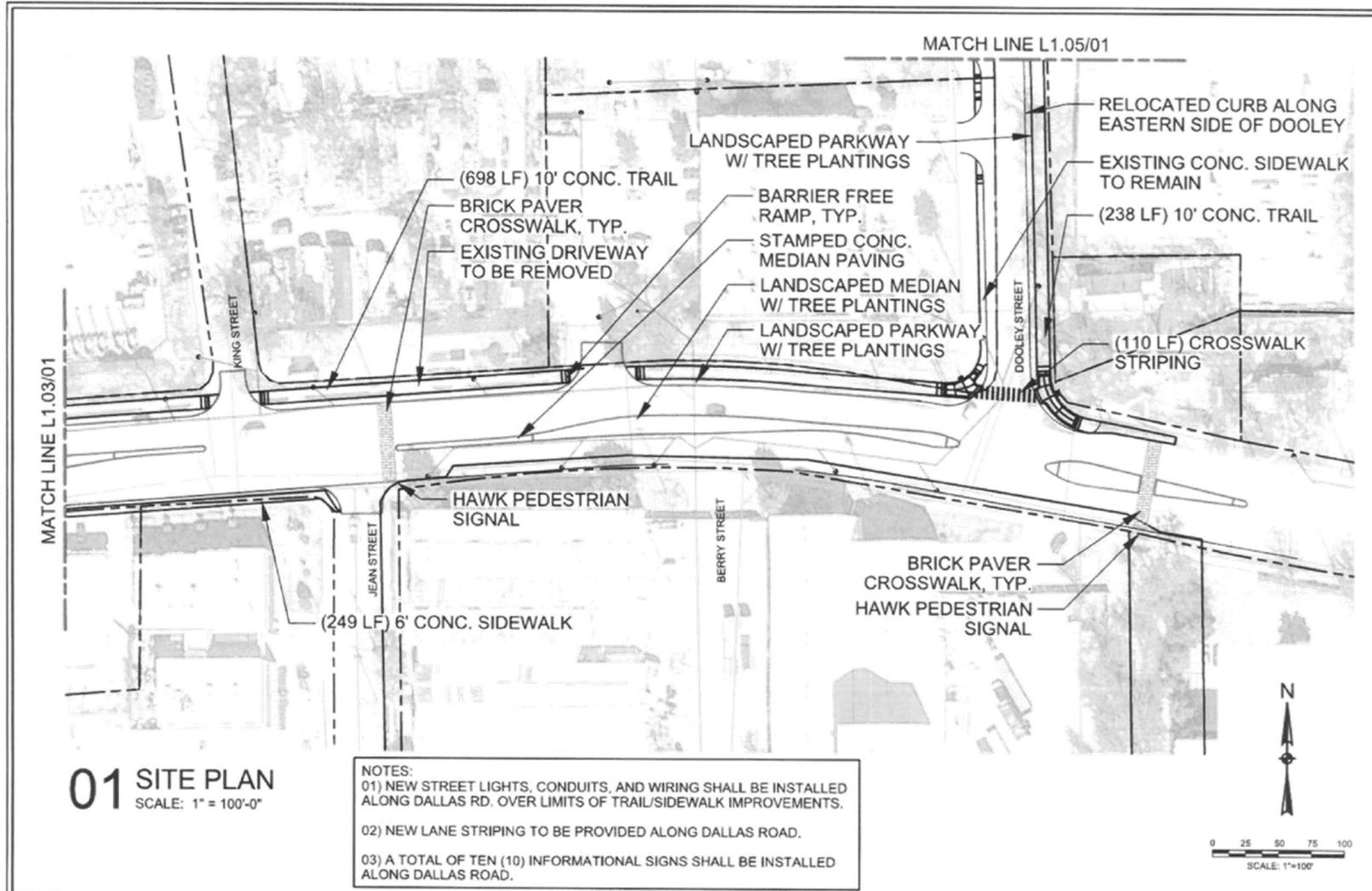


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Checked By:	JHW
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L1.03	
Sheet Number	



01 SITE PLAN
SCALE: 1" = 100'-0"

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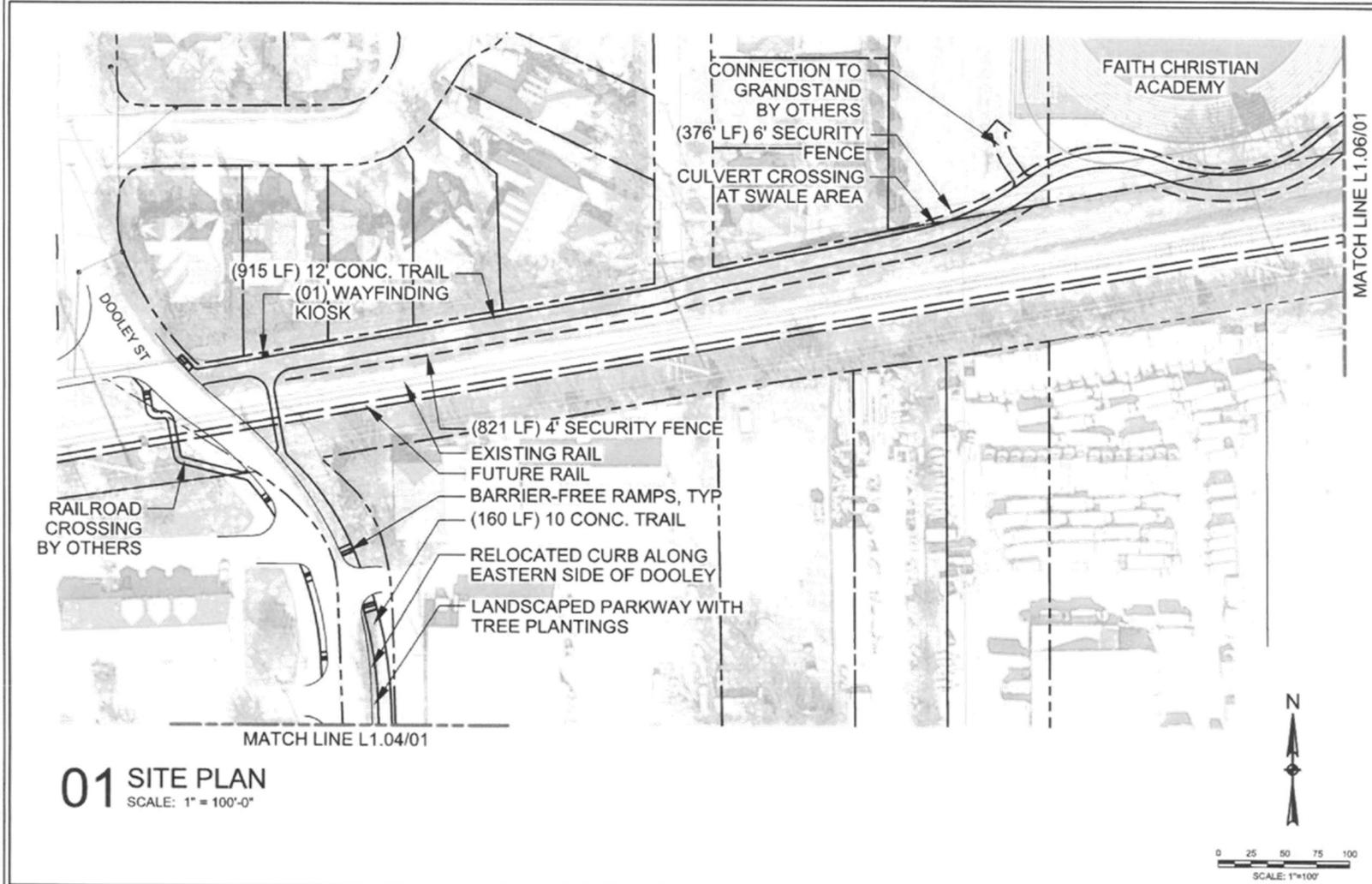


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 DALLAS ROAD TOD CORRIDOR/
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 GRAPEVINE, TEXAS

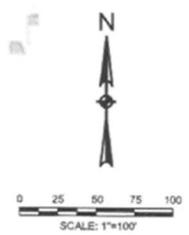
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01 SITE PLAN
SCALE: 1" = 100'-0"

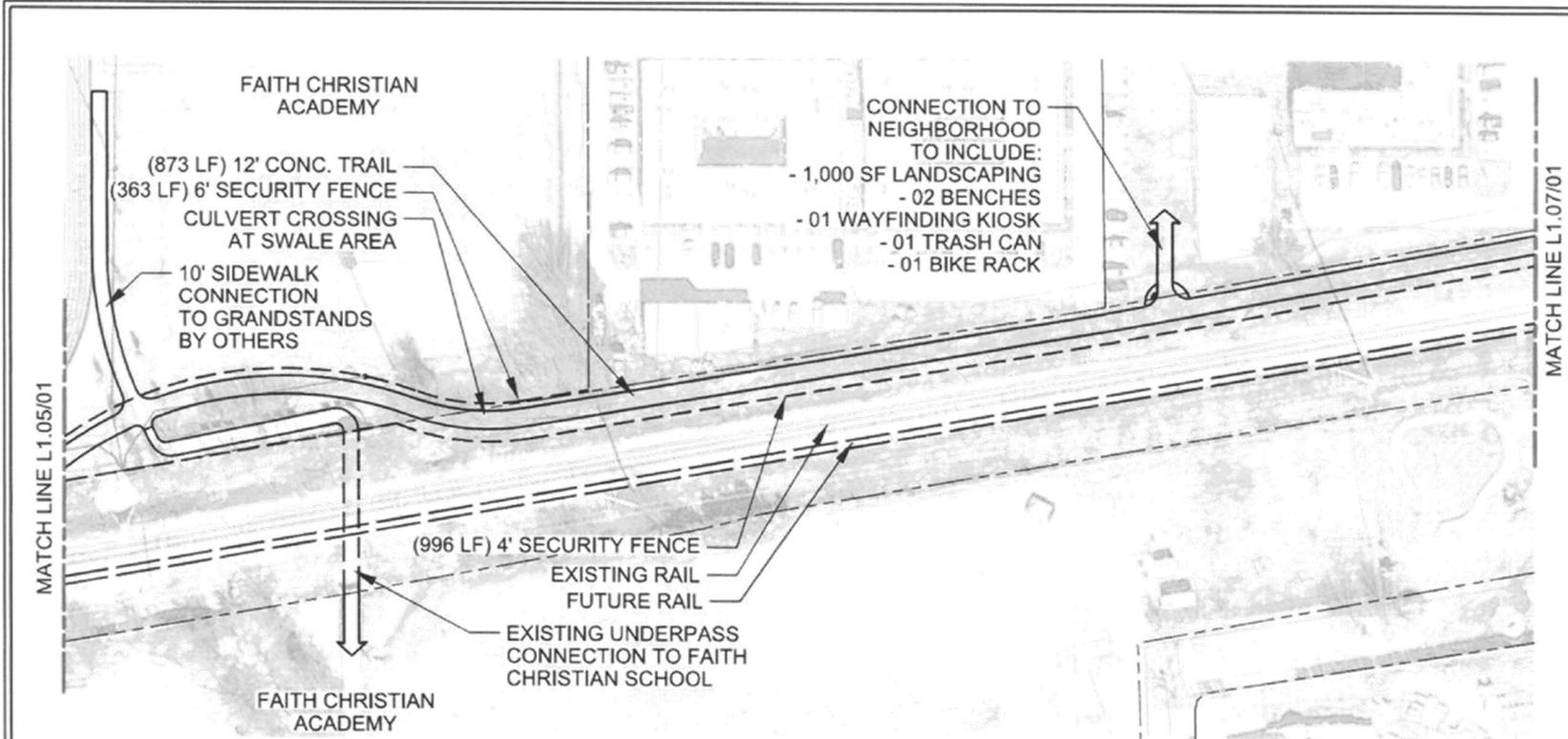


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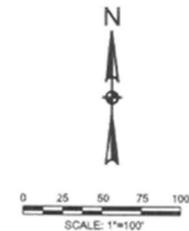


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SCALE: 1" = 100'-0"



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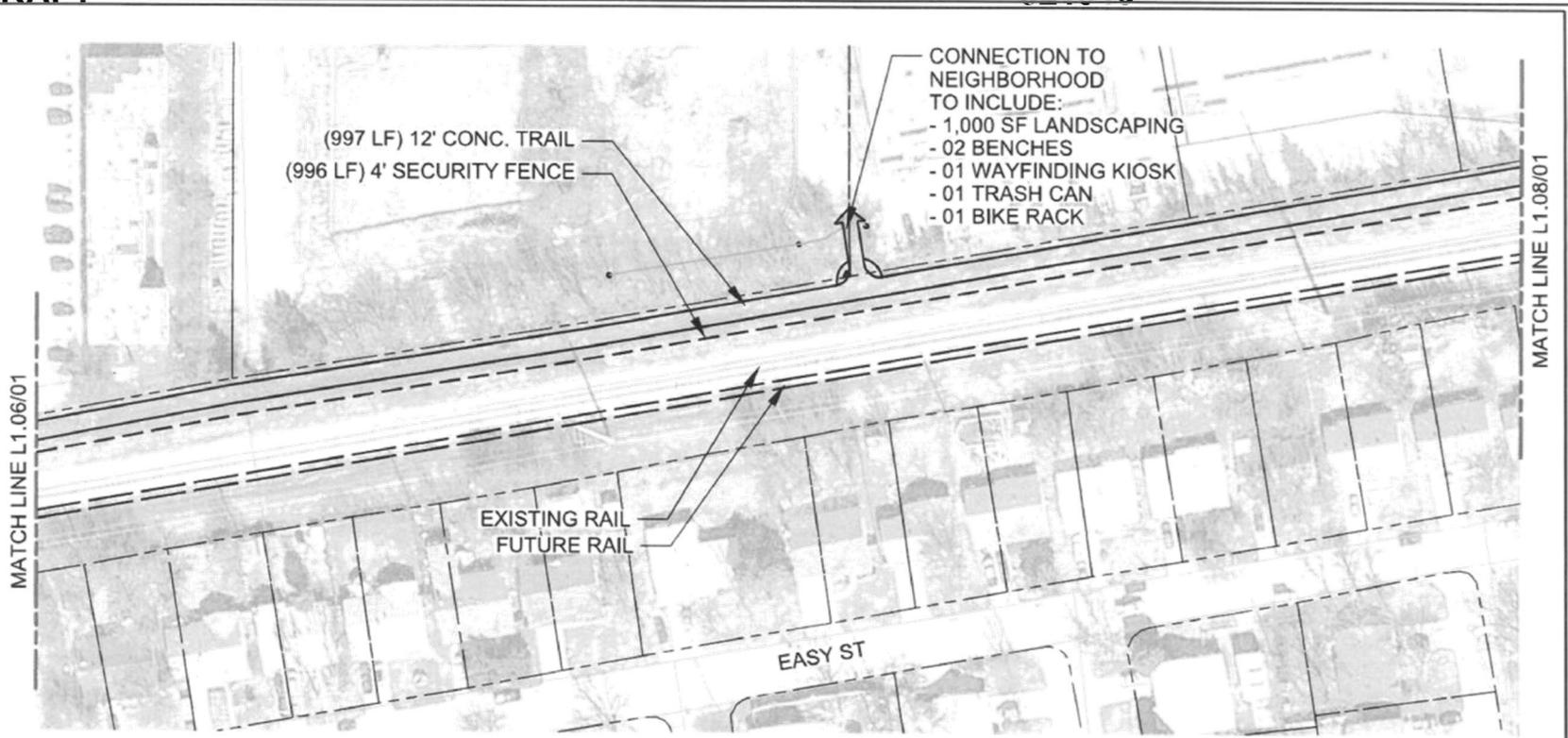


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GRAPEVINE, TEXAS

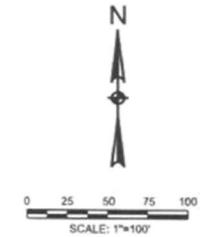
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01 SITE PLAN
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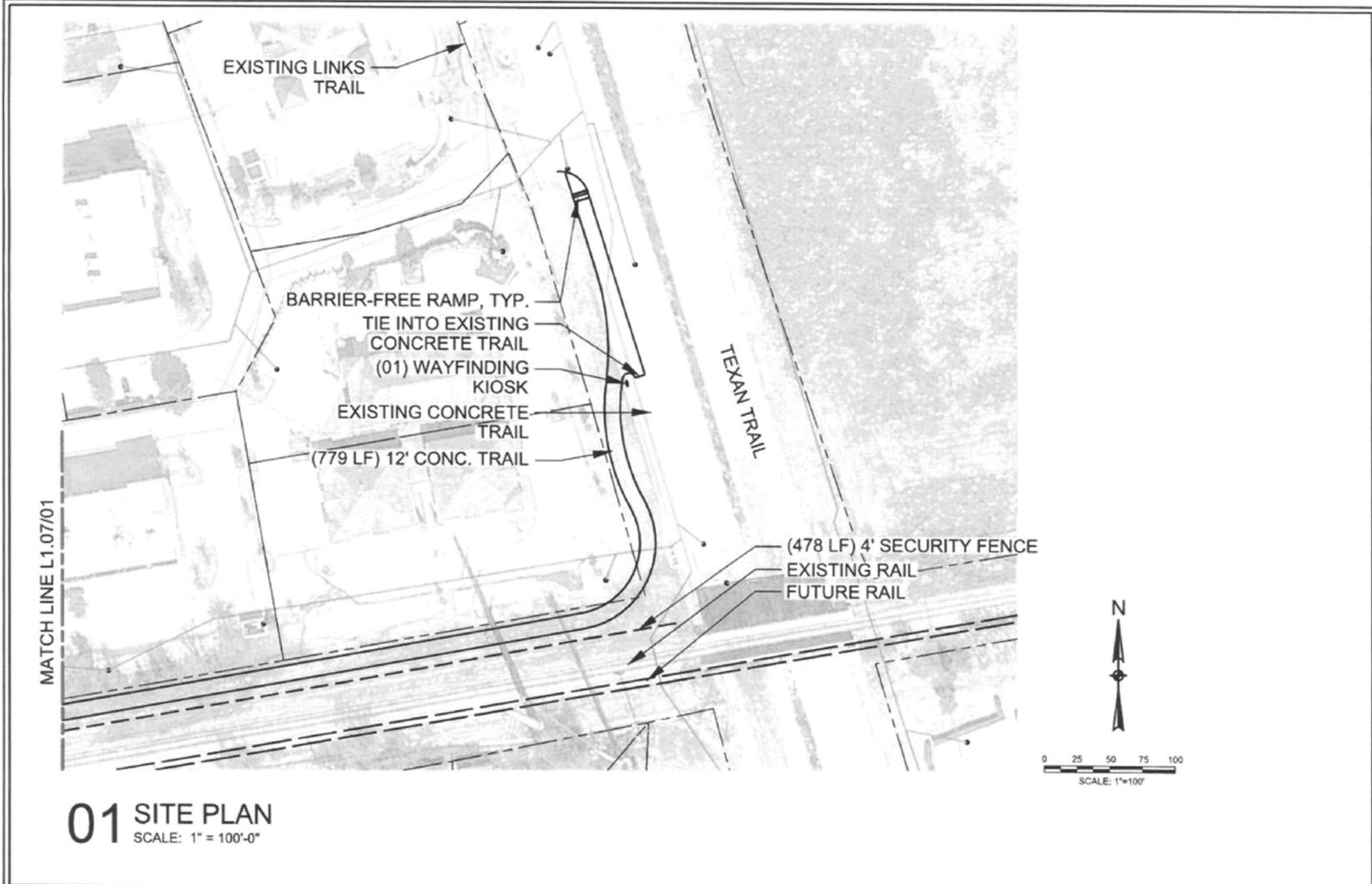


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GRAPEVINE, TEXAS

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01 SITE PLAN
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GRAPEVINE, TEXAS**

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Issued:	02/24/2017
Drawn By:	JBW
Checked By:	JHW
Scale:	AS NOTED
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L1.08	
Sheet Number	

APPENDIX E

Thematic Street Tree Plan



Landscape Study Plan Grapevine Transit District



Landscape Study Plan Grapevine Transit District



Landscape Study Plan Grapevine Transit District

APPENDIX F

Approved Plant Lists

NO.	COMMON NAME	BOTANICAL NAME	PREFERRED LOCATIONS
TREE LIST			
1	Autumn Blaze Maple	<i>Acer freemanii</i>	Extended rail plaza
2	Shantug Maple	<i>Acer truncatum</i>	Extended rail plaza
3	Dura Heat River Birch	<i>Betula nigra</i> "BNMTF"	Site landscape & private pedestrian
4	Ginkgo	<i>Ginkgo biloba</i>	Main Street
5	Skyline Honeylocust	<i>Gledistia triacanthos</i> var <i>inermis</i> "Skycole" Skyline	Main Street
6	Golden Rain Tree	<i>Koeireuteria paniculata</i>	Site landscape & private pedestrian
7	Tulip Tree	<i>Liriodendron</i>	Site landscape & private pedestrian
8	Texas Pistache	<i>Pistacia texana</i>	Dallas Road
9	Chinkapin Oak	<i>Quercus muehlenbergii</i>	Site landscape & private pedestrian
10	Southern Live Oak	<i>Quercus virginiana</i> "Heritage" "Cathedral"	Dallas Road (median)
11	Princeton American Elm	<i>Ulmus Americana</i> "Princeton"	Dallas Road
12	Allee Elm	<i>Ulmus Chinensis</i> Allee	Site landscape & private pedestrian
13	Cedar Elm	<i>Ulmus crassifolia</i>	Extended rail plaza
14	Bosque Elm	<i>Ulmus parvifolia</i> "Bosque"	Site landscape & private pedestrian
15	Athena Classic Elm	<i>Ulmus Parvifolia</i> "Emer I"	Site landscape & private pedestrian
ORNAMENTAL TREE LIST			
1	Japanese Maple	<i>Acer Palmatum</i>	Planters along Dallas Road
2	Desert Willow	<i>Chilopsis linearis</i>	Planters along Dallas Road
3	Chinese Fringetree	<i>Chionanthus retusus</i>	Planters along Dallas Road
4	Possumhaw	<i>Ilex decidua</i>	Planters along Dallas Road
5	Yaupon Holly	<i>Ilex vomitoria</i>	Planters along Dallas Road
6	Mexican Plum	<i>Prunus Mexicana</i>	Planters along Dallas Road
7	Eve's Necklace	<i>Styphnolobium affine</i>	Planters along Dallas Road
8	Viburnum	<i>Viburnum opulus</i>	Planters along Dallas Road
9	Chaste Tree	<i>Vitex agnus-castus</i>	Planters along Dallas Road

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10	Crepe Myrtle	Lagerstroemia	Planters along Dallas Road
11	Redbud	Cercis Canadensis	Planters along Dallas Road
EVERGREEN LIST			
1	East Palatka Holly	Ilex x attenuate "East Palatka"	Extended rail plaza
2	Foster's Holly	Ilex x attenuate "Fosteri"	Screening along rail plaza
3	Savannah Holly	Ilex x attenuate "Savannah"	Screening along rail plaza
4	Nellie R Stevens Holly	Ilex "Nellie R Stevens"	Screening along rail plaza
SHRUB LIST			
1	Glossy Abelia	Abelia x grandiflora "kaleidoscope"	General site landscape
2	Ornamental Onion	Allium x "gladiator"	General site landscape
3	Artemisia "Powis Castle"	Artemisia "Powis Castle"	General site landscape
4	Hardy Plumbago	Ceratosigma plumbaginoides	General site landscape
5	Coreopsis "Early Sunrise"	Coreopsis grandiflora "Early Sunrise"	General site landscape
6	Grey Leaf Cotoneaster	Cotoneaster glaucophyllus	General site landscape
7	Beautiful Chinese Wood Fern	Dryopteris pulcherrima	General site landscape
8	Blue Wildrye	Elymus glaucus "Buckley"	Rail Plaza/General site landscape
9	Greyser White Gaura	Gaura lindheimen "greyser white"	General site landscape
10	Gaura "Whirling Butterflies"	Gaura lindheimen "Whirling Butterflies"	General site landscape
11	German Iris	Iris germanica	General site landscape
12	Juncus "Blue Arrows Rush"	Juncus inflexus	General site landscape
13	Juncus Blue Arrow	Juncus inflexus "blue arrow"	General site landscape
14	Gayfeather	Liatis pycnostachya	General site landscape
15	Texas Sage "Thunder Cloud"	Leucophyllum candidum "Thunder Cloud"	General site landscape
16	Giant Lilyturf	Liriope gigantea	General site landscape
17	Lantana "New Gold"	Lantana x hybrid "New Gold"	General site landscape
18	Texas Lantana	Lantana urticoides	General site landscape
19	Black Foot Daisy	Melampodium Leucanthum	General site landscape

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20	Little Kitten Maiden Grass	Miscanthus sinensis "Little Kitten"	General site landscape
21	Gulf Muhly	Muhlenbergia capillaris "gulf coast"	Rail Plaza/General site landscape
22	Pine Muhly	Muhlenbergia dubia	Rail Plaza/General site landscape
23	Walkers Low Catmint	Nepeta x faassenii "walkers low"	General site landscape
24	Russian Sage	Perovskia atriplicifolia	General site landscape
25	Rosemary	Rosmarinus officinalis	General site landscape
26	Black-eyed Susan	Redbeckia fuldida "Goldstrum"	General site landscape
27	Autumn Sage	Salvia greggii	General site landscape
28	Indigo Spires	Salvia x "indigo spires"	General site landscape
29	Lavender Cotton	Santolina chamaecyparissus	General site landscape
30	Little Bluestem	Schyzacharium scoparium	Rail Plaza/General site landscape
31	Texas Betony	Stachys coccinea "texas betony"	General site landscape
32	Skelton Leaf Goldeneye	Viguiera senoloba	General site landscape
33	Common Periwinkle	Vinca minor	General site landscape
34	Orange Zexmenia	Wedelia acapulcensis var hispida	General site landscape
TURF/GROUNDCOVER LIST			
1	Horseherb	Calyptocarpus vialis	General site landscape
2	Blue Sedge	Carex flacca	General site landscape
3	Texas Sedge	Carex retroflexa var "texensis"	General site landscape
4	Bermuda Grass	Cynodon dactylon	General site landscape
5	Liriope	Liriope muscari	General site landscape
6	Large Yellow Daffodill	Narcissus x "dutch master"	General site landscape
7	Mondo Grass/Dwarf Mondo Grass	Ophiopogon japonicas	General site landscape
8	Aztec Grass	Ophiopogon intermedius	General site landscape
9	Creeping Phlox	Phlox subulata	General site landscape
10	Dwarf Katie Ruellia	Ruellia brittoniana "Katie"	General site landscape
11	Lambs Ear	Satchys byzantine	General site landscape
12	Wooly Stemodia	Stemodia lanata	General site landscape
13	Woolly Thyme	Thymus pseudolanuginosus	General site landscape

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VINE LIST			
1	Crossvine	Bignonia capreolata	General site landscape
2	Trumpet Vine	Campsis radicans	General site landscape
3	Sweet Autumn Clematis	Clematis paniculata	General site landscape
4	Sweet Summer Clematis	Clematis "Sweet Summer Love"	General site landscape
5	Carolina Jasmin	Gelsemium sempervirens	General site landscape
6	Evergreen Wisteria	Millettia reticulata	General site landscape
7	Virginia Creeper	Parthenocissus quinquefolia	General site landscape
8	Boston Ivy	Parthenocissus tricuspidata	General site landscape
9	Confederate Jasmine	Trachelospermum jasminoides	General site landscape

Note: All plant materials listed are preferred. However, alternate plant materials can be considered on a case by case basis.